

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040784

Please Read Application And Notes, If Any, Attached

This is to certify that Goldfarb Matthew S & Centerville Fine Construction, Inc.
has permission to Replace existing 65 sq ft deck w/120 sq ft deck
AT 106 Longwood Dr City of Portland 283 E008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is leased or otherwise used-in. **NO PERMITS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
JUN 25 2004
Department Name
CITY OF PORTLAND

Jamie Bouke 6/23/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0784	Issue Date: JUN 25 2004	CBL: 283 E008001
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Location of Construction: 106 Longwood Dr	Owner Name: Goldfarb Matthew S &	Owner Address: 106 Longwood Dr	Phone: CITY OF PORTLAND 73-4120
Business Name:	Contractor Name: Center Line Construction, Inc.	Contractor Address: P.O. Box 1264 Portland	Phone: 2078653300
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Proposed Project Description: Replace existing 65 sq ft deck w/120 sq ft deck	expansion of existing deck	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group Type: R3 2 888 Signature: JMB 6/23/04
		Signature:	Signature: JMB 6/23/04
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: jodinea	Date Applied For: 06/10/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 6/23/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
	870-4888 19.		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

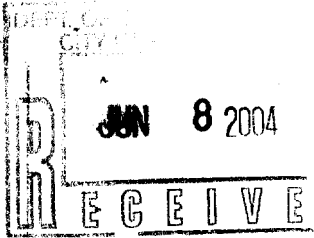
Permit No: 04-0784	Date Applied For: 06/10/2004	CBL: 283 E008001
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Location of Construction: 106 Longwood Dr	Owner Name: Goldfarb Matthew S &	Owner Address: 106 Longwood Dr	Phone: () 773-4120
Business Name:	Contractor Name: Center Line Construction, Inc.	Contractor Address: P.O. Box 1264 Portland	Phone: (207) 865-3300
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family w/replacement & expansion of existing deck	Proposed Project Description: Replace existing 65 sq ft deck w/120 sq ft deck
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Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/23/2004
Note:	Ok to Issue: <input type="checkbox"/>		

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/23/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			



All Purpose Building Permit Application

Location/Address of Construction: <u>106 LONGWOOD DRIVE</u>		
Total Square Footage of Proposed Structure <u>120 SQ. FT. (DECK)</u>	Square Footage of Lot <u>8600 SQ. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>283</u> Block# <u>E</u> Lot# <u>8</u>	Owner: <u>MRS. MRS. MATT GOLDMAN</u> <u>106 LONGWOOD DRIVE</u> <u>PORTLAND, ME 04103</u>	Telephone: <u>778-4120</u>
Lessee/Buyer's Name (if Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>CENTRAL LINE CONST. LLC</u> <u>P.O. BOX 1264</u> <u>PORTLAND, ME 04104</u>	cost Of Work: \$ <u>4300.-</u> Fee: \$ <u>100.00</u>
Current use: <u>SINGLE FAMILY HOME</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>SINGLE FAMILY HOME</u>		
Project description: <u>REMOVE PRESENT DECK / BUILD NEW DECK</u>		
Contractor's name, address & telephone: <u>CENTRAL LINE CONSTRUCTION, LLC</u> <u>P.O. BOX 1264, PORTLAND, ME 04104</u>		
Who should we contact when the permit is ready: <u>D. J. MILLER</u>		
Mailing address:		
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>865-3300</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  Date: 6/8/04

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall (Rm # 1760)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	283 E008001
Location	106 LONGWOOD DR
Land Use	SINGLE FAMILY
Owner Address	GOLDFARB MATTHEW S & LYNN K JTS 106 LONGWOOD DR PORTLAND ME 04102
Book/Page	
Legal	283-E-8 LONGWOOD DR 102-106 8500 SF

Valuation Information

Land	Building	Total
\$34,340	\$104,470	\$138,810

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1969	Garrison	2	1803	0.195	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2	1	8	None	Full

Outbuildings

<i>Type</i>	<i>Quantity</i>	<i>Year Built</i>	<i>Size</i>	<i>Grade</i>	<i>Condition</i>
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Sales Information

<i>Date</i>	<i>Type</i>	<i>Price</i>	<i>Book/Page</i>
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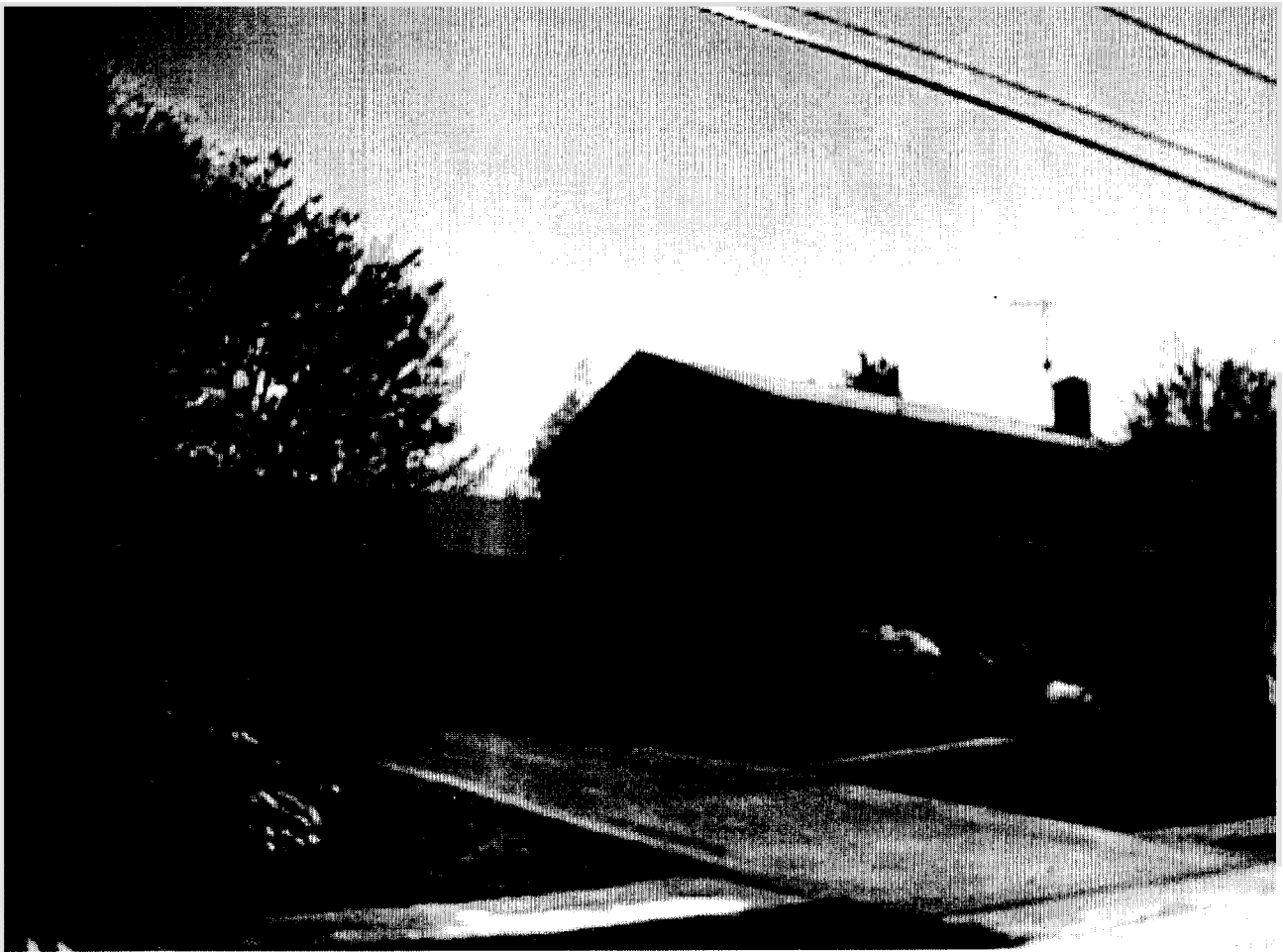
Picture and Sketch

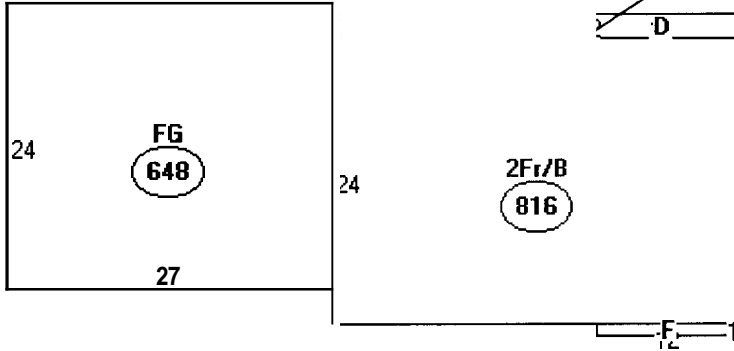
<u>Picture</u>	<u>Sketch</u>
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







Descriptor/Area

- A: 2Fr/B
816 sqft
- B: FG
648 sqft
- C: FOH
42 sqft
- D: 2Fr
26 sqft
- E: 1Fr
65 sqft
- F: FBAY
12 sqft

1,609
 = 65

 1,544
 120 new Deck

1,664 SF

8500
 x 25%

2,125

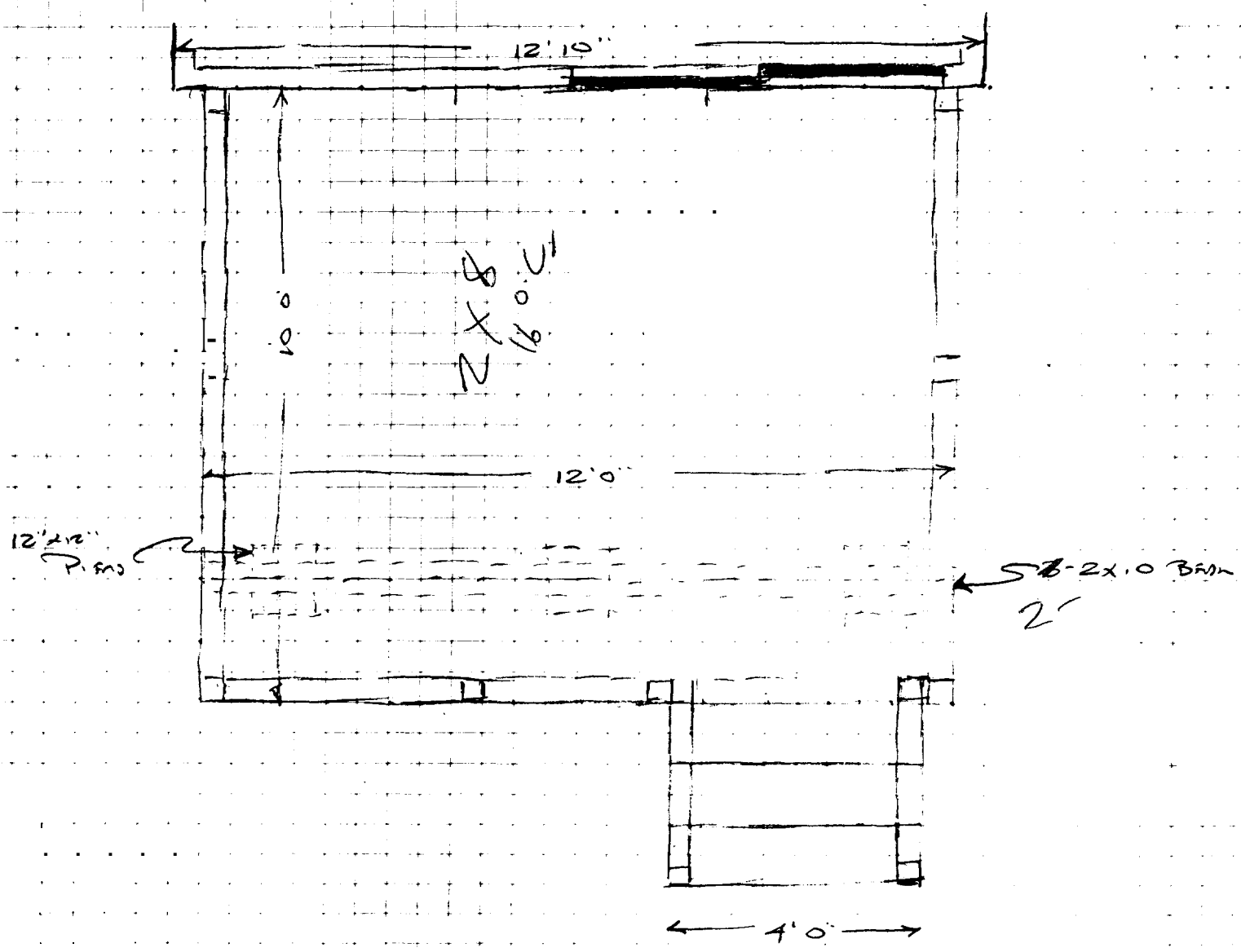
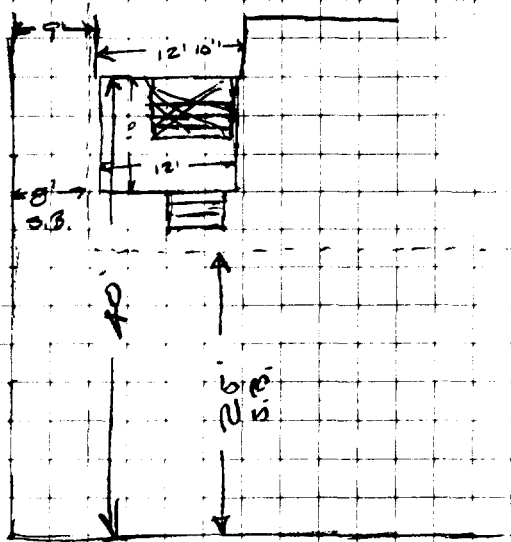
OK

M/M Matt Gordon, ESA.
 100 Lake Wood Dr.
 Port Hope, Ont.

5/1/04
 2 cont.

R3 Zone

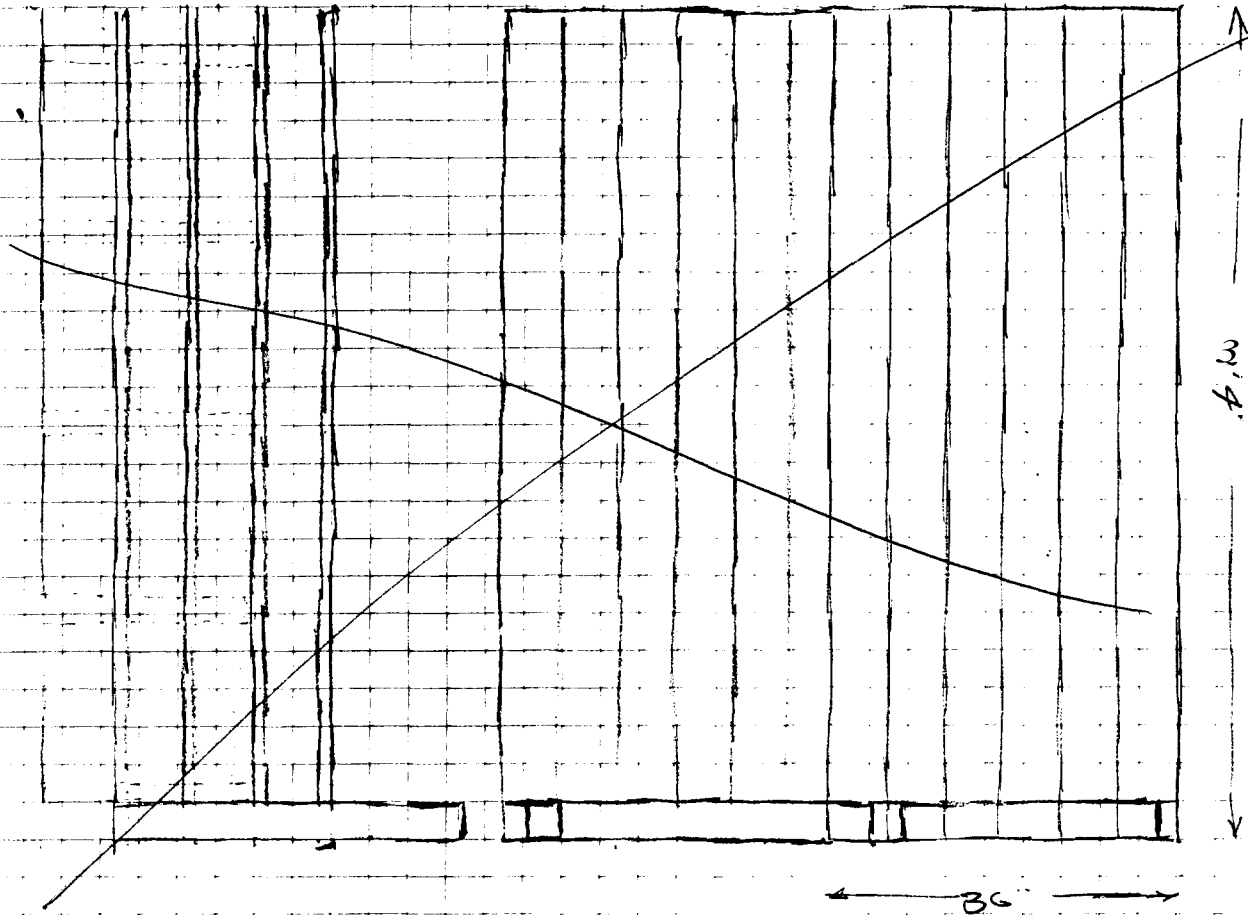
Rear 25' req 25+ shown
 Side 8' req 8+ shown
 Very close
 verify



Mr. & Mrs. Matt Goldsmith
100 Langdon Dr
Porter, LA 70453

5/4/04

Plans?



w/ graspable per D. Miller

