

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0204	Issue Date: APR 16 2003	CBL: 283 B005001
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Location of Construction: 17 Four Winds Rd	Owner Name: Goulding Michael J Wwii Vet &	Owner Address: 17 Four Winds Rd CITY OF PORTLAND	Phone: 773-0416
Business Name: n/a	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 111 Commercial St. Portland	Phone: 2077752683
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family / Adding 8' x 16' breezeway with 28' x 28' two car attached garage.	Permit Fee: \$793.00	Cost of Work: \$110,000.00	CEO District: 3	Zone: R3
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Proposed Project Description: Adding 8' x 16' breezeway with 28' x 28' two car garage.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOCA 1999 Signature: SMB 4/16/03
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 03/17/2003	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: SMB 4/16/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 4/16/03
	<i>approved w/conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

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Permit No: 03-0204	Date Applied For: 03/17/2003	CBL: 283 B005001
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Location of Construction: 17 Four Winds Rd	Owner Name: Goulding Michael J Wwii Vet &	Owner Address: 17 Four Winds Rd	Phone:
Business Name: n/a	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 111 Commercial St. Portland	Phone (207) 775-2683
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Adding 8' x 16' breezeway with 28' x 28' two car attached garage.	Proposed Project Description: Adding 8' x 16' breezeway with 28' x 28' two car garage.
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Dept: Zoning **Status:** Pending **Reviewer:** Jeanine Bourke **Approval Date:** 04/16/2003

Note: 3/24/03 Left vm for Mr. Goulding to call about plot plan, setbacks & framing details. Return call directed to Mike Russo. Discussed w/Mike, need revised plot plan showing all new structures and setback dimensions. Question if garage is considered 2-story, will refer to Marge. 2/25/03 Left vm w/Mike, garage is 2-story, setback is 14' plus main house is 2-1/2, which would need 16' on left side. 2/27/03 Mike will re-submit a updated plot plan and look at making changes to decrease sq. Footage to a 1-1/2 story.

Ok to Issue:

- 1) Must submit an updated plot plan to proposed addition
- 2) This permit approves the expansion of the 2nd floor of the garage to the constraints of a 1-1/2 story design due to the setback only meeting the 8' foot requirement
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Jeanine Bourke **Approval Date:** 04/16/2003

Note: 3/24/03 left vm w/ Mike Russo for building plan details. Returned call and will submit 11x 17 copy w/ changes **Ok to Issue:**

- 1) Must submit the design spec for the steel beam
- 2) Separate permits are required for any electrical or plumbing work.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

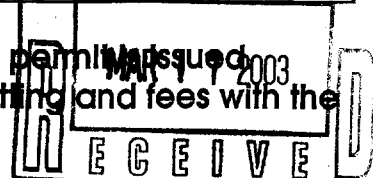
Location/Address of Construction: <u>17 Four Winds Road</u>		
Total Square Footage of Proposed Structure <u>Addition 1168</u>	Square Footage of Lot <u>14,000 +/-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>283</u> Block# <u>3</u> Lot# <u>005</u>	Owner: <u>Michael & Mary Goulding</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Monaghan Woodworks</u> <u>100 Commercial St</u> <u>Portland, Me 04101</u> <u>MIKE RUSSO 775-2683 Ext 33</u>	Cost Of Work: \$ <u>110,000</u> Fee: \$ <u>93.00</u>
Current use: <u>Res. Single family</u> <u>need 11' x 17'</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Single family</u> <u>see attached</u>		
Project description: <u>Breezeway & Garage</u> <u>8' x 16'</u> <u>08' x 28'</u>		
Contractor's name, address & telephone: <u>Monaghan Woodworks</u> <u>100 Commercial St Portland, Me 04101</u> <u>775-2683</u>		
Who should we contact when the permit is ready: <u>MIKE RUSSO Ext 33</u>		
Mailing address: <u>Call -></u>		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael A. Russo</u>	Date: <u>3/17/03</u>	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Applicant: Michael Goulding

Date: 3/20/03

Address: 17 Four Winds Rd

C-B-L: 283-B-005

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Addition

Zone Location - R3

Interior or corner lot - Interior

Proposed Use/Work - 28'x28' 2 story Garage w/8'x16' breezeway

Sewage Disposal - public

Lot Street Frontage - N/A

Front Yard - 25' Req +28' shown

Rear Yard - 25' Req over 50' shown

Side Yard - 8' Req - up to 1/2 story Need revised plot plan

Projections - Rear 2 decks

Width of Lot - N/A

Height -

Lot Area - 15,535 sq ft x 25% = 3,884 sq ft

Lot Coverage/Impervious Surface - 964 sq ft Existing New 784

Area per Family - N/A

Off-street Parking - N/A

Loading Bays -

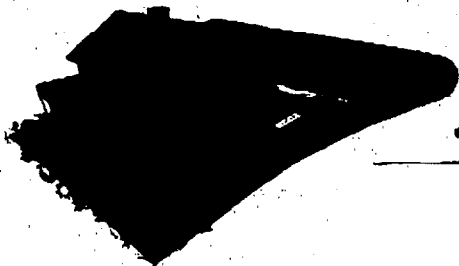
Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

	Decks	216
		20
		60
		<u>296</u>
		1128 sq ft OK

912	
- 80	
<u>832</u>	



CUSTOM CONCEPTS INC.

• Architectural Design • Custom Homes & Additions • For Builders & Homeowners

FACSIMILE TRANSMITTAL SHEET

DATE: 4/16/03

TO: JEANIE BOURKE

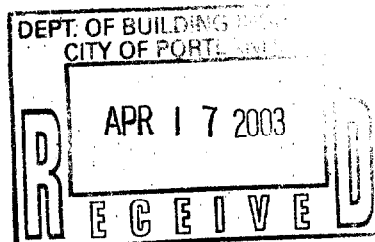
FROM: MIKE RICHMAN

RE: CRAWLEY SURVEY

FAX #: 874-8716

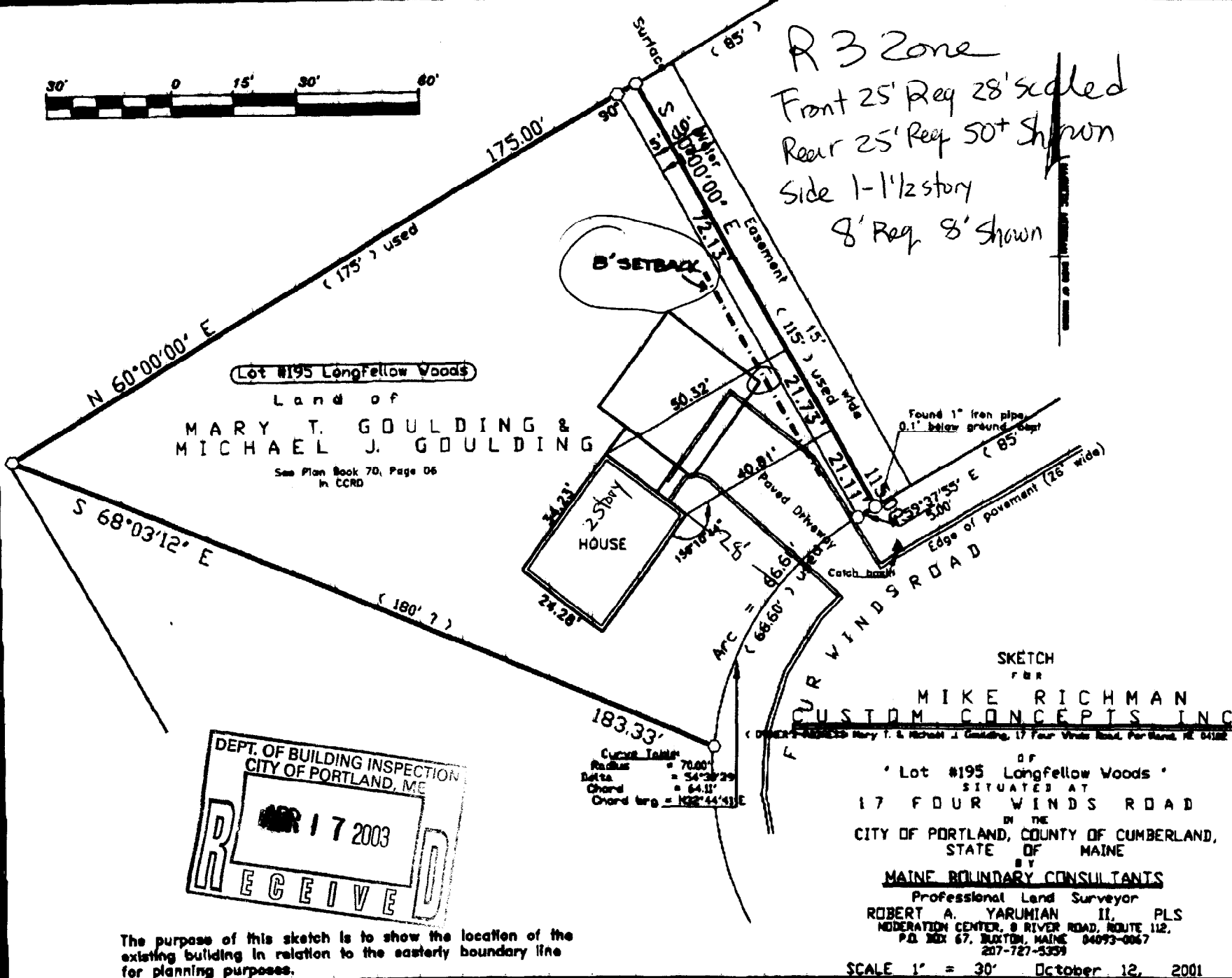
TOTAL NUMBER OF PAGES INCLUSIVE OF COVER: 2

Note: This fax is intended for the above stated only. If you have received this fax in error, please call Custom Concepts at (207) 883-0083. This information is confidential.





R 3 Zone
 Front 25' Req 28' scaled
 Rear 25' Req 50+ Shown
 Side 1-1/2 story
 8' Req 8' Shown



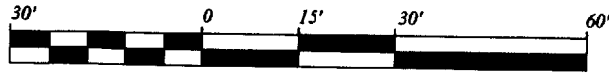
DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 RECEIVED
 APR 17 2003

The purpose of this sketch is to show the location of the existing building in relation to the easterly boundary line for planning purposes.

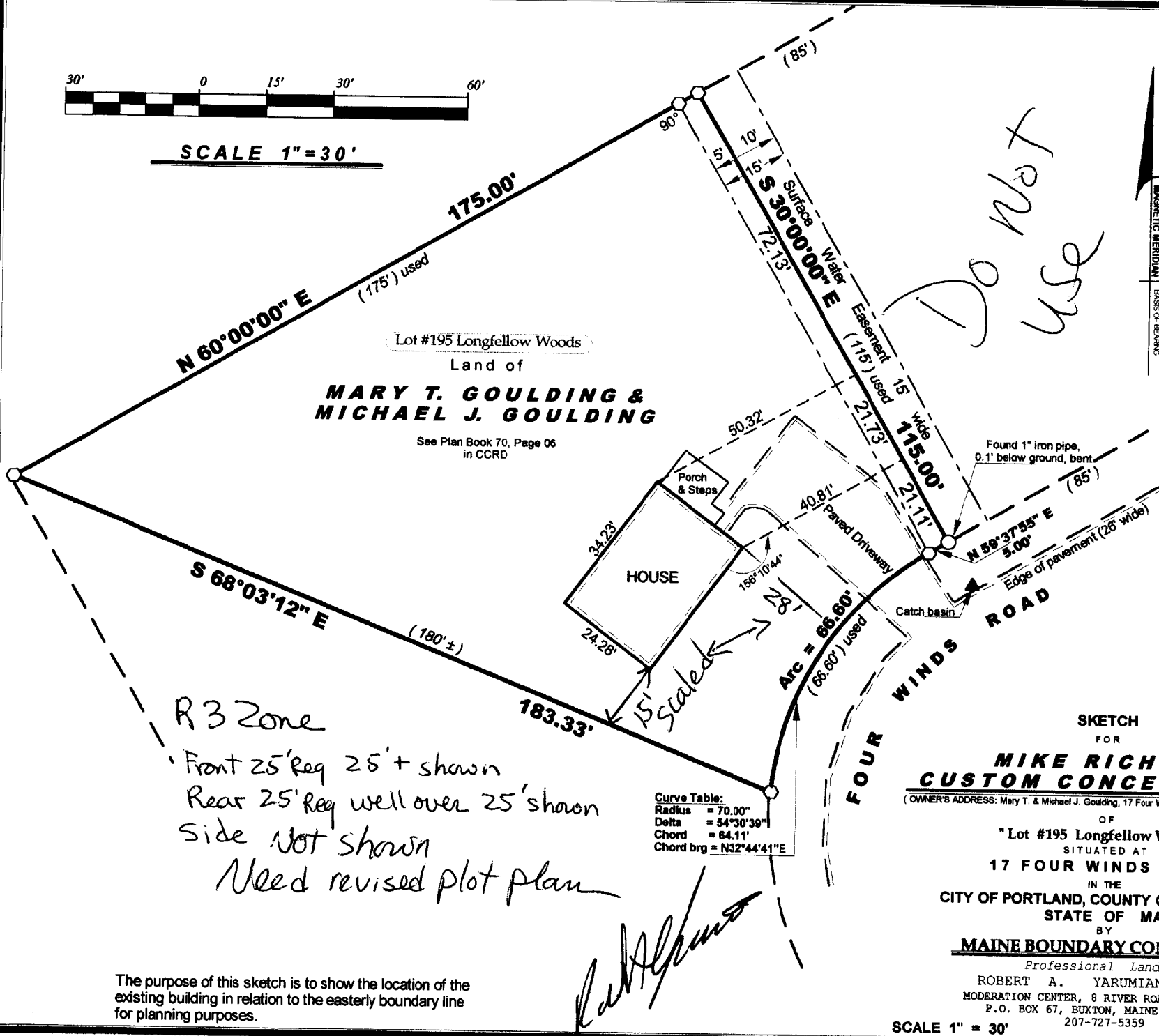
SKETCH FOR
 MIKE RICHMAN
 CUSTOM CONCEPTS INC
 (Owner: MARY T. & MICHAEL J. GOULDING, 17 FOUR WINDS ROAD, PORTLAND, ME 04102)

OF
 'Lot #195 Longfellow Woods'
 SITUATED AT
 17 FOUR WINDS ROAD
 IN THE
 CITY OF PORTLAND, COUNTY OF CUMBERLAND,
 STATE OF MAINE
 BY
 MAINE BOUNDARY CONSULTANTS
 Professional Land Surveyor
 ROBERT A. YARUMIAN II, PLS
 MODERATION CENTER, 8 RIVER ROAD, ROUTE 112,
 P.O. BOX 67, BUXTON, MAINE 04093-0067
 207-727-5359

SCALE 1" = 30' October 12, 2001



SCALE 1" = 30'



Curve Table:

Radius	= 70.00"
Delta	= 54°30'39"
Chord	= 64.11'
Chord brg	= N32°44'41"E

R3 Zone
 Front 25' Req 25'+ shown
 Rear 25' Req well over 25' shown
 Side NOT shown
 Need revised plot plan

SKETCH FOR
MIKE RICHMAN CUSTOM CONCEPTS INC.
 (OWNER'S ADDRESS: Mary T. & Michael J. Goulding, 17 Four Winds Road, Portland, ME 04102)

OF
 "Lot #195 Longfellow Woods"
 SITUATED AT
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 207-727-5359

SCALE 1" = 30' October 12, 2001

CBL 283-B-005 STREET ADDRESS 17 Four Winds

DATE	TIME	CONTACT	NARRATIVE	INITIALS
3/24/03			1. Anchor Bolts/straps	JR
			2. Verify Fire Code sep in garage all walls, ceiling. 5/8 both sides int. wall	
			3. Stairs Rise/Run, headroom, Guard/hand rail, balusters (4 sets)	JR
			4. specify Garage Beam, the spec. New int. Beam, breezeway	
			5. Bath window ? tempered	JR
			6. Smokes	
			7. Crawl space access	JR
			8. Deck beams / Guard info	JR
			9. Angled 4x6 - ? degree ? studs fastened ? size bolts ? fasten @ beam	JR
			10. Garage Door (Fire)	JR
			... will submit 11x17 changes	JR
			Revised Plans Submitted 4/16/03	

FIELD

NO

* Drawing Not to Scale

- NEW Garage
- NEW BREEZEWAY

57' to Back line

This plot plan is not correct
Need Revision

Property line

34.23'

50.32'

Existing porch & steps

Garage

Existing HOUSE

36'

21.73'

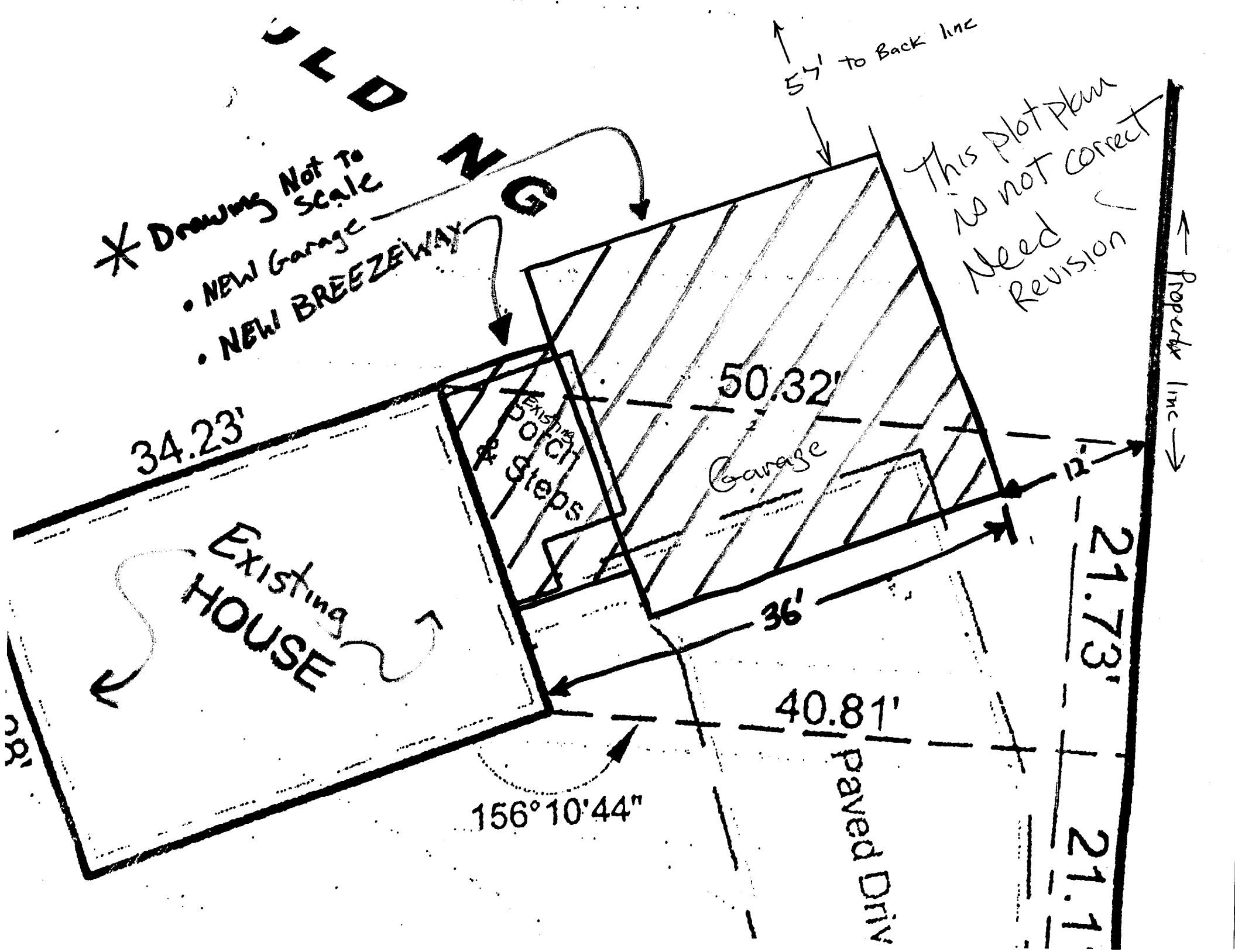
40.81'

paved Driv

21.1'

156° 10' 44"

18'



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 283 B005001
Location 17 FOUR WINDS RD
Land Use SINGLE FAMILY

Owner Address GOULDING MICHAEL J WWII VET & MARY T JTS
 17 FOUR WINDS RD
 PORTLAND ME 04102

Book/Page
Legal 283-B-5
 FOUR WINDS RD 17-19
 15535 SF

Valuation Information

Land	Building	Total
\$34,550	\$88,090	\$122,640

Property Information

Year Built 1966	Style Garrison	Story Height 2	Sq. Ft. 1700	Total Acres 0.357		
Bedrooms 4	Full Baths 1	Half Baths 1	Total Rooms 6	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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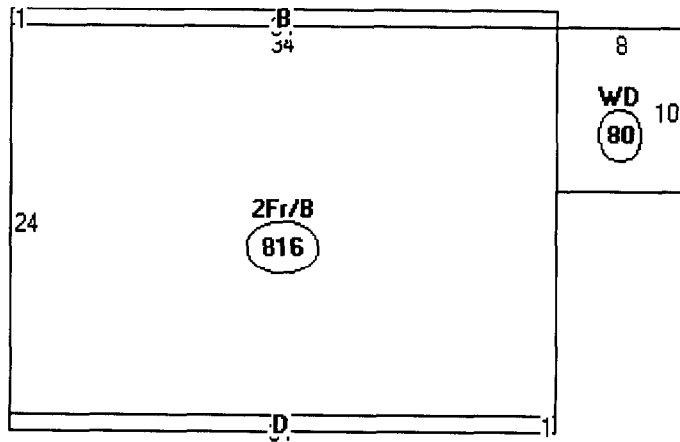
Picture and Sketch

[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)





Descriptor/Area

- A: 2Fr/B
816 sqft
- B: FOH
34 sqft
- C: WD
80 sqft
- D: FOH
34 sqft

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

Carrie Bonke

Date

4/16/03

Signature of Inspections Official

Date

CBL:

283-B-5

Building Permit #:

030204 #

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION PERMIT

PERMIT ISSUED

Permit Number: 030204

APR 16 2003

This is to certify that Goulding Michael J Wwii V / Monaghan Woodworks Inc
has permission to Adding 8' x 16' breezeway w 28' x 28' eage.
AT 17 Four Winds Rd 283 B005001

CITY OF PORTLAND

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

ification of inspection must be given and when permission procured before this building or part thereof is used or otherwise closed-in. YOUR NO. REQUIRED.

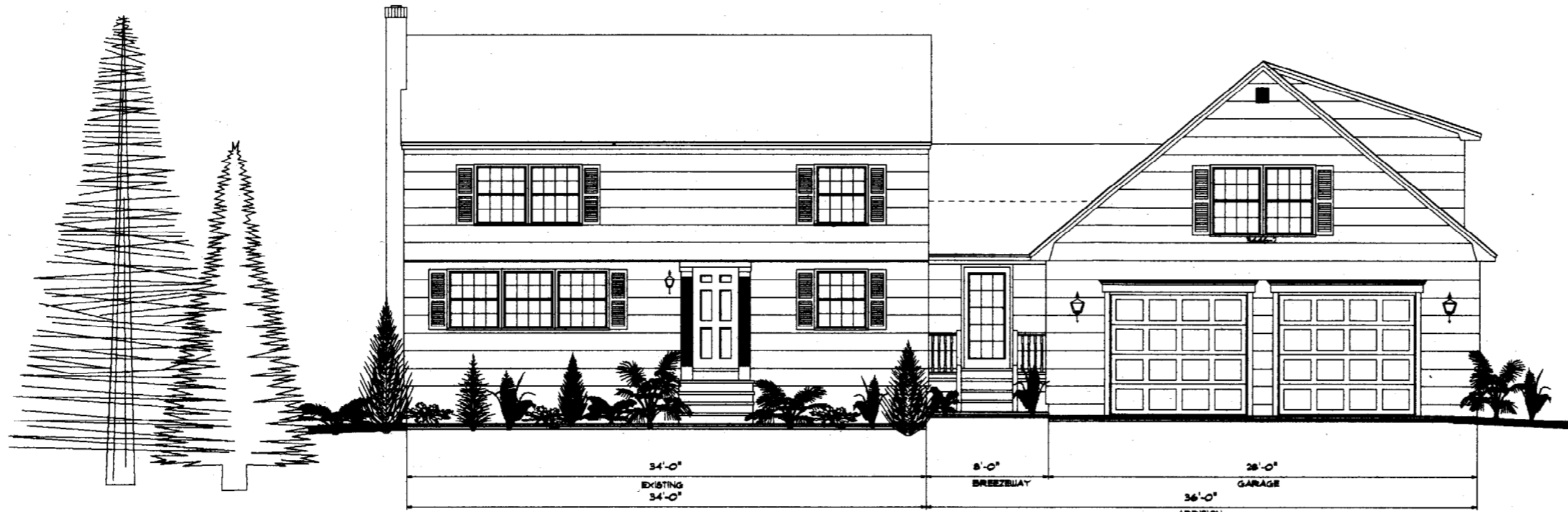
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

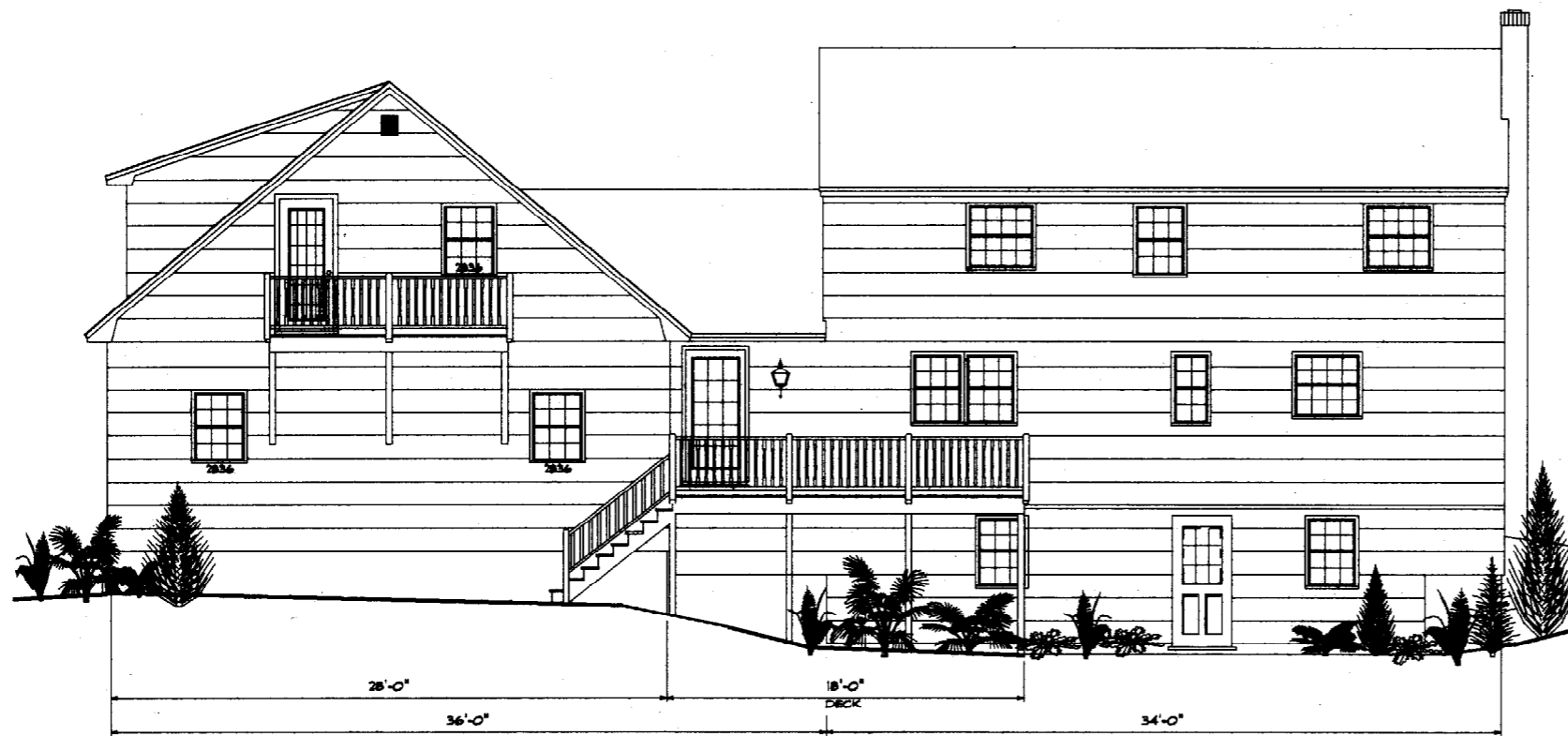
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeannie Bouke 4/16/03
Director - Building & Inspection Services

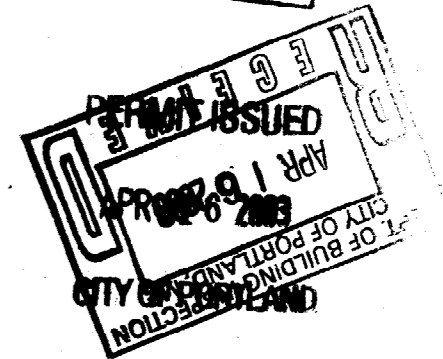
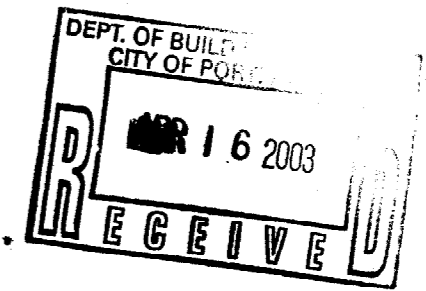
PENALTY FOR REMOVING THIS CARD



MAIN ELEVATION

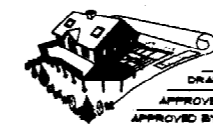


REAR ELEVATION



THESE PLANS ARE PROVIDED TO THE BUILDING CONTRACTOR TO ILLUSTRATE THE INTENTIONS OF THE DESIGNER. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECTS OF THE PROJECT AS WELL AS MEETING ALL APPLICABLE CODES.

- PRELIMINARY DESIGN (for client review)
- DESIGN DEVELOPMENT (for client review and cost estimating)
- CONTRACT DOCUMENTS (for permits, bids and construction)

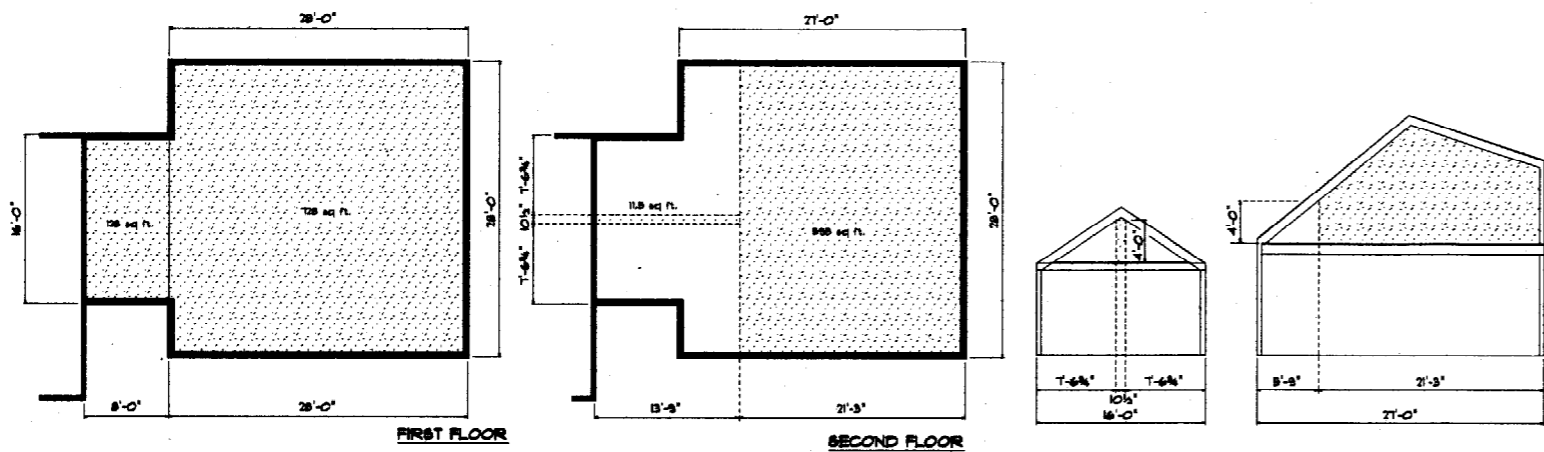


CUSTOM CONCEPTS INC.

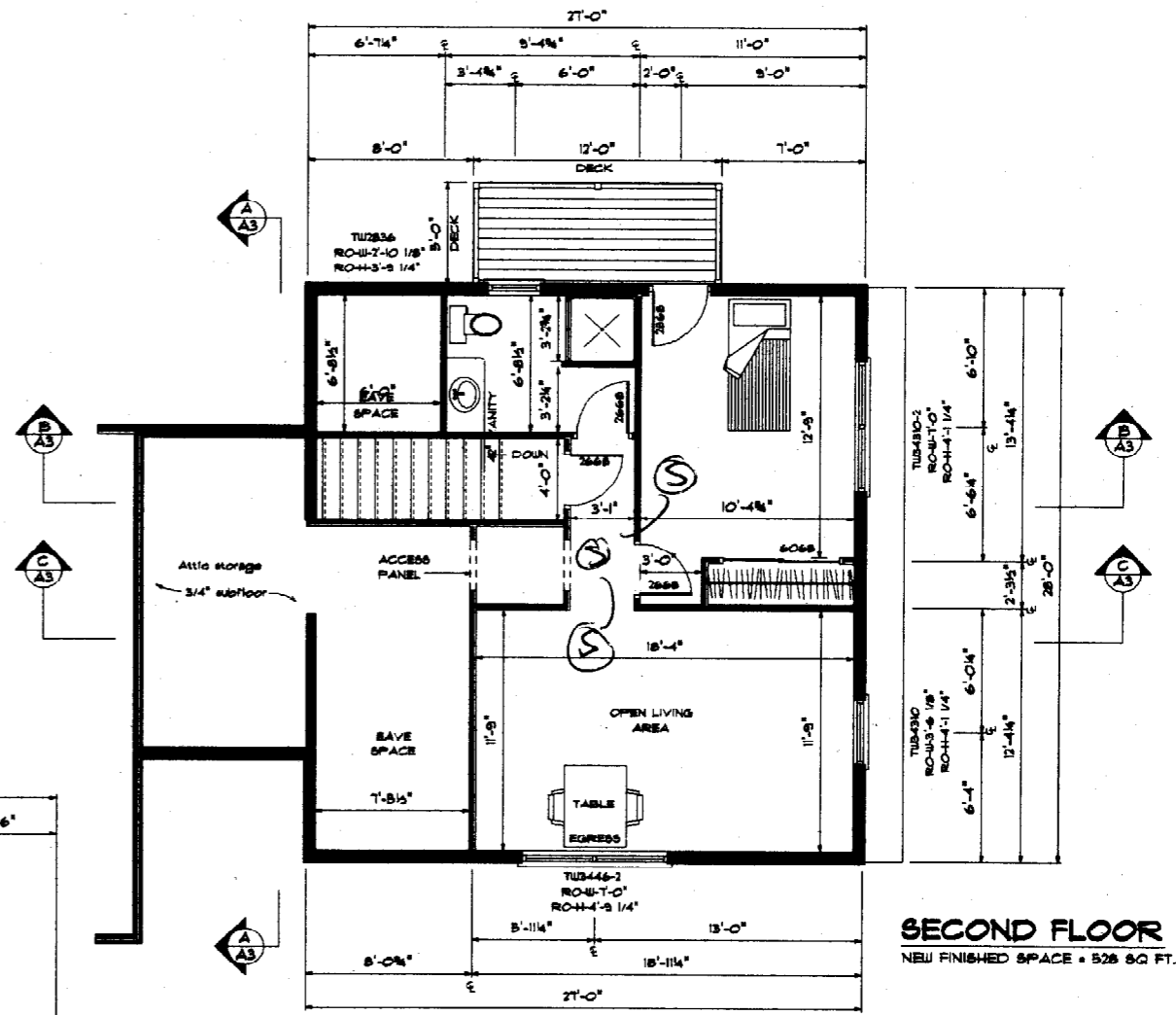
JOB: CROULEY ADDITION	JOB #: 107H-01
DRAWING: ELEVATIONS	SCALE: 1/4" = 1'-0"
APPROVED BY:	UPDATED: 4/7/2003
APPROVED BY:	DRAWN BY: MR

A1

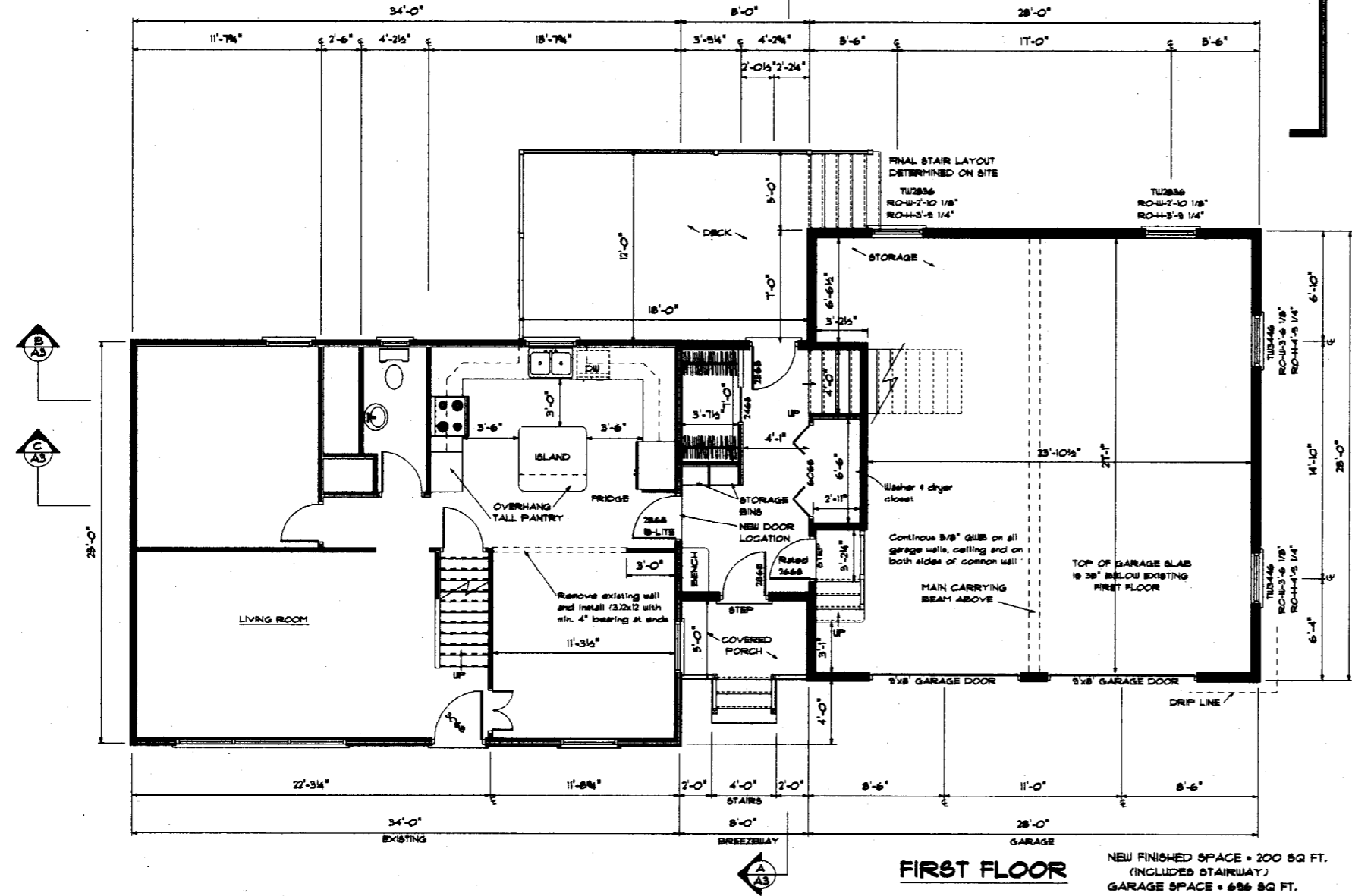
TEL (207) 883-0083 FAX (207) 883-0081



First floor of addition = 912 sq. ft.
 x66% (for 1-1/2 story addition) = 603 sq. ft. allowable
 Second floor below 48' height = 606.5 sq. ft.



SECOND FLOOR
 NEW FINISHED SPACE = 528 SQ. FT.



FIRST FLOOR
 NEW FINISHED SPACE = 200 SQ. FT. (INCLUDES STAIRWAY)
 GARAGE SPACE = 636 SQ. FT.

Exterior stairs
 Max. 7 3/4" Rise 10" Tread min.
 36" Guard & 4" space balusters/stairs
 w/Graspable H Rail

THESE PLANS ARE PROVIDED TO THE BUILDING CONTRACTOR TO ILLUSTRATE THE INTENTIONS OF THE DESIGNER. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECTS OF THE PROJECT AS WELL AS MEETING ALL APPLICABLE CODES.

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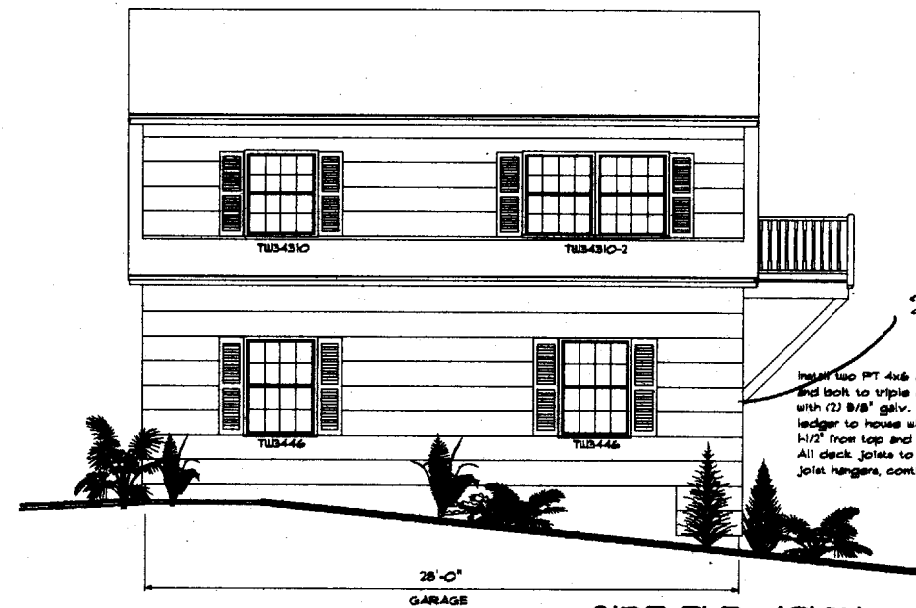
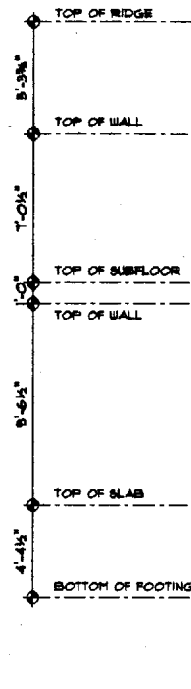
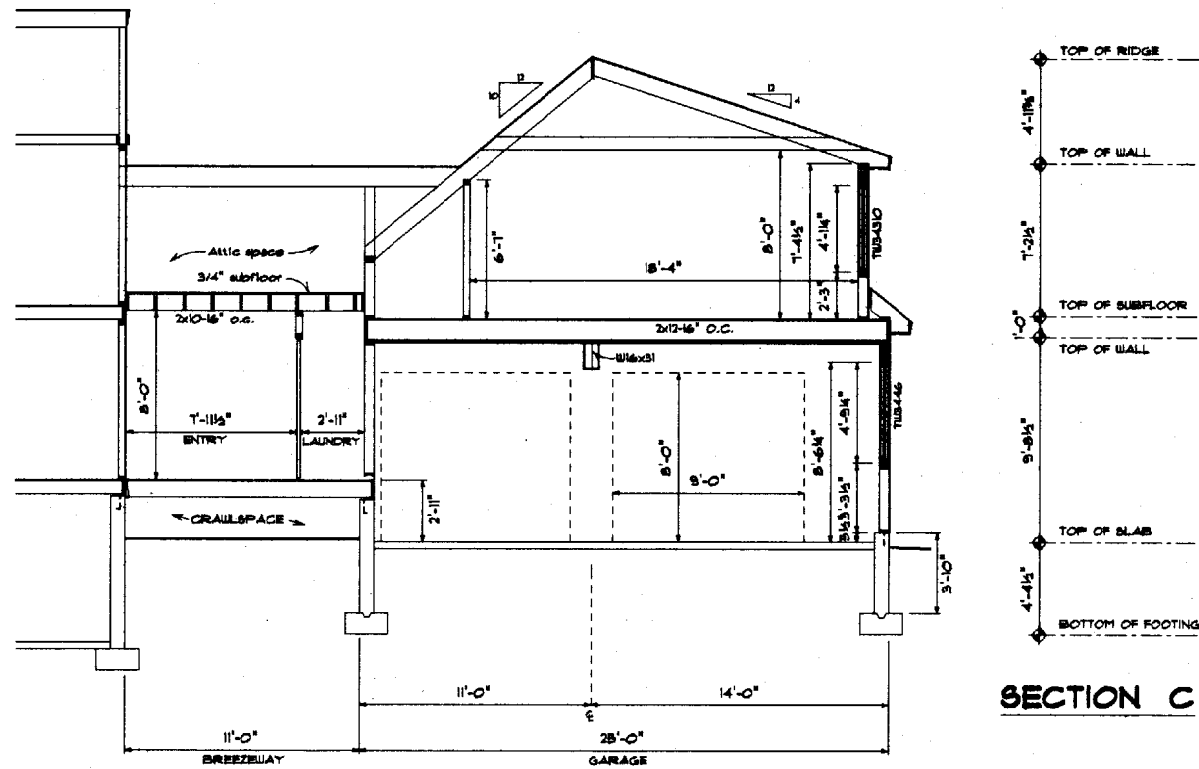
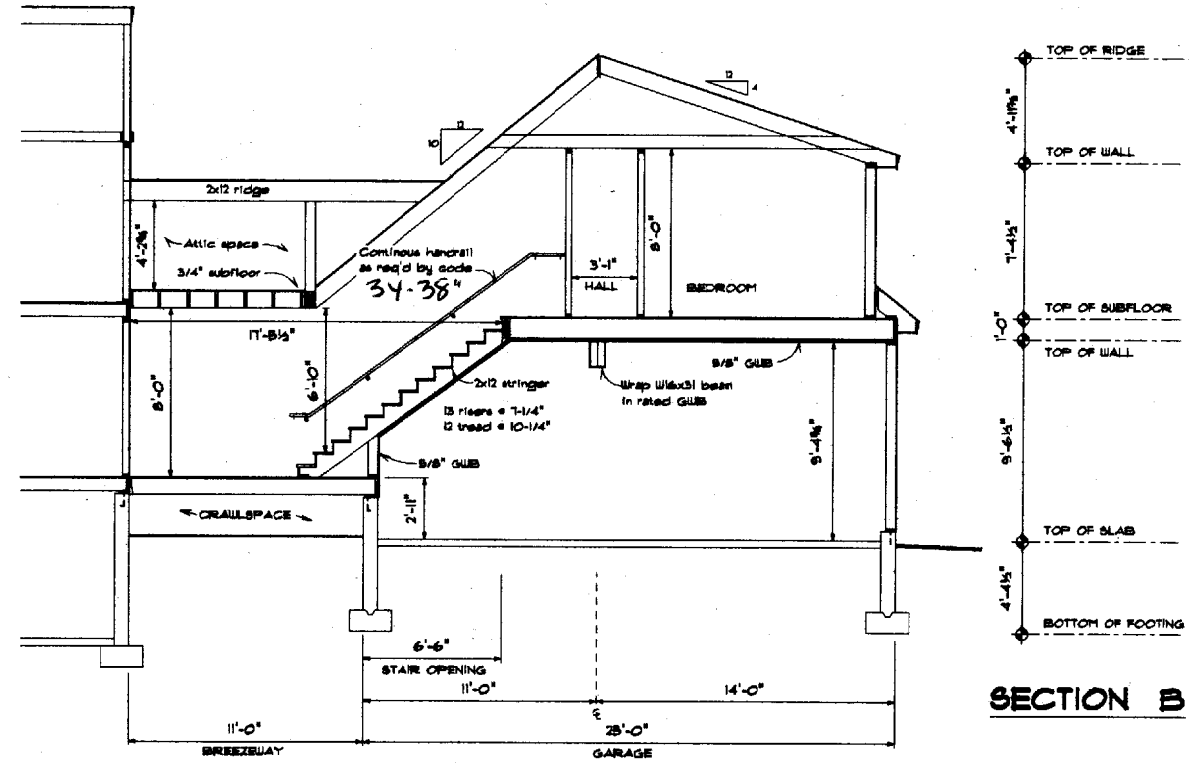
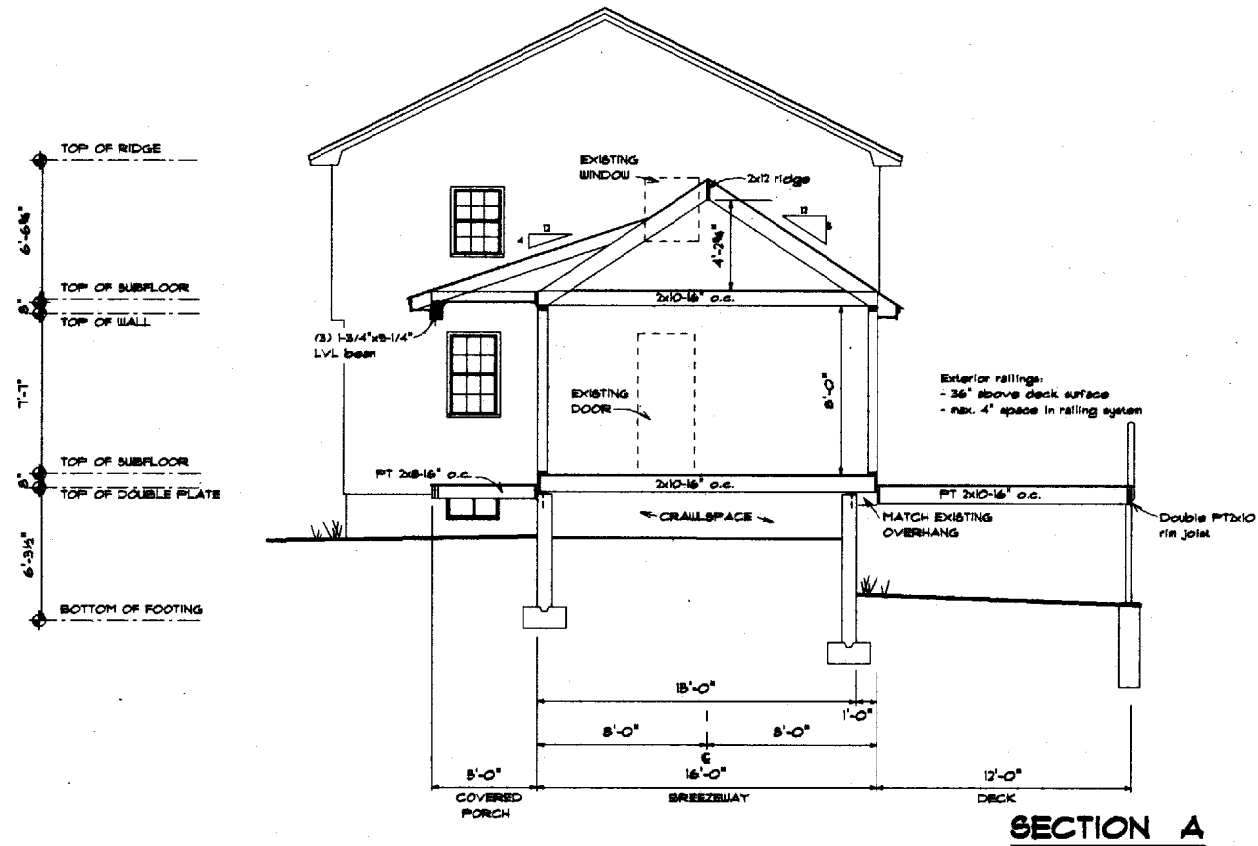


CUSTOM CONCEPTS INC.

JOB: CROWLEY ADDITION JOB #: 10704
 DRAWING: FLOORPLANS SCALE: 1/4" = 1'-0"
 APPROVED BY: [Signature] UPDATED: 4/1/2003
 DRAWN BY: HR

A2

TEL (207) 883-0083 FAX (207) 883-0081



- PRELIMINARY DESIGN (for client review)
- DESIGN DEVELOPMENT (for client review and cost estimating)
- CONTRACT DOCUMENTS (for permits, bids and construction)



CUSTOM CONCEPTS INC.

JOB: CIRCULARY ADDITION	JOB #: 1071-01
DRAWING: SECTION & SIDE ELEVATION	SCALE: 1/4" = 1'-0"
APPROVED BY:	UPDATED: 4/1/2003
APPROVED BY:	DRAWN BY: MR

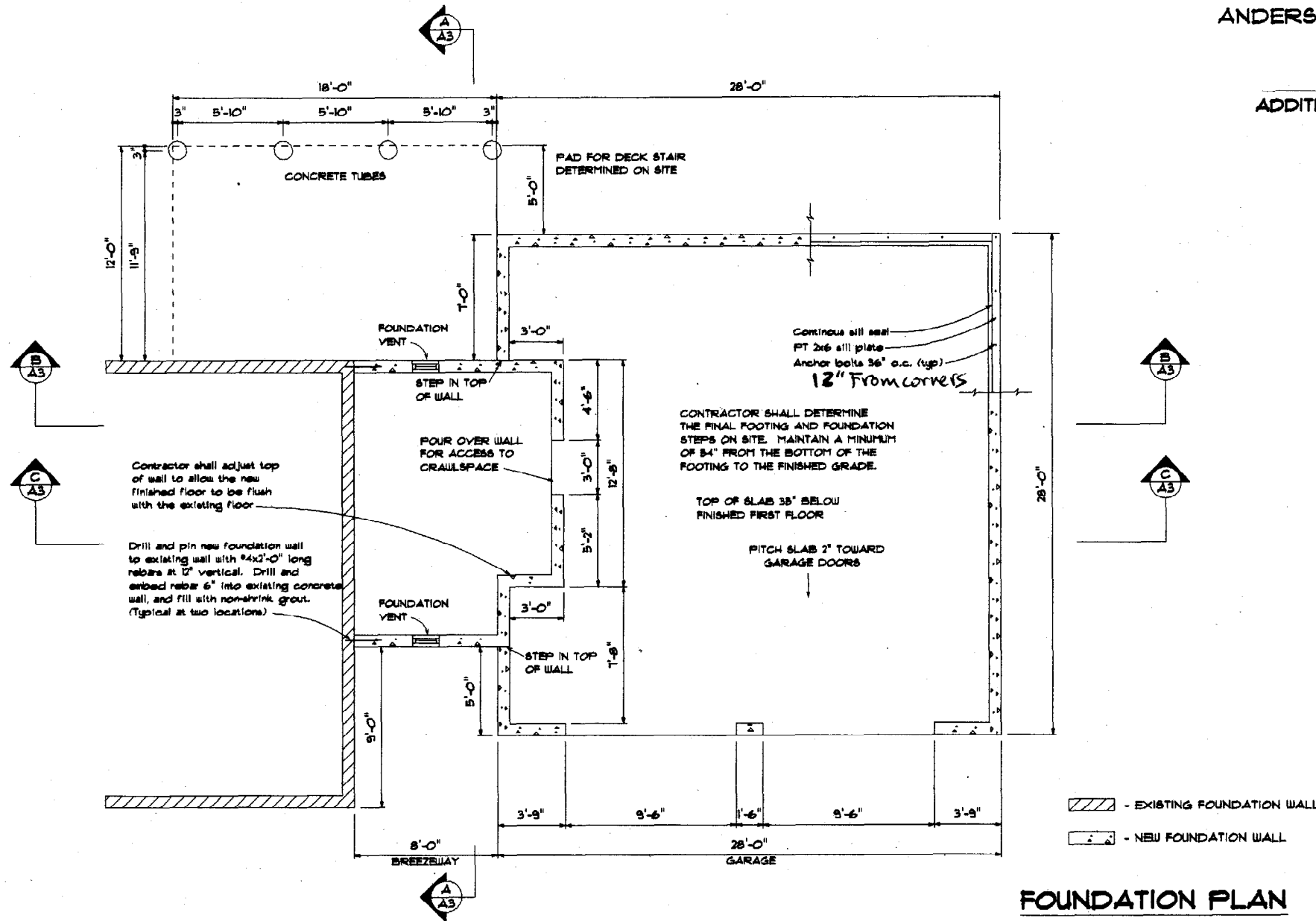
A3

TEL (207) 883-0083 FAX (207) 883-0081

WINDOW SCHEDULE

ANDERSEN - MATCH COLOR AND DETAILS OF EXISTING WINDOWS

	LOCATION	QUANTITY	MODEL NUMBER	GRILL	NOTES
ADDITION	GARAGE	2	TW3446	8/8	
		2	TW2836	6/6	
	LIVING ROOM	1	TW3446-2	8/8	EGRESS UNITS - FACTORY MULLED
		1	TW34310	8/8	
	BEDROOM	1	TW34310-2	8/8	FACTORY MULLED
	BATHROOM	1	TW2836	6/6	Tempered



FOUNDATION PLAN

FOUNDATION CONSTRUCTION:

- 8"x20" FOOTINGS (MIN 3800 PSI)
- 84" BELOW FINAL FINISHED GRADE
- 8" WALLS (MIN 3000 PSI)
- TIE INTO EXISTING PERIMETER DRAIN IF LOCATED
- GARAGE SLAB - 4" THICK REINFORCED WITH FIBERGLASS - (2800 PSI MIN.)
- CONCRETE TUBES:
 - 12" DIAMETER
 - CONTINUOUS POUR
 - BOTTOM 84" BELOW FINISHED GRADE (MIN)

WALL CONSTRUCTION:

- 2x6 KD STUDS 16" O.C.
- HEADERS ARE TO BE BUILT UP WITH TRIPLE 2x10 WITH 1/2" PLYWOOD AND ARE GLUED AND NAILED
- 6" KRAFT FACED INSULATION - INCLUDING GARAGE
- 1/2" CDX PLYWOOD LAID HORIZONTALLY
- TYRAR HOUSEWRAP
- INTERIOR WALLS ARE 2x4 KD STUD 16" O.C.
- TYPICAL 1/2" DRYWALL + FIRE CODE WHERE REQUIRED BETWEEN GARAGE AND ADDITION AND ON CEILING OF GARAGE SPACE

FLOOR CONSTRUCTION:

- 2x12 JOISTS 16" O.C. WITH SOLID BLOCKING AT MIDSPAN
- 3/4" ADVANTEC FLOORING GLUED AND NAILED

DECK CONSTRUCTION:

- PT 2x10 - 16" O.C.
- PT 4x6 ANGLED POSTS BOLTED TO TRIPLE 2x6 WALL STUDS WITHIN GARAGE WALL
- BOARDWALK OR SIMILAR DECKING FASTENED WITH PRE-DRILLED STAINLESS STEEL SCREWS
- BOARDWALK OR SIMILAR POSTS, RAILS AND BALUSTERS

GARAGE CEILING CONSTRUCTION:

- FULL UNFRACED R-38 INSULATION
- CONTINUOUS LAYER OF 1" RIGID INSULATION WITH TAPED JOINTS
- DRYWALL TO MEET LOCAL FIRE CODE

ROOF CONSTRUCTION:

- MATCH EXISTING ROOF SHINGLES
- CONTINUOUS RIDGE VENT
- TWO ROLLS OF BITUTHANE ON ALL EAVES AND VALLEYS
- FULL BITUTHANE COVERAGE ON ALL SLOPES 8/12 OR LESS
- FULL LAYER OF 40# TAR PAPER
- 1/2" CDX EXT. #1 PLYWOOD WITH STAGGERED JOINTS
- 2x10 RAFTERS 16" O.C.
- 2x6 COLLAR TIE AS SHOWN
- FULL PROPER VENTS FROM PLATE TO ABOVE INSULATION ON COLLAR TIE
- 5" KRAFT FACED INSULATION
- 1/2" DRYWALL - MATCH EXISTING FINISH
- MATCH EXISTING SOFFIT AND FACIA
- CONTINUOUS SOFFIT VENTING

INTERIOR FINISHES:

- b3 STRAPPING 16" O.C.
- 5/8" UNDERLAYMENT BENEATH TILE SURFACES
- MATCH ALL EXISTING TRIM DETAILS
- POSTFORM COUNTERTOP IN BATHROOM
- CLOSET TO INCLUDE ROD AND SHELF ABOVE
- BATH VANITY TO MATCH EXISTING BATH AND KITCHEN CABINERY
- SHOWER TO BE AN AQUAGLASS MODEL #833941A
- NOTE: INSTALL SMOKE DETECTORS AS REQUIRED BY CODE

- PRELIMINARY DESIGN (for client review)
- DESIGN DEVELOPMENT (for client review and cost estimating)
- CONTRACT DOCUMENTS (for permits, bids and construction)



CUSTOM CONCEPTS INC.

JOB: CROULEY ADDITION	JOB # 1071-01	A4
DRAWING: FOUNDATION PLAN + SCHEDULE	SCALE: 1/4" = 1'-0"	
APPROVED BY:	UPDATED: 4/1/2003	
APPROVED BY:	DRAWN BY: MR	

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