

ENGINEERING PACKAGE

DREAMSPACE[®] 3100



COVER

DREAMSPACE 3100
3.00" ENCLOSURE
SECTION DETAILS

DREAMSPACE
ENCLOSURE

THERMAL INDUSTRIES, INC.
2700 BERRY CREEK • MEMPHIS • TENNESSEE 38115
704-720-9200 FAX 704-927-0017

DONALD MENDEL, P.E.
ASMEC MEMBER
400 WOODLAND AVE
MEMPHIS, TN 38115-4000

NOTES AND SPECIFICATIONS

GENERAL:

Thermal Industries Inc. DREAMSPACE® Patio Enclosure Systems have been designed for applicable building codes (ICC, BOCA, ICBO, SBCCI). The International Code Council's founders - the Building Officials and Code Administrators (BOCA) 1999 Edition, the International Conference of Building Officials (ICBO), and the Southern Building Code Congress International (SBCCI) - created the International Building Code®. In response to technical disparities among the three sets of model codes used throughout the United States.

The manufacturer is a charter member of the National Sunroom Association, and The Sunroom Council of the American Architectural Manufacturing Association. These organizations are working together to create voluntary standards and specifications for the enclosure industry to follow. The manufacturer is an integral participant in evolving changes to the enclosure industry.

Patio covers and enclosure systems can be attached to or detached from the primary home.

DESIGN LOADS:

- 1) The bearing system aluminum extrusions have been designed for load combinations required by the American Society of Civil Engineers, (ASCE Standard 7-98), "Minimum Design Loads for Buildings and Other Structures". (See Tables A thru F. When using tables to determine maximum enclosure projection use the smaller of either Load Bearing Wall Tables or Roof Panel Spans Table)
- 2) Patio covers shall be designed and constructed to sustain, within the stress limits of the International Building Code®, (IBC Appendix Chapter 31-5) International Code Council, of dead loads plus a minimum vertical live load of 10 pounds per square foot except that snow loads shall be used where such snow loads exceed this minimum. Such patio covers shall be designed to resist the minimum wind and seismic loads set forth in the IBC.

FASTENERS:

- 3) Screws as detailed shall be stainless steel, zinc plated, galvanized or 2024-T4 aluminum.
- 4) Expansion anchors shall be "Hilti Keik-Bolt II" anchors or equivalent per International Conference of Building Officials, (ICBO), Evaluation Service Inc. Report no. 4827. The 1/4" diameter anchors shall have a minimum allowable tension value, (in concrete), of 585 pounds, allowable shear value of 550 pounds and shall have at least 3 inches between fasteners in concrete.

STRENGTH OF MATERIALS:

- 5) All existing wood is to have a minimum specific gravity value of 0.49.
- 6) All existing concrete, (standard stone aggregate), is to have a minimum compressive value of 3000 psi @ 28 days.
- 7) All structural components of the enclosure system, (except solid panels), are of alloy and temper 6063-T6 unless specifically noted otherwise.
- 8) Typical composite roof panels shall include alloy 3105-H154 or H254 aluminum skins with 1.5#/cu.ft. expanded polystyrene core for 3" and 1#/cu.ft. expanded polystyrene core for 6".
- 9) The solid wall panels shown shall comply with local building codes. All exterior portions of the solid wall panels, which are subject to water intrusion, shall be fully sealed.
- 10) Where the roof panel span is parallel to the existing wall of the residence, the adequacy of the existing wall support structure, (studs, headers, beams, etc.) shall be verified by an independent source for the attachment of the ridge beam. The adequacy of the existing framing is not a part of this design or approval.

MISCELLANEOUS:

- 11) All aluminum in contact with dissimilar materials shall be protected using appropriate approved materials or coatings.
- 12) All window and doors within the DREAMSPACE® Patio Enclosure System have been tested in accordance to American Architectural Manufacturing Association (AAMA) and shall conform to the requirements of local building codes.
- 13) For areas that have a frost depth of zero, patio enclosures can be attached to a concrete slab in good condition with a minimum thickness of 3-1/2 inches as long as any column load does not exceed 750 pounds. All other areas, shall have a footer designed that meets local building codes.

DREAMSPACE 3100 3.00" ENCLOSURE SECTION DETAILS		THERMAL INDUSTRIES, INC. 2000 HAWLEY DRIVE • GREENSBORO • PENNSYLVANIA 17060 717-252-2222 FAX 717-252-2277	DONALD HENDEL, P.E. ALIEN TECHNOLOGY CORP. 400 WEST MAIN STREET GREENSBORO, NC 27402-2200
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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

2 PM
Brian

1189

R-3 zone

Current Owner Information

Card Number 1 of 1
Parcel ID 283 B041001
Location 94 CANDLEWYCK TER
Land Use SINGLE FAMILY

Owner Address DELIJANI KOUROUSH M & MARYAN M JTS
 94 CANDLEWYCK TER
 PORTLAND ME 04102

Book/Page 9024/22
Legal 283-B-41
 CANDLEWYCK TERR 94
 17000 SF

Valuation Information

Land	Building	Total
\$42,000	\$95,030	\$137,030

Property Information

Year Built 1971	Style Raised Ranch	Story Height 1	Sq. Ft. 1994	Total Acres 0.39	
Bedrooms 3	Full Baths 1	Half Baths 2	Total Rooms 6	Attic None	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

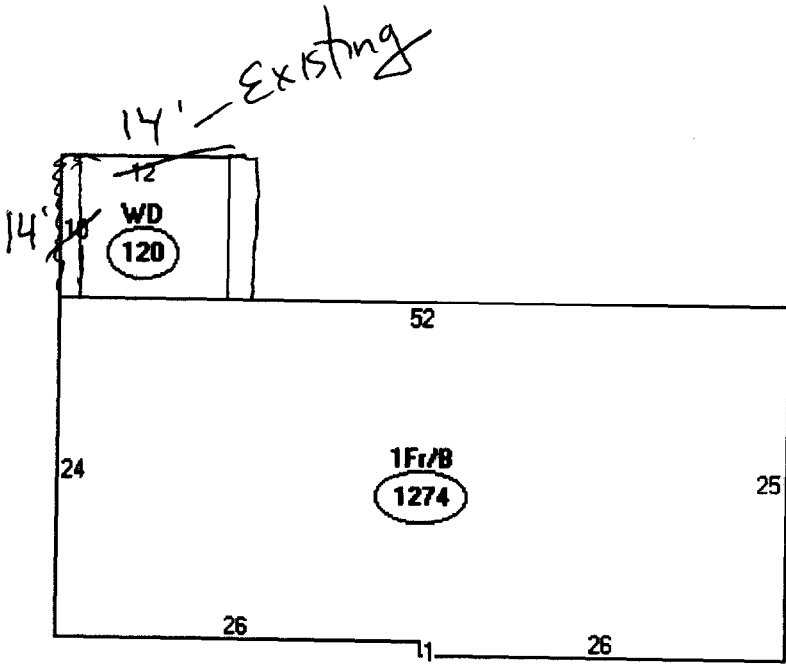
[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).







Descriptor/Area
A: 1Fr/B
1274 sqft
B: WD
~~120 sqft~~
168

1442 SF

OK

Lot 17,000 SF
x .256

4,250 SF

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at ~~874-8692~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Deck Framing Stairs Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$1,000 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

9/30/03
Date

[Signature]
Signature of Inspections Official

9/30/03
Date

CBL: 283-B-41 Building Permit #: 03-1189

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031189

SEP 30 2003

Please Read Application And Notes, if Any, Attached

This is to certify that Delijani Kouroush M &/American Dreamscape
has permission to Build a 14x14 three season room on existing deck / structural upgrades
AT 94 Candlewyck Ter 283 B041001

CITY OF PORTLAND

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or otherwise closed-in that FOUR NOTICES ARE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

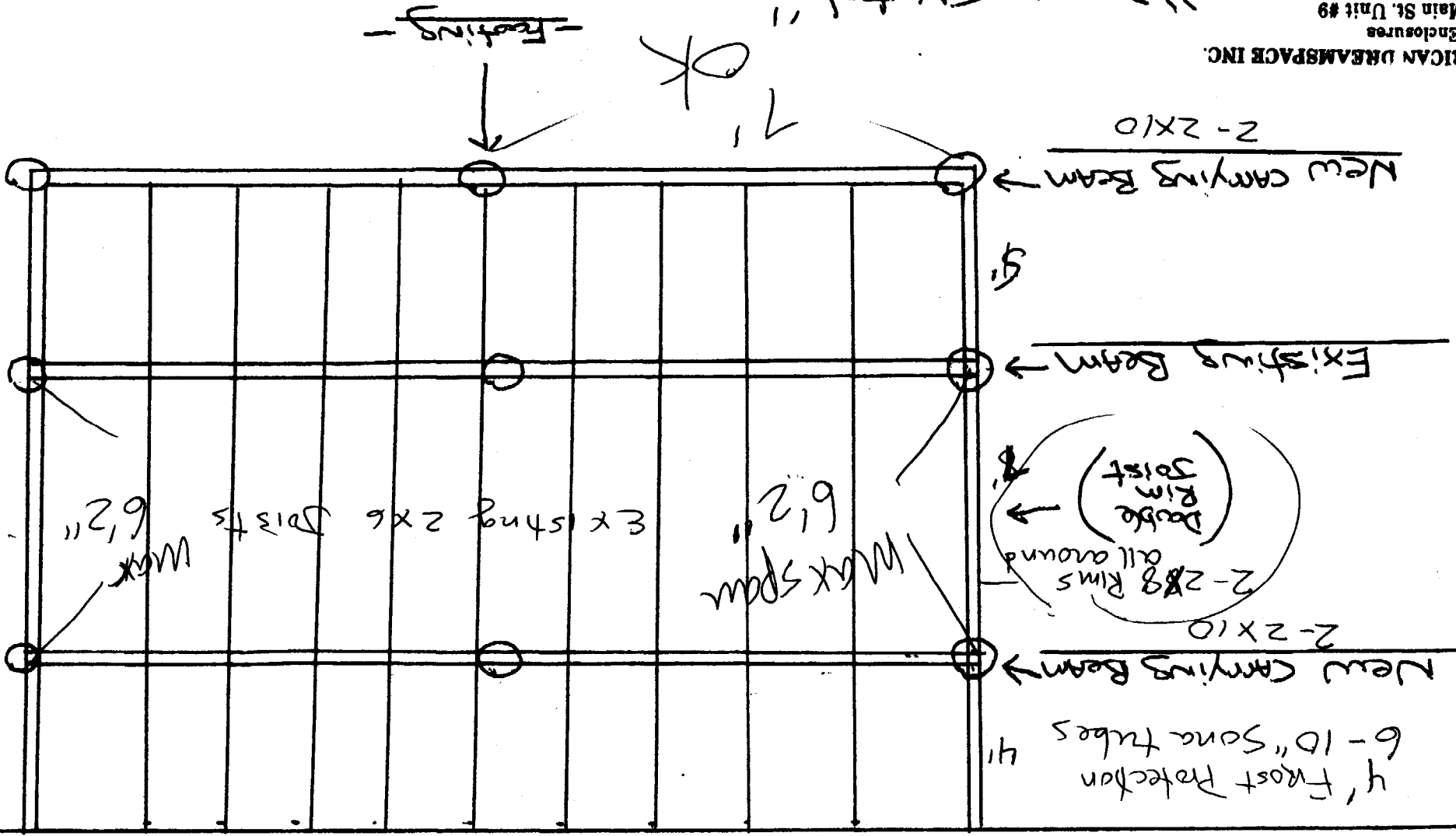
OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Bonke 9/30/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

"DECK SKETCH"

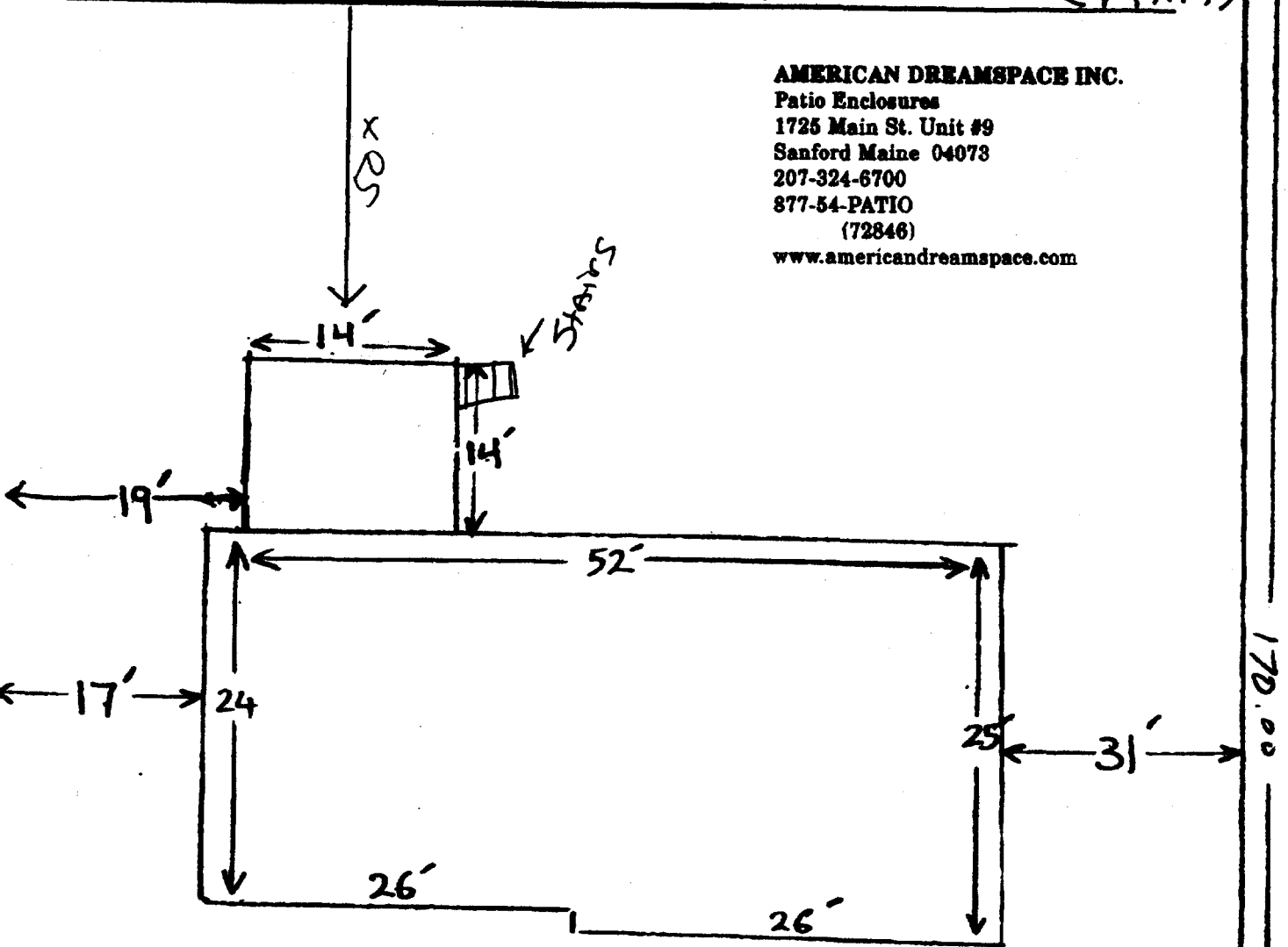


Note:
 Existing Deck will have
 A Carrying beam & 6 footings
 Added to accommodate Sunroom.
 OWNER: Kouroush DeJani
 94 Cardewyck Terrace
 Portland, ME, 04102

100.00

Existing Deck (14'x14') - AT BACK of home
Sunroom will sit on Deck, "Same size" (14'x14')

AMERICAN DREAMSPACE INC.
Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073
207-324-6700
877-54-PATIO
(72846)
www.americandreamspace.com



R 3 Zone
Rear 25' Rear 50' Shown
Side 8' Req 19' shown

100.00

ADDRESS: 94 CANDLEWYCK TERRACE
PORTLAND, ME. 04102

OWNER: KOURUSH DELIJANI

TREAD & RISER DIMENSIONS

ONE & TWO FAMILY

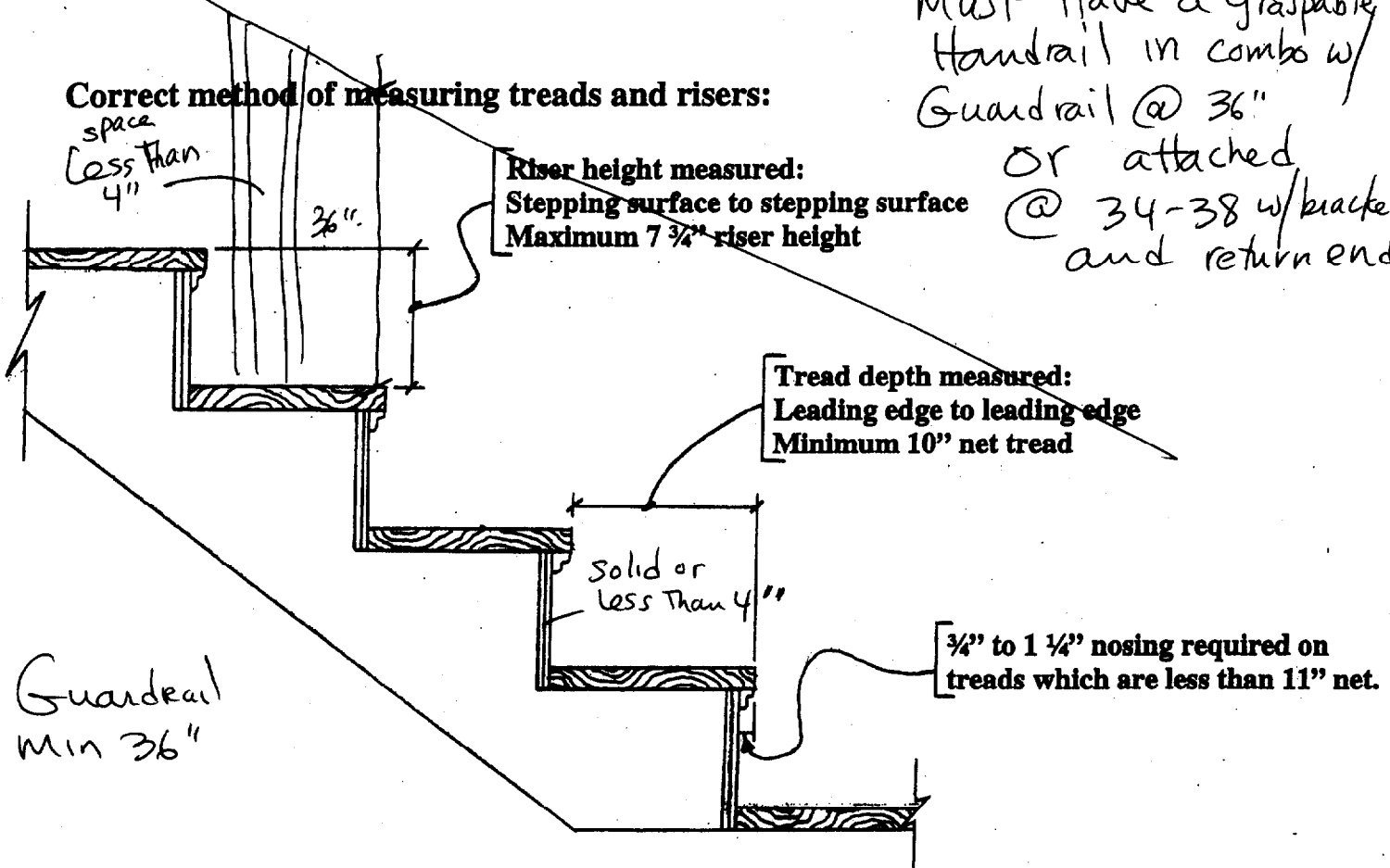
1999 BOCA NATIONAL BUILDING CODE

SECTION 1014.6 TREADS & RISERS

In occupancies in 1 and 2 family dwellings (Use Group R-3) and in accessory occupancies (shed, garages, etc.) to 1 and 2 family dwellings the following are the tread and riser requirements:

The **MAXIMUM riser height shall be 7 3/4"** and the **minimum riser height shall be 4"**. The **MINIMUM tread depth shall be 10"** (measured from leading edge of tread to leading edge of tread). A nosing not less than 3/4" but not more than 1 1/4" SHALL be required on treads where the depth is less than 11". Openings in risers shall not exceed 4".

Must Have a graspable Handrail in combo w/ Guardrail @ 36" OR attached @ 34-38 w/ brackets and returns ends



Please note: To achieve a minimum 10" net tread the stringer must be cut to 10".