

281-A-1

2005-0163

Stevens Ave.

Cedars Wetland Mitigation -

Evergreen Cem.

JHA Services

on Spreadsheet





Approx. location Cedars Rehabilitation Center Addition

Prepared Sept 2008 by Planning Staff  
based on GIS Workgroup Data



**LEGEND**

- 5/8" Capped iron rod set
- Iron pin found
- Monument found
- Catch basin
- Sewer manhole
- Drain manhole
- Gas valve
- Water shutoff
- Fire hydrant
- Utility pole
- Light pole
- Elec. manhole
- Tel. manhole
- Sign
- Edge of pavement
- Curb
- Butter's line
- Property line
- Easement line
- Sanitary sewer
- Water line
- Overhead utility wires
- Underground gas
- Underground tel./elec.
- Fence

- Existing building
- Concrete pad or surface
- Elec. Transformer
- Proposed Construction Unit 2
- Existing Unit 3
- Existing Unit 1
- Mitigation parcels

**EASEMENTS AND ENCUMBRANCES**

- (1) Utility Easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company by Cedars Nursing Care Center, Inc. described in Book 9306, Page 218. The proposed utility poles mentioned in description was not found on premises.
- (2) Snow Plowing Easement conveyed to the City of Portland by Cedars Nursing Care Center, Inc. and Jewish Home for the Aged described in Book 9260, Page 236.
- (3) Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 187; encumbers the property described in Book 13096, Page 317.
- (4) Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 188; encumbers the property described in Book 14221, Page 218.
- (5) The Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 13709, Page 75, and the Amendment to Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 24128, Page 254. The amended and unamended Mitigation Parcels have been delineated on plan.
- (6) Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 24128, Page 285.
- (7) Underground Line Easement conveyed to Central Maine Power Company by Cedars Nursing Care Center, Inc. in Book 9162, Page 206; encumbers the property described in Book 7732, Page 282.

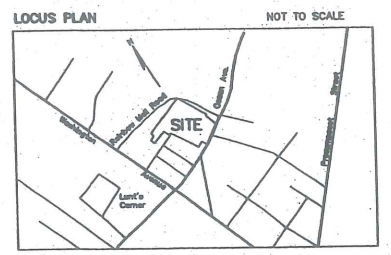
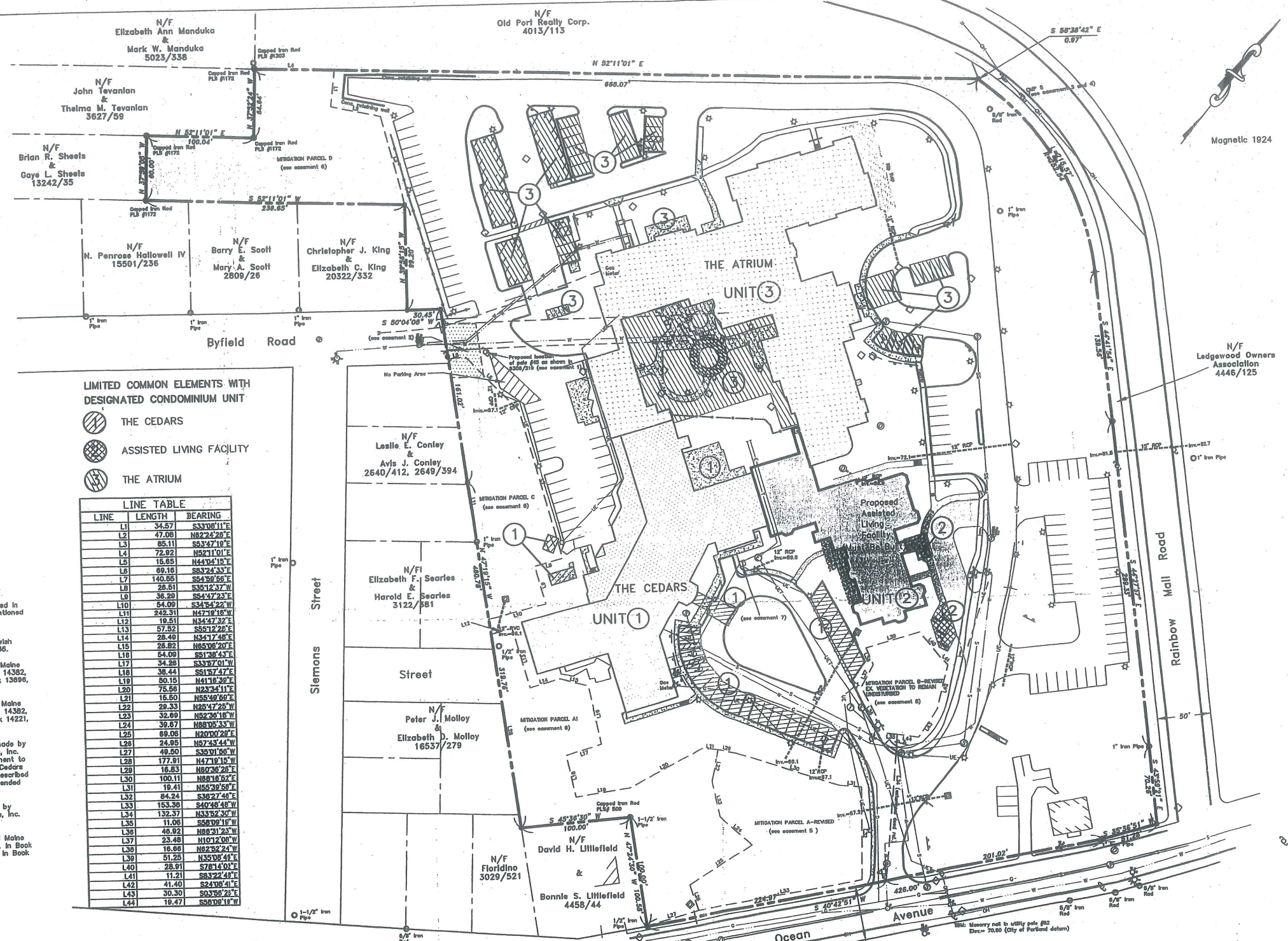
**LIMITED COMMON ELEMENTS WITH DESIGNATED CONDOMINIUM UNIT**

- THE CEDARS
- ASSISTED LIVING FACILITY
- THE ATRIUM

LINE	LENGTH	BEARING
L1	34.57	S33°08'11"E
L2	47.08	N82°24'20"E
L3	85.11	S83°47'10"E
L4	72.02	N52°11'01"E
L5	16.65	N44°04'15"E
L6	69.18	S83°24'37"E
L7	148.66	S54°39'55"E
L8	28.51	S35°12'37"W
L9	36.29	S54°47'23"E
L10	54.09	S34°54'22"W
L11	242.31	N47°10'16"W
L12	19.31	N34°47'32"E
L13	57.52	S56°12'26"E
L14	28.49	N34°17'48"E
L15	26.82	N85°08'20"E
L16	64.09	S51°38'43"E
L17	34.28	S33°57'01"W
L18	38.44	S51°57'47"E
L19	80.15	N41°16'39"E
L20	75.58	N23°34'11"E
L21	15.50	N56°49'59"E
L22	29.33	N89°47'25"W
L23	32.89	N52°36'18"W
L24	39.87	N88°05'33"W
L25	69.08	N20°00'28"E
L26	24.95	N57°43'44"W
L27	49.50	S32°01'56"W
L28	177.81	N47°18'15"W
L29	18.83	N6°28'28"E
L30	100.11	N88°16'52"E
L31	19.41	N55°39'58"E
L32	84.24	S38°27'48"E
L33	153.36	S40°46'42"W
L34	132.37	S43°32'35"W
L35	11.06	S89°09'17"W
L36	46.92	N88°31'23"W
L37	23.48	N10°12'06"W
L38	18.86	N82°32'24"W
L39	51.25	N53°04'24"E
L40	28.81	S78°14'01"E
L41	11.21	S83°22'48"E
L42	41.40	S24°08'41"E
L43	30.30	S03°56'20"E
L44	19.47	S58°09'11"W

**CITY OF PORTLAND SITE PLAN & SUBDIVISION NOTES: CITY OF PORTLAND NOTES CONT:**

1. LANDSCAPING SHALL MEET THE "ARBORCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEFINED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY; DRAINAGE; LANDSCAPING; RETENTION OF WOODS OR LAWN AREAS; ACCESS; SIZE, LOCATION, AND SURFACES OF PARKING AREAS; AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWER LINE UTILITIES SHALL BE UNDERGROUND.
4. SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH UP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1998 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED (SILT FENCE, HAY BALE, ETC.) AS WELL AS THEIR LOCATION).
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REDGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES [SEE ABOVE].
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES REMOVED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REDGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
10. SUBDIVISION SHALL MEAN THE SUBDIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.



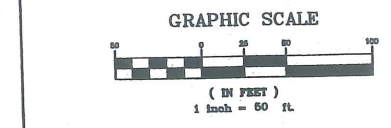
- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
  - (2) Bearings are referenced to magnetic north 1924.
  - (3) All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig Safe and/or the appropriate utilities should be contacted prior to any construction.
  - (5) According to the Flood Insurance Rate Map for the City of Portland (FIRM Panel 230051 0007 B, effective date July 17, 1986), this parcel is not located within a flood hazard area.

**AREA**  
TOTAL PROJECT AREA = 10.57 ACRES

**PLAN REFERENCES**

- (1) Plan of Lots Number 3 & 4 made for the Estate of Mary S. Lunt by Edwin C. Townsend dated March 8, 1877 recorded in Plan Book 4, Page 4.
- (2) Plan of Land made for Dorothy S. Trus and Heirs of F.W.H. Smith dated October 1929, recorded in Plan Book 25, Page 50.
- (3) Revised Final Plan of Ledgeswood Subdivision made for the Dartmouth Company by Land Use Consultants dated April 27, 1979, recorded in Plan Book 123, Page 61.
- (4) Plan of Property made for Jewish Home for the Aged made by H.I. and E.C. Jordan dated July 17, 1967.
- (5) Plan of Property/Land Title Survey of the Cedars made by H.I. and E.C. Jordan dated March 29, 1990, recorded in Plan Book 186, Page 14.
- (6) Record Drawing of Cedars Nursing Care Center, Inc. made by Owen Haskell, Inc. dated August 29, 1991.
- (7) Layout and UTILITIES Plan of the Atrium at Cedars (drawing number C202) made by Teomides Associates dated May 27, 1997.
- (8) Topographic Site Survey made for JHA Properties, Inc. by Daniel J. Delphonso dated February 28, 1997.
- (9) Plan Showing Proposed Property Lines made for JHA Properties, Inc. by Daniel J. Delphonso dated November 4, 1997.
- (10) Plan Showing Standard Boundary Survey made for JHA Properties, Inc. by Daniel J. Delphonso dated July 14, 1997, recorded in Plan Book 195, Page 325.
- (11) Plan of Cedars Phase 3-Welland Mitigation Areas made by Land Use Consultants dated August 24, 2004.
- (12) ALTA/ACSM Land Title Survey made for JHA Properties, Inc. & Cedars Nursing Care Center, Inc. dated November 4, 2004, by Tilcomb Associates.
- (13) Cedars Condominiums Recording Plat/Condominium Plan ALTA/ACSM Land Title Survey made for JHA Properties, Inc. & Cedars Nursing Care Center, Inc. and JHA Assisted Living, Inc. by Tilcomb Associates dated September 8, 2005 and revised through April 5, 2008, recorded in the Cumberland County Registry of Deeds in Plan Book 206, Page 430.

**OWNERS OF RECORD**  
Cedars Nursing Care Center, Inc. (formerly Jewish Home for the Aged) and JHA Properties, Inc. See Declaration of Cedars Condominiums.  
Book 24128, Page 278



Rev. 4	06/30/06	Owner of Record	RJC
Rev. 3	06/30/06	Easements and Encumbrances	RJC
Rev. 2	04/05/06	Easements and Encumbrances	RJC
Rev. 1	04/05/06	Removed historical lot lines and Parcel info.	RJC

**CEDARS CONDOMINIUMS CONDOMINIUM PLAN ALTA / ACSM Land Title Survey**  
630 Ocean Avenue Portland, Maine

MADE FOR  
JHA Properties, Inc., Cedars Nursing Care Center, Inc. & JHA Assisted Living, Inc.  
630 Ocean Avenue Portland, Maine

JOB# 204089	DATE Sept 08, 2005	SCALE 1"=50'
BOOK# 734		
DWC: 204089_R11		
FILE# 8847		

**Tilcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105 (207)787-0190

To Suburban Mortgage Associates Incorporated, the Secretary of Housing and Urban Development of Washington, D.C., Cedars Nursing Care Center, Inc., JHA Assisted Living Facility and JHA Properties, Inc.

This is to certify that this plot and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes items 1-4, 8-10, 11b, 13 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, ACSM, and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Maine, the maximum Relative Positional Accuracy is .07 feet.

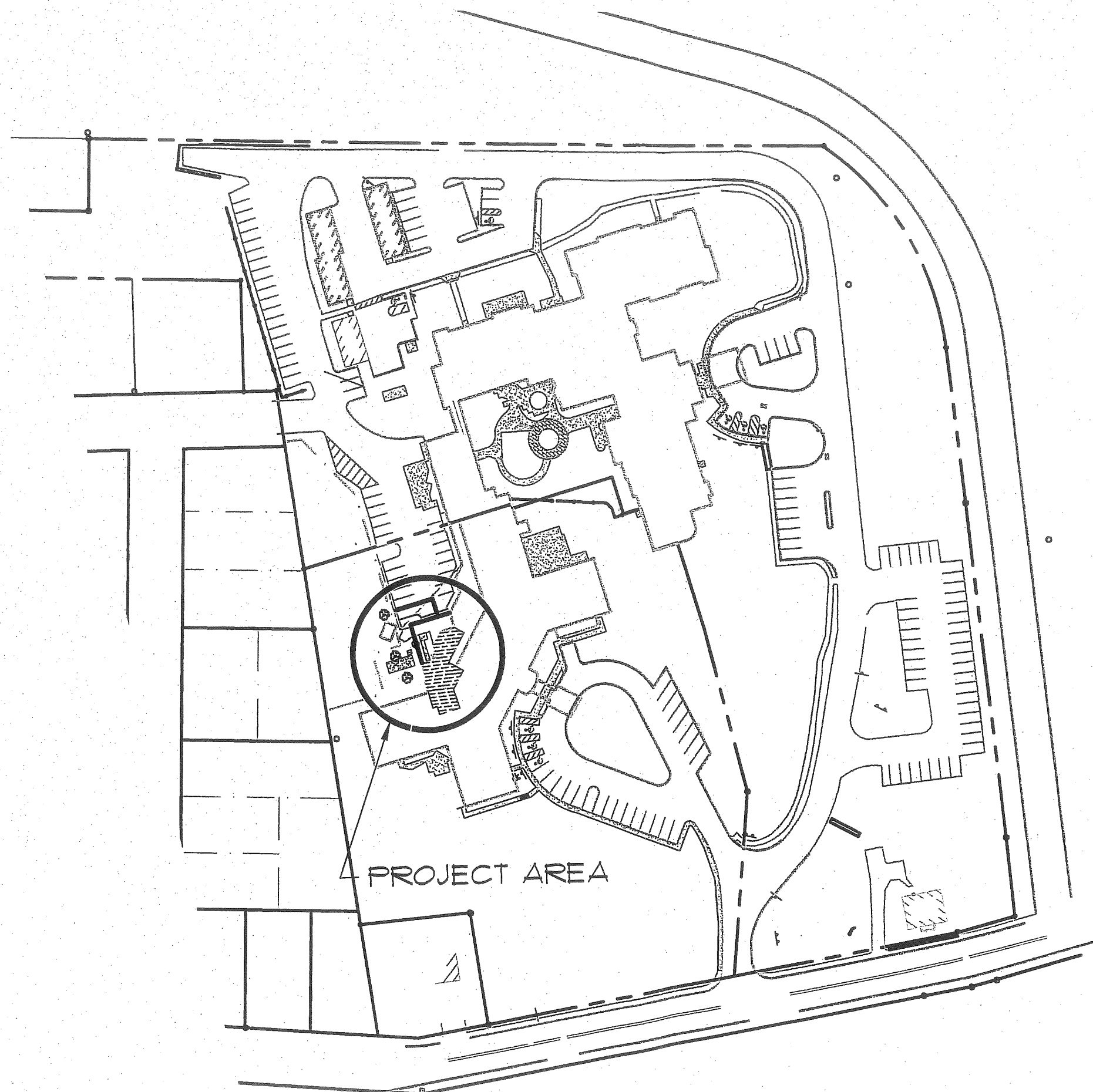
Rev. J. Croteau, Maine PLS #2273



**CERTIFICATION**  
This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors.

Att. J





Att. K



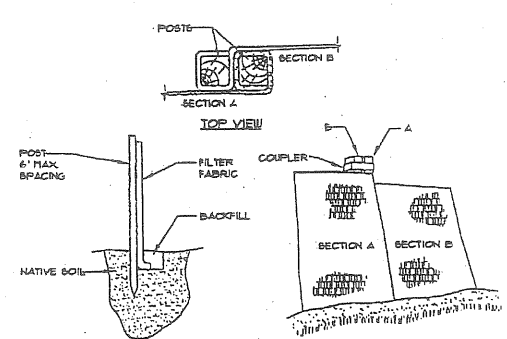
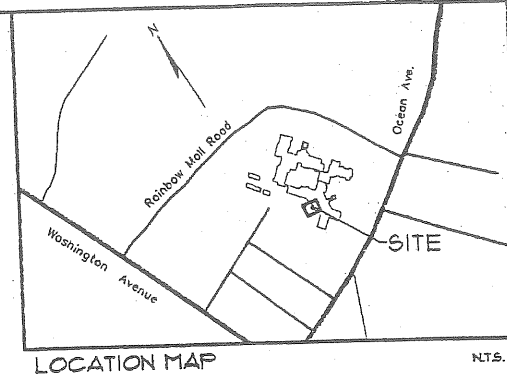
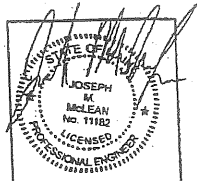
**Sebago Technics**  
 Engineering Expertise You Can Build On  
 250 Goddard Road, Suite B  
 Lewiston, Maine 04240  
 Tel (207)783-5656

**PROJECT LOCATION MAP**  
 OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
 630 OCEAN AVENUE  
 PORTLAND, ME 04103  
 FOR:  
**CEDARS HEALTH CARE**  
 630 OCEAN AVENUE  
 PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	PLS
DATE:	9-16-08
SCALE:	1"=100'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318LOC
<b>SHEET 1 OF 1</b>	

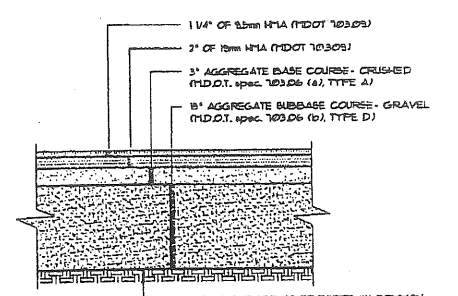


Att. L



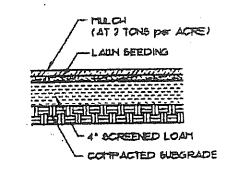
- INSTALLATION:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOP-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOP-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI BILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

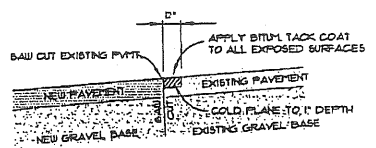


- NOTES:**
1. CONTRACTOR SHALL BRING TO SUBGRADE AS REQUIRED BY COMMON BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

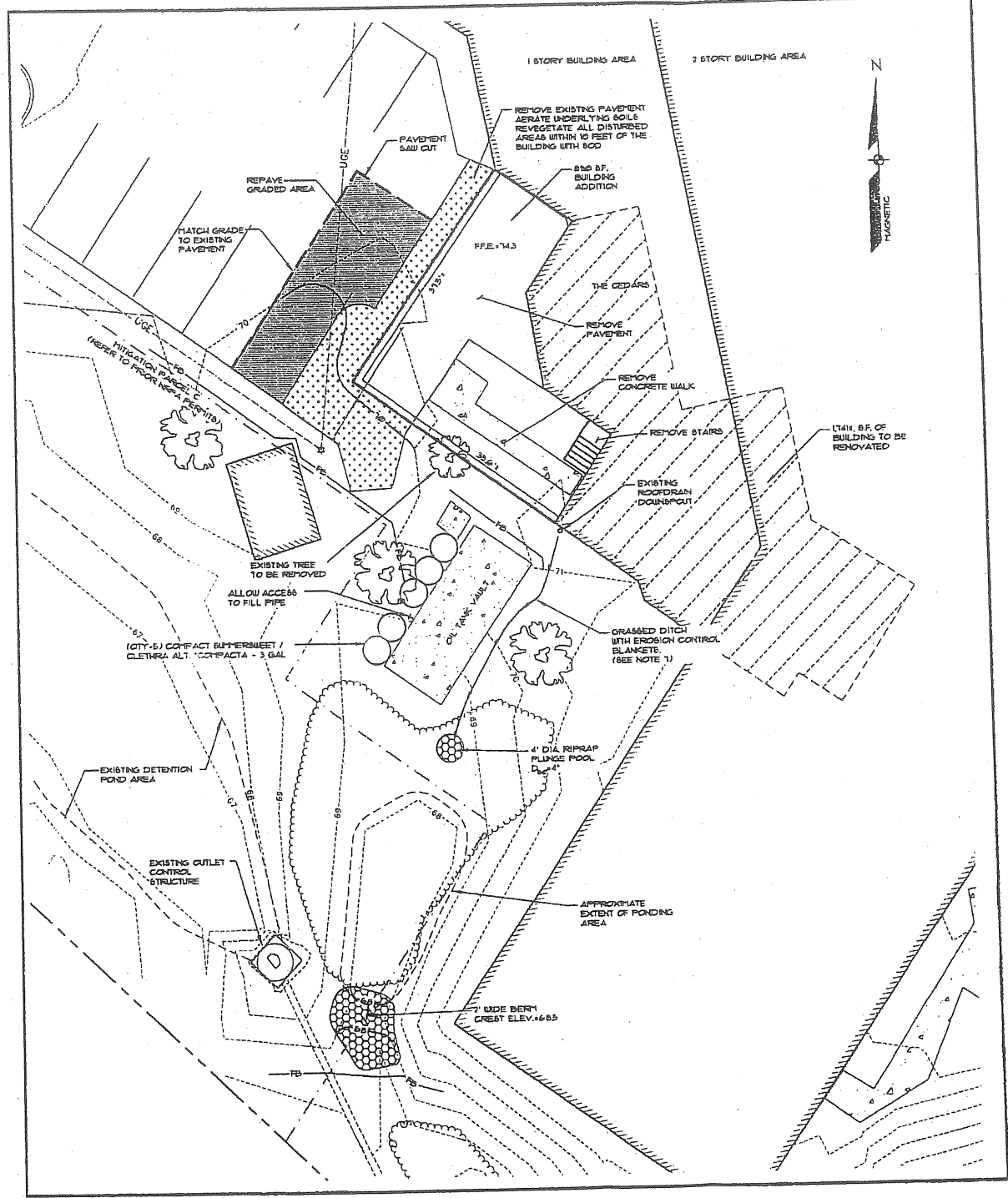
**TYPE PAVED PARKING LOT SECTION**  
NOT TO SCALE



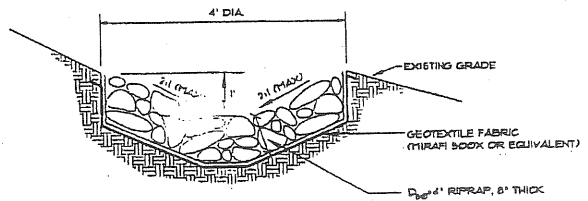
**LOAM AND SEED**  
NOT TO SCALE



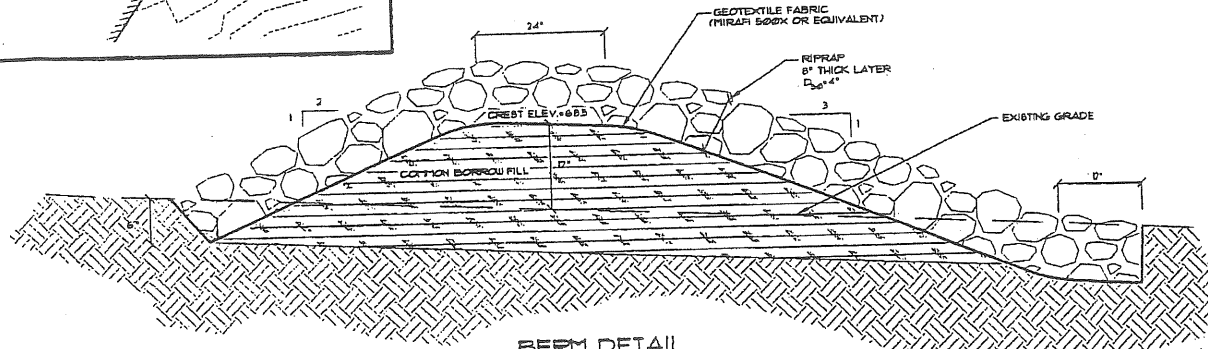
**PAVEMENT SAW CUT**  
NOT TO SCALE



**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24128 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
3. SPACE AND BULK CRITERIA:
 

	REQUIRED	PROPOSED
R-3 RESIDENTIAL ZONE	35%	16.9%
MAX. LOT COVERAGE	2 Ac.±	10.57 Ac.
MIN. LOT SIZE	65 FT.	<65 FT.
MIN. LOT WIDTH	50 FT.	477 FT.
MIN. STREET FRONTAGE	25 FT.	<25 FT.
MIN. FRONT YARD	14 FT.±	<14 FT.
MIN. SIDE YARD	25 FT.	<25 FT.
MIN. REAR YARD	35 FT.±	>35 FT.
MAX. BUILDING HEIGHT	148 SP±±±	186 SP
PARKING REQUIREMENT:		
±±±FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES		
±±±FOR 2 STORY STRUCTURES		
±±±REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.		
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:
  - A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLUX 1" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
▨	BUILDING	▨
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
-122--	CONTOURS	-122--
---	UNDERGROUND ELEC. & TEL.	---
---	USE	---
---	FILTER BARRIER	---

REVISED CITY SUBMISSION	RELEASED TO ARCHITECT	ADDED BERM / POND	CITY OF PORTLAND APPLICATIONS	MOEP STORMWATER APPLICATION	STATUS
10-01-08	JMM	9-26-08	JMM	8-15-08	JMM
9-26-08	JMM	9-18-08	JMM	8-15-08	JMM
9-18-08	JMM	8-20-08	JMM	8-15-08	JMM
8-20-08	JMM	8-15-08	JMM	8-15-08	JMM

REV: BY: DATE: STATUS: JMM  
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHINCS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHINCS, INC.

**Sebago Technics**  
Engineering/Experties You Can Build On  
250 OCEAN AVENUE  
LEWISTON, MAINE 04240  
Tel (207)793-5656

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
08318 JMM JWB PLS

**SITE PLAN**  
FOR  
**CEDARS REHABILITATION CENTER ADDITION**  
300 OCEAN AVENUE  
PORTLAND, ME 04103

**FOR**  
**CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

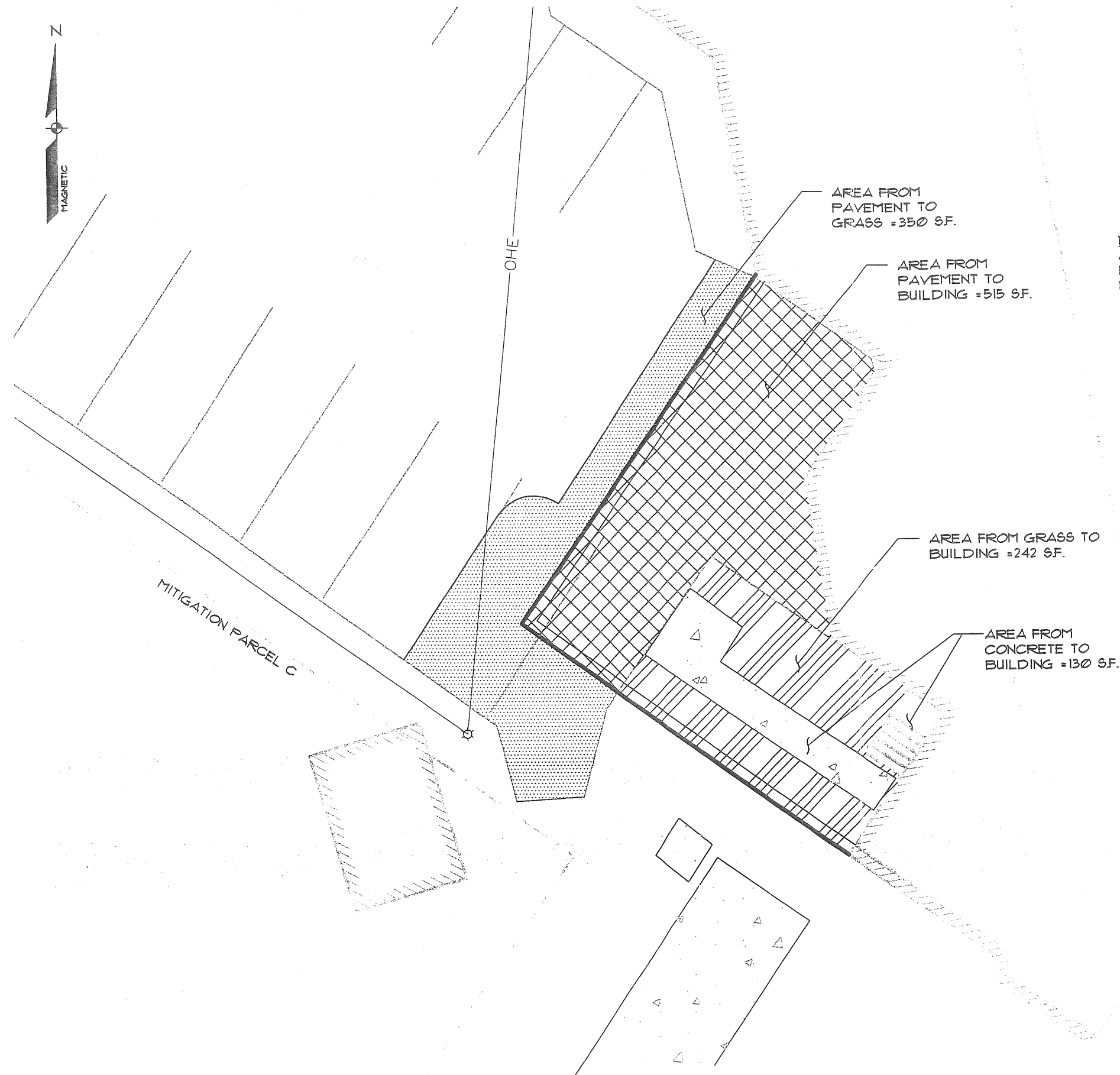
DATE SCALE  
8-14-08 1"=10'

**SHEET 1 OF 1**

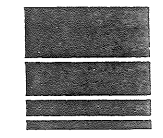
08318 S-1.dwg, TAB-S-3



Att. M.



NET CHANGE IN IMPERVIOUS AREA:  
AREA FROM GRASS TO ROOF IS = 242 SF.  
MINUS AREA FROM PAVEMENT TO GRASS = 350 SF.  
NET CHANGE IN IMPERVIOUS AREA = -108 SF.



**Sebago Technics**  
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400 Center Street  
Auburn, Maine 04210  
Tel (207)783-5656

ALTERATIONS TO LAND COVER MAP  
OF: CEDARS REHABILITATION CENTER ADDITION  
630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR: CEDARS HEALTH CARE  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	PLS
CHECKED BY:	JMM
DATE:	8-8-08
SCALE:	1"=10'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318 S-1

**SHEET A**



Att. N

**LEGEND**

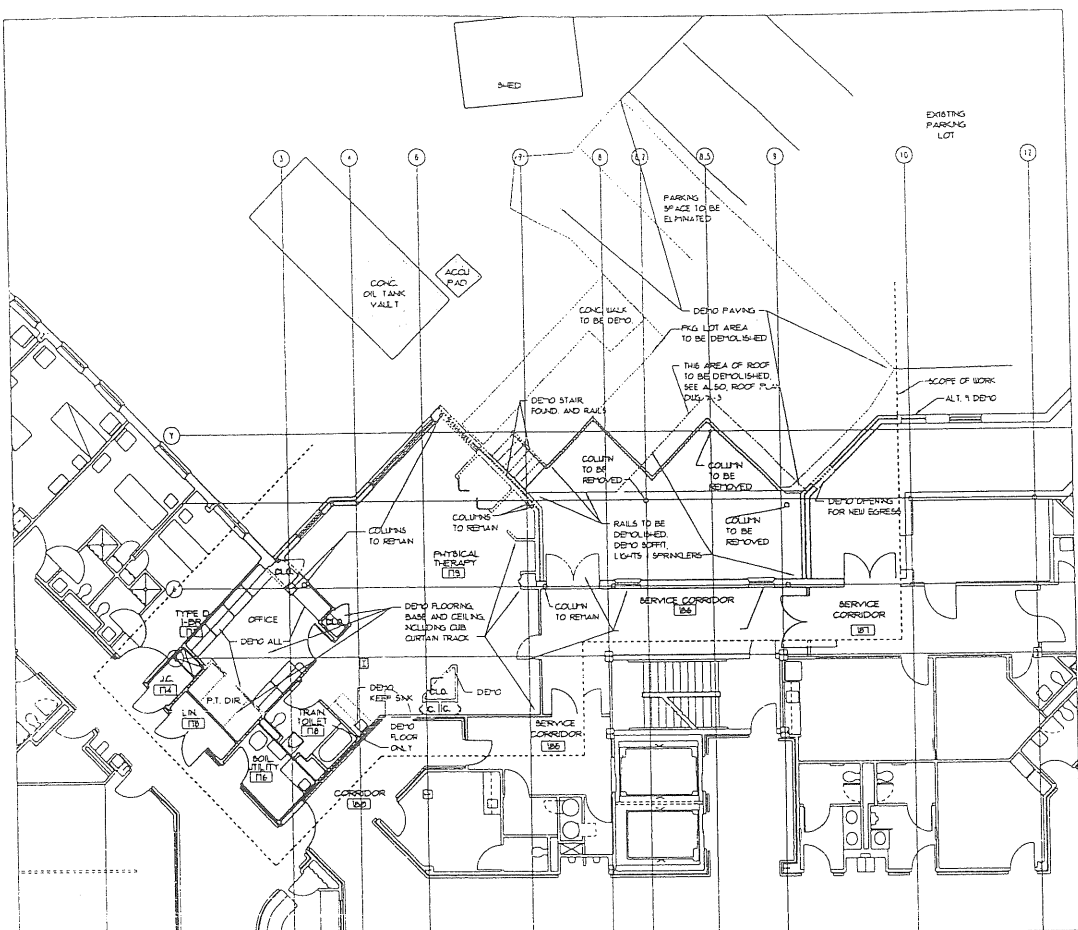
- EXISTING CONSTRUCTION
- - - DEMOLITION
- NEW CONSTRUCTION

**GENERAL NOTES**

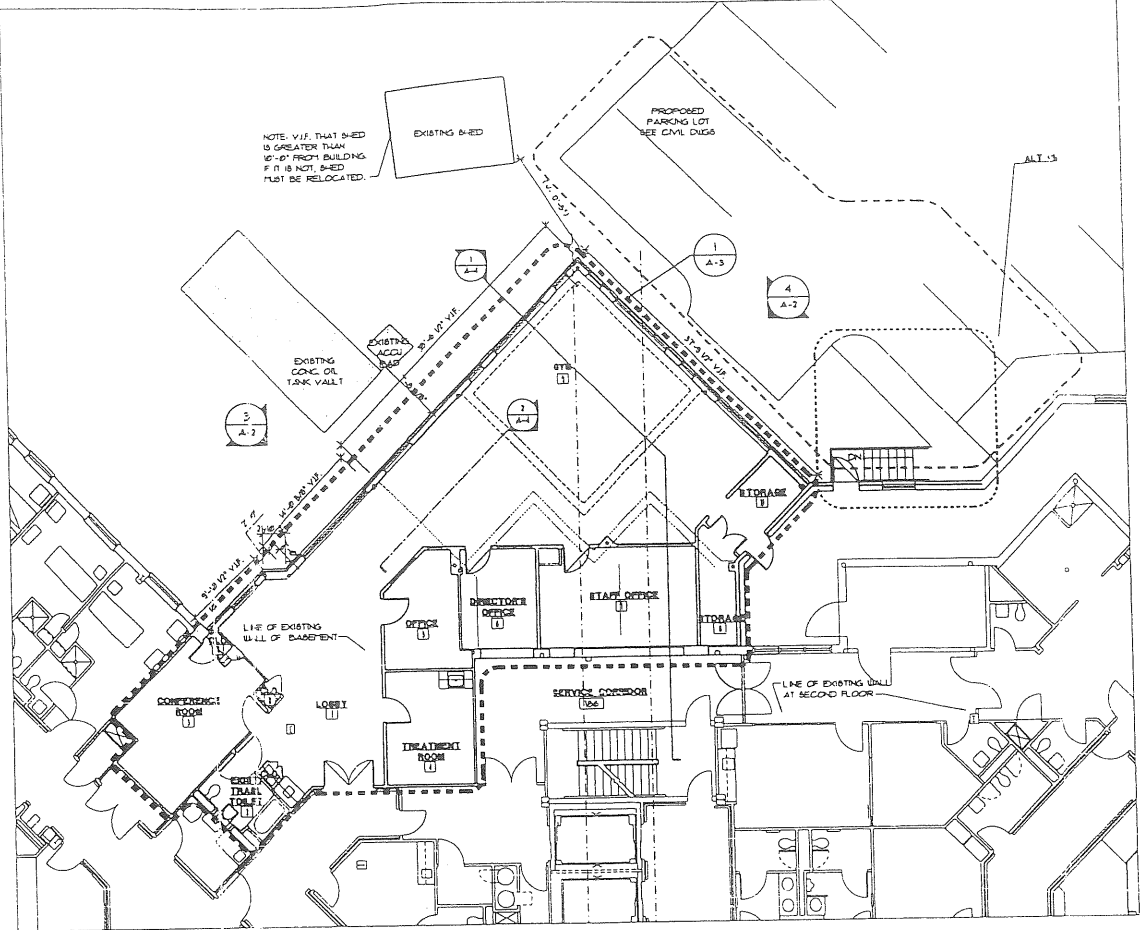
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
2. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS.
3. BUILDING CONSTRUCTION TYPE 20, 1 HOUR PROTECTED, NON-COMBUSTIBLE CONSTRUCTION FULLY SPRINKLERED.
4. DFB TO FACE OF FINISH AT INTERIOR, AS NOTED AT EXTERIOR.
5. SEE STRUCTURAL AND MEP DRAWINGS.

**DEMOLITION NOTES**

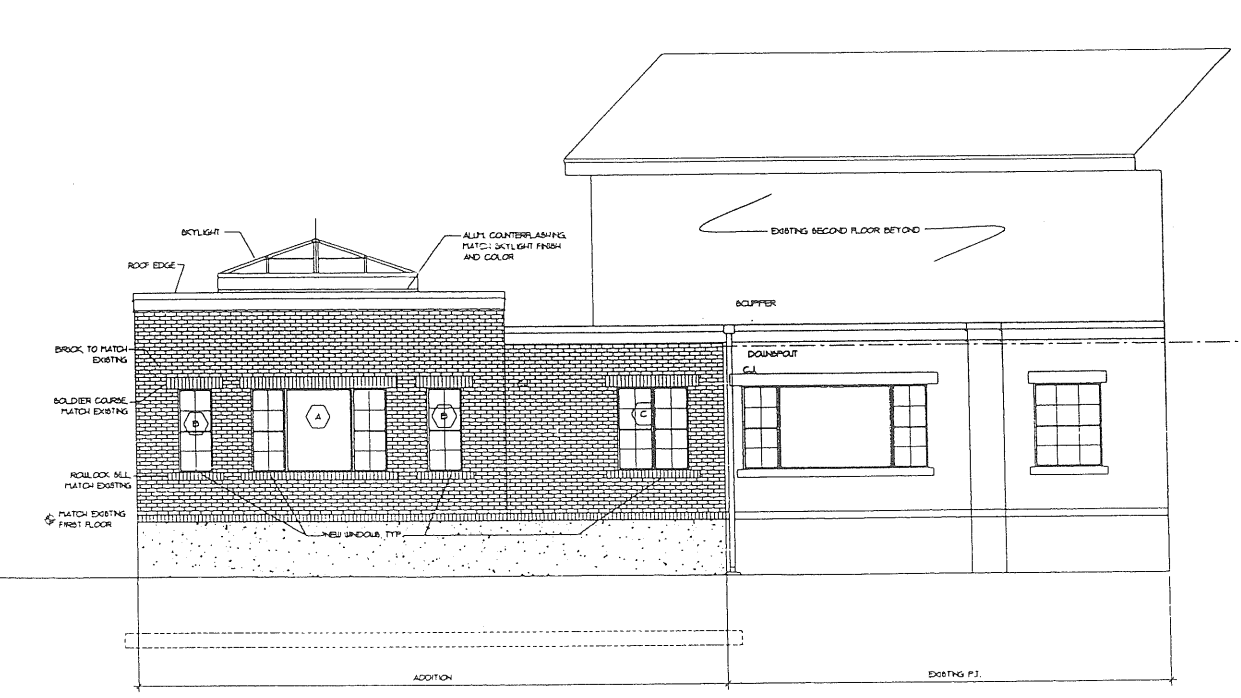
1. CONTRACTOR SHALL MAINTAIN LEAKTIGHTNESS OF EXISTING BUILDING THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION TO REPAIR. CONTRACTOR SHALL PROVIDE TEMPORARY PARTITIONS ISOLATING EXISTING CONSTRUCTION FROM DUST AND DEBRIS.
2. PROTECT THE OWNER'S PROPERTY AND EQUIPMENT FROM DAMAGE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING OR REPLACING ITEMS DAMAGED OR DESTROYED WHETHER INCIDENTAL TO NEW WORK OR THROUGH NEGLIGENCE. PATCHING IS TO BE DONE WITH MATERIALS SIMILAR TO EXISTING. ADJACENT SURFACES AND CONSTRUCTION TO ACHIEVE AN UNIFORM CONSISTENT APPEARANCE. DOCUMENT AND REPORT ALL DAMAGED CONSTRUCTION AND EQUIPMENT TO OWNER PRIOR TO REPAIR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL & DISPOSAL OFF SITE OF ALL CONSTRUCTION DEBRIS & DEMOLISHED MATERIALS.
4. REPAIR ALL SPRING AND CONCEALED DEVICES IN DEMOLISHED WALLS AS REQUIRED TO PROVIDE OPERABLE CIRCULARITY IN ACCORDANCE WITH APPLICABLE CODES AND EXISTING USE. SEE ALSO MEP DRAWINGS.



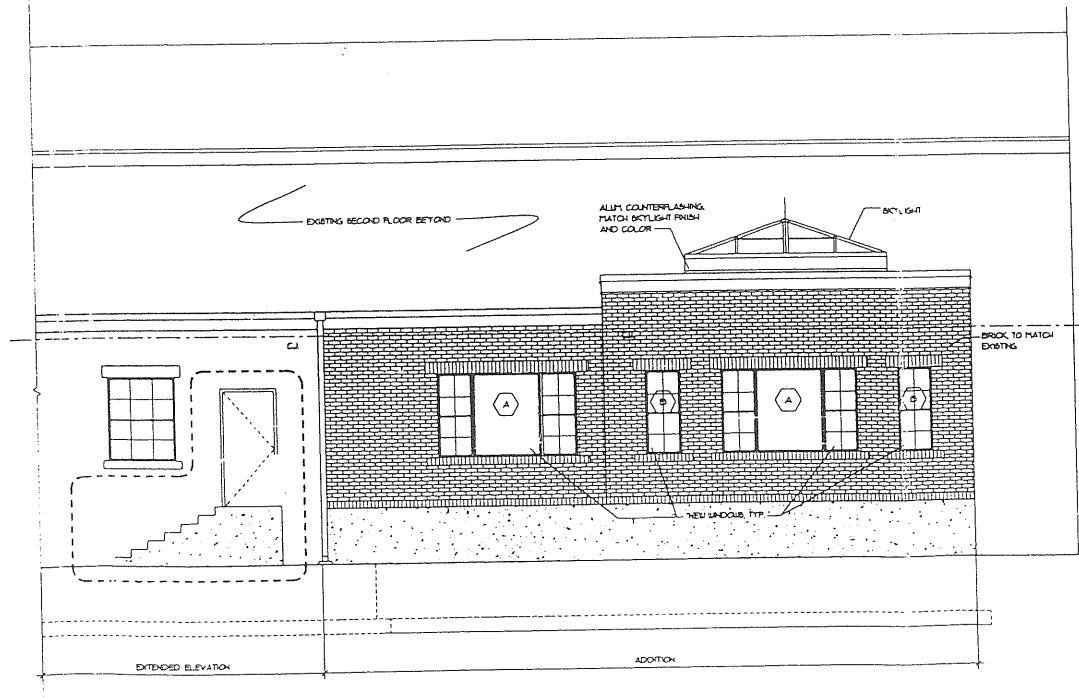
**1 DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
N



**2 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
SEE ENLARGED PLAN VA-3 FOR ADDITIONAL INFORMATION  
N



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

PROGRESS PRINT 07/14/07  
PRELIMINARY PRICING 07/12/07

Revisions	No.	Date

Project:  
**CEDARS REHAB. CTR. ALTERATIONS & ADDITION**  
630 OCEAN AVENUE  
PORTLAND, MAINE

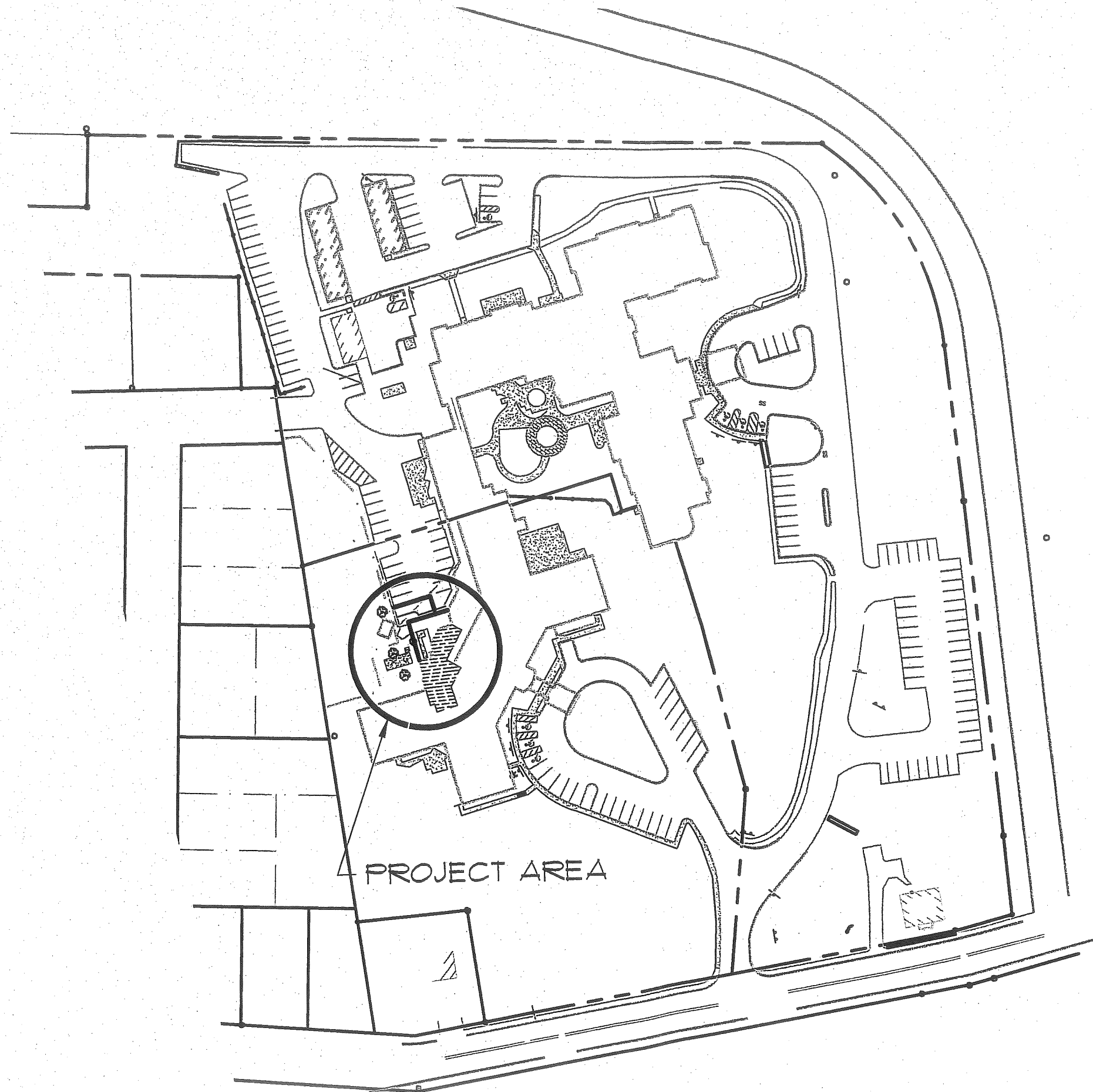
Drawing Title:  
**DEMO PLAN, FIRST FLOOR PLAN & ELEVATION**

Tsomides Associates  
Architects and Planners  
389 Ebot Street  
Newton Upper Falls, MA 02464  
(617) 998-4774 Fax (617) 998-4793  
e-mail: info@tsomides.com www.tsomides.com

Scale of: 1/4"  
Date: 07/12/07  
Status: AS NOTED

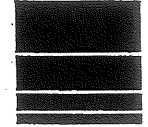
C:\Users\Project Manager\Documents\Software\Revit\Projects\Cedar Rehab\Revit\A-2.dwg, A-2, 07/12/07 5:16:53 PM





PROJECT AREA

Att. Fii



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Lewiston, Maine 04240  
Tel (207)783-5656

**PROJECT LOCATION MAP**

**OF: CEDARS REHABILITATION CENTER ADDITION**

630 OCEAN AVENUE  
PORTLAND, ME 04103

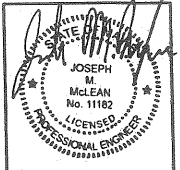
**FOR: CEDARS HEALTH CARE**

630 OCEAN AVENUE  
PORTLAND, MAINE 04103

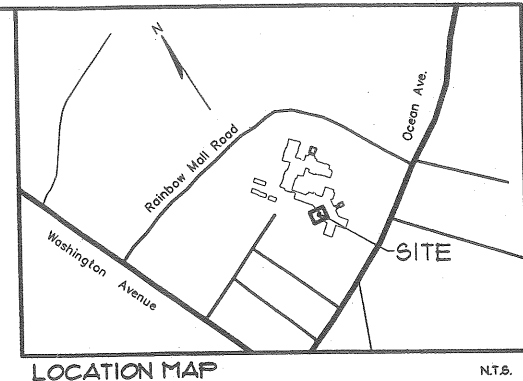
DESIGN BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	PLS
DATE:	9-16-08
SCALE:	1"=100'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318LOC

**SHEET 1 OF 1**





Att. File



REV.	BY:	DATE:	STATUS:
B	JMM	8-20-08	CITY OF PORTLAND APPLICATION
A	JMM	8-15-08	WDEP STORMWATER APPLICATION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK, AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

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 400 Center Street  
 Portland, ME 04103  
 Tel: (207)783-5656

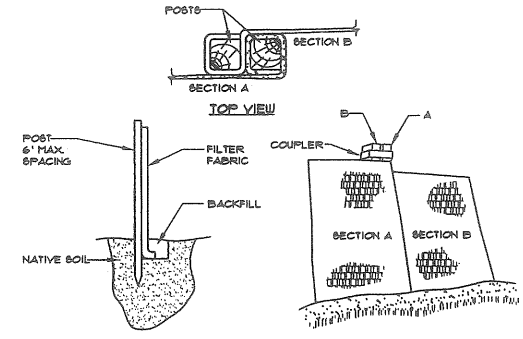
PROJECT NO. 08318  
 FIELD BOOK  
 DESIGN: JMM  
 CHKD: JMM  
 DRAWN: JMM  
 PLS: JMM

**SITE PLAN**  
 OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
 630 OCEAN AVENUE  
 PORTLAND, ME 04103

FOR:  
**CEDARS HEALTH CARE**  
 630 OCEAN AVENUE  
 PORTLAND, MAINE 04103

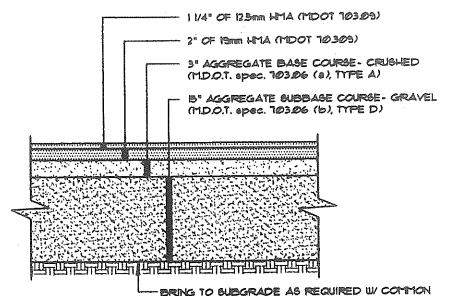
DATE	SCALE
8-14-08	1"=10'

SHEET 1 OF 1



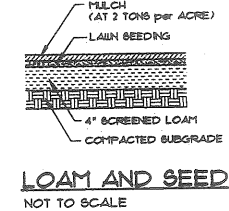
- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - JOIN SECTION AS SHOWN ABOVE.
  - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

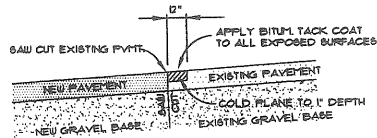


- NOTES:**
- COMPACT GRAVEL SUBBASE BASE COURSE TO 98% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  - CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

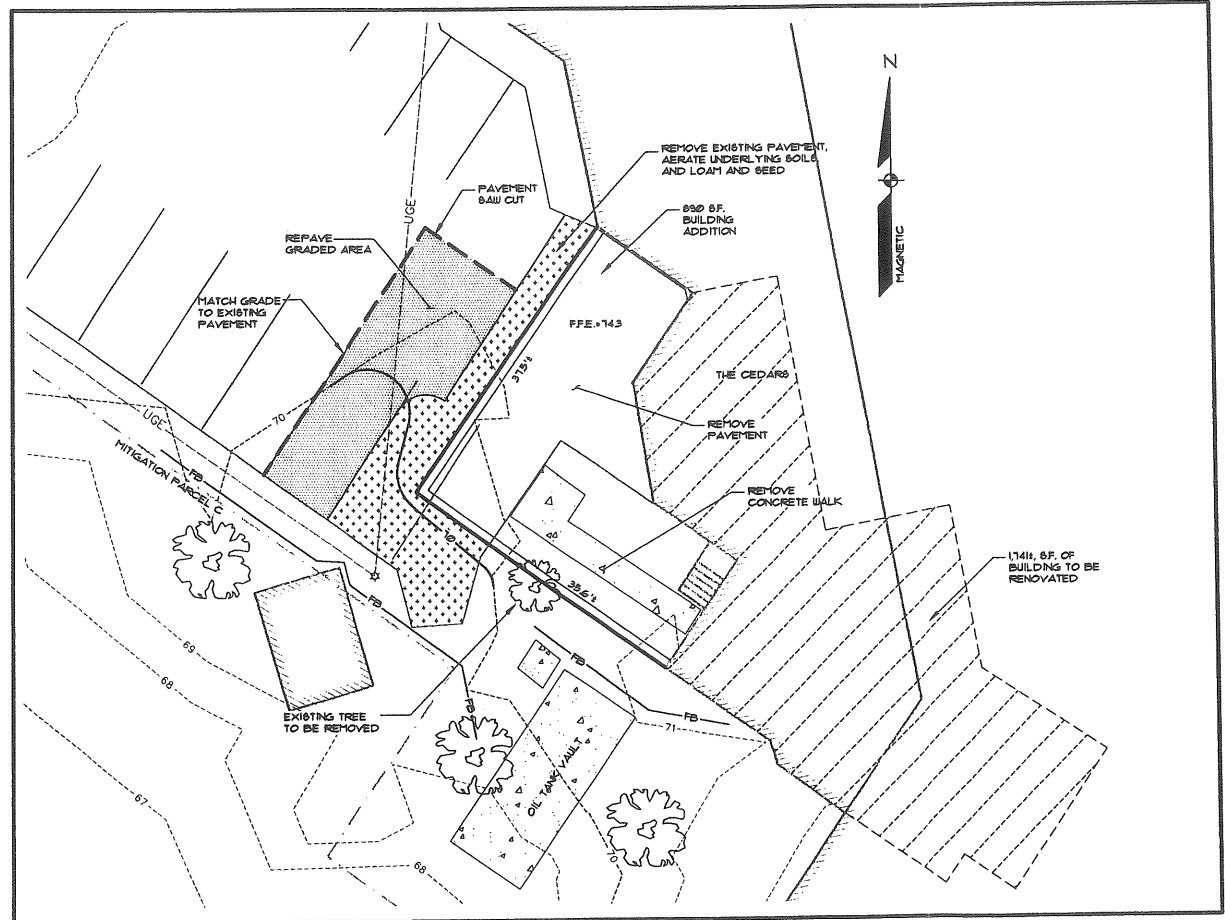
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



**LOAM AND SEED**  
NOT TO SCALE



**PAVEMENT SAW CUT**  
NOT TO SCALE



**PLAN VIEW**  
SCALE: 1"=10'

**GENERAL NOTES**

- THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
- THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
- SPACE AND BULK CRITERIA:
 

R-3 RESIDENTIAL ZONE	REQUIRED	PROPOSED
MAX. LOT COVERAGE:	35%	16.9%
MIN. LOT SIZE:	2 Ac.*	10.57 Ac.
MIN. LOT WIDTH:	65 FT.	<65 FT.
MIN. STREET FRONTAGE:	50 FT.	477 FT.
MIN. FRONT YARD:	25 FT.	<25 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

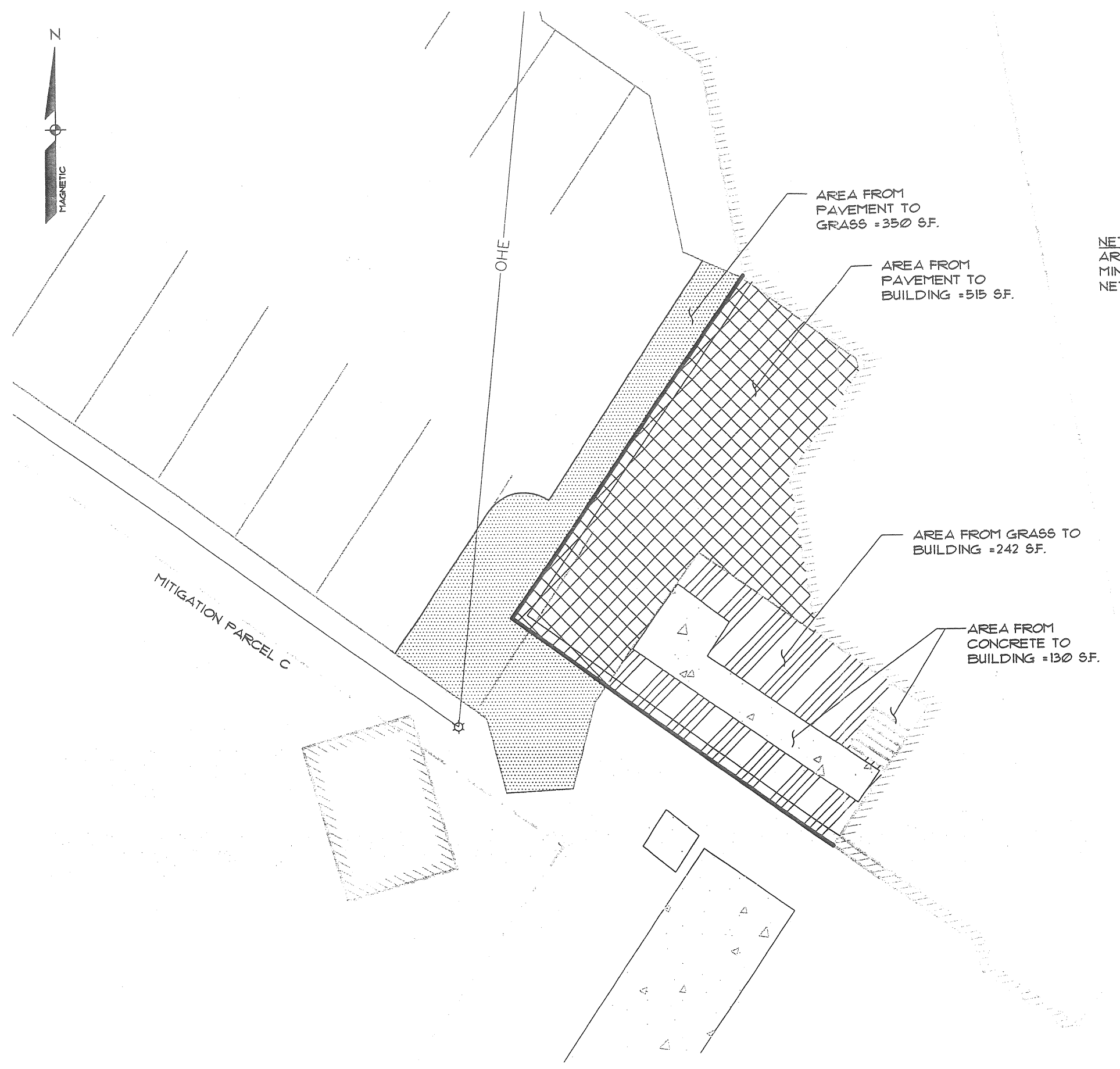
\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
 \*\*FOR 2 STORY STRUCTURES  
 \*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
- PLAN REFERENCES:  
 A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06

**LEGEND**

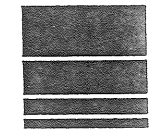
EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	CONTOURS	---
---	UNDER GROUND ELEC. & TEL.	---
---	FILTER BARRIER	---



Att. Fiv



NET CHANGE IN IMPERVIOUS AREA:  
AREA FROM GRASS TO ROOF IS = 242 SF.  
MINUS AREA FROM PAVEMENT TO GRASS = 350 SF.  
NET CHANGE IN IMPERVIOUS AREA = -108 SF.



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Auburn, Maine 04210  
Tel (207)783-5656

**ALTERATIONS TO LAND COVER MAP**  
OF: **CEDARS REHABILITATION CENTER ADDITION**

630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR: **CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	PLS
CHECKED BY:	JMM
DATE:	8-8-08
SCALE:	1"=10'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318 S-1

**SHEET A**

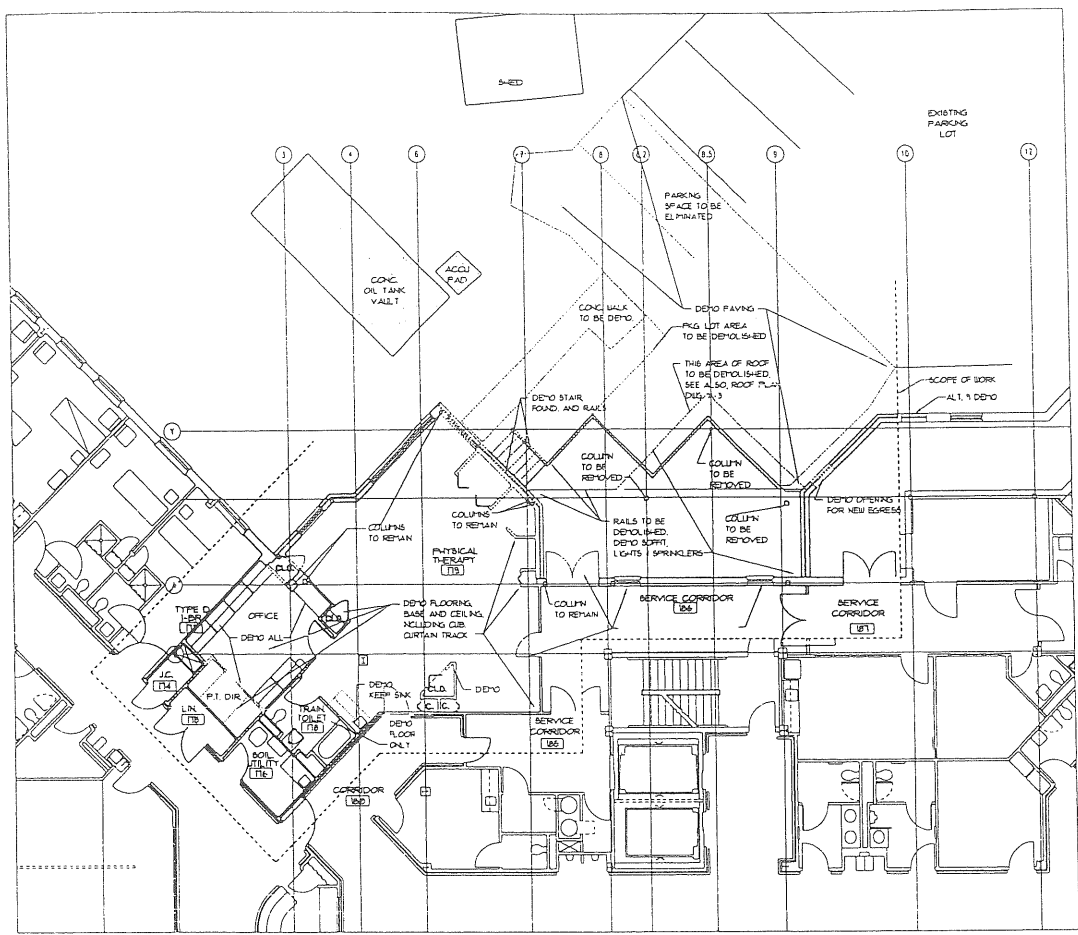


Att. Fv

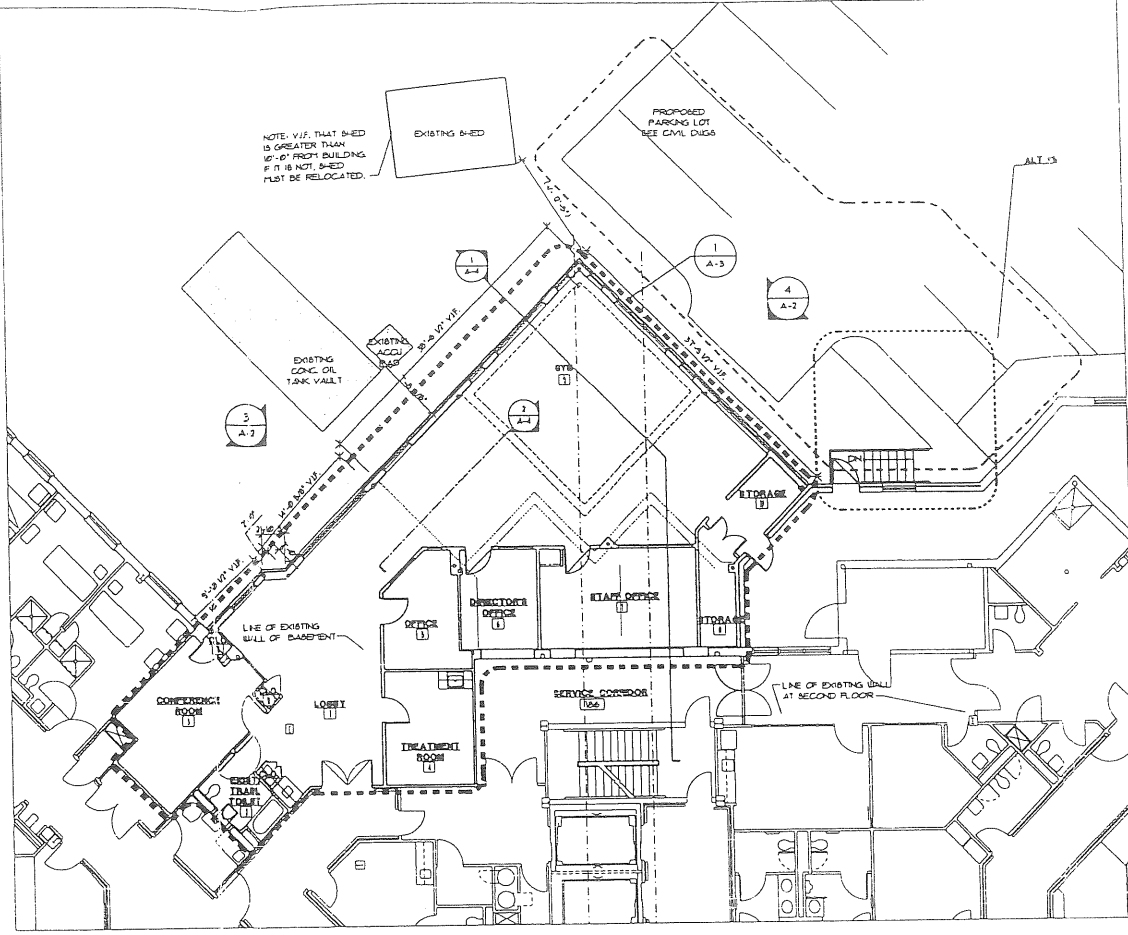
- LEGEND**
- EXISTING CONSTRUCTION
  - - - DEMOLITION
  - NEW CONSTRUCTION

- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND CONDITIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
  2. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS.
  3. BUILDING CONSTRUCTION TYPE IS 1 HOUR PROTECTED, NON-COMBUSTIBLE CONSTRUCTION FULLY SPRINKLERED.
  4. DFB TO FACE OF FINISH AT INTERIOR AS NOTED AT EXTERIOR.
  5. SEE STRUCTURAL AND MEP DRAWINGS.

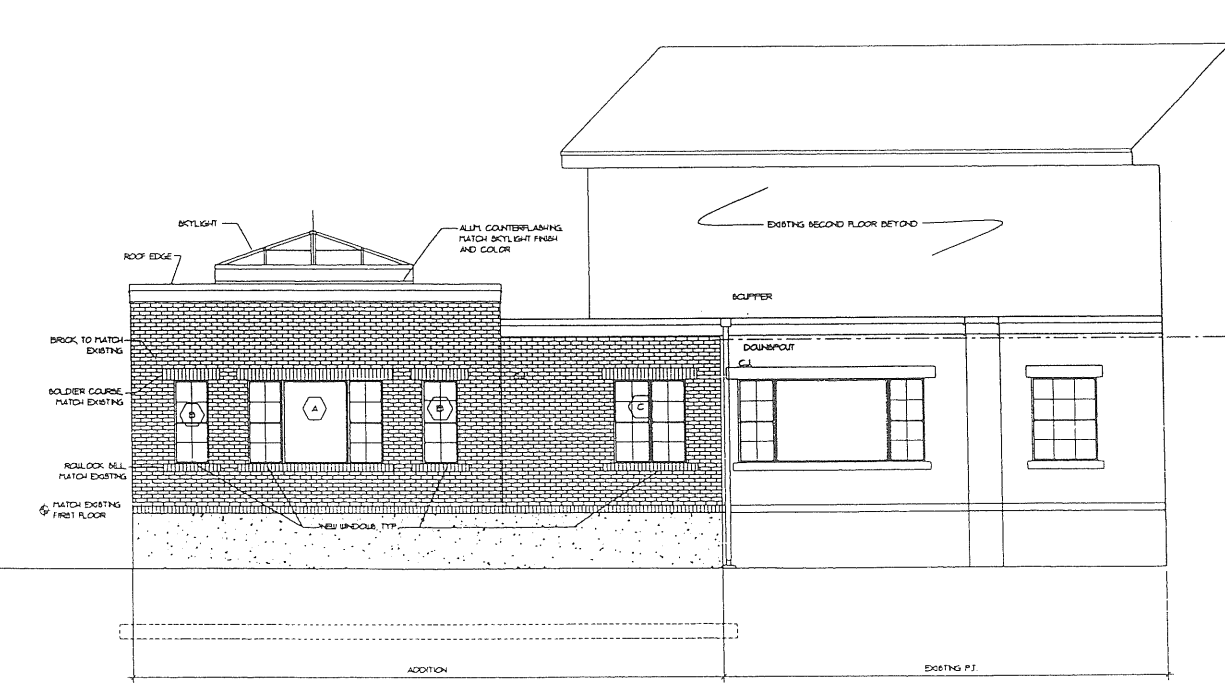
- DEMOLITION NOTES**
1. CONTRACTOR SHALL MAINTAIN WEATHERTIGHTNESS OF EXISTING BUILDING THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR SHALL PROVIDE TEMPORARY PARTITIONS ISOLATING EXISTING CONSTRUCTION FROM DUST AND DEBRIS.
  2. PROTECT THE OWNER'S PROPERTY AND EQUIPMENT FROM DAMAGE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING OR REPLACING ITEMS DAMAGED OR DESTROYED WHETHER INCIDENTAL TO NEW WORK OR THROUGH NEGLIGENCE. PATCHING IS TO BE DONE WITH MATERIALS SIMILAR TO EXISTING. ADJACENT SURFACES AND CONSTRUCTION TO ACHIEVE AN UNIFORM CONSPICUOUS FINAL APPEARANCE. DOCUMENT AND REPORT ALL DAMAGED CONSTRUCTION AND EQUIPMENT TO OWNER PRIOR TO REPAIR.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL & DISPOSAL OF SITE OF ALL CONSTRUCTION DEBRIS & DEMOLISHED MATERIALS.
  4. REWORK ALL IRMS AND CONCEALED DEVICES IN DEMOLISHED WALLS AS REQD. TO PROVIDE OPERABLE CIRCUITRY IN ACCORDANCE WITH APPLICABLE CODES AND EXISTING USE. SEE ALSO MEP DRAWINGS.



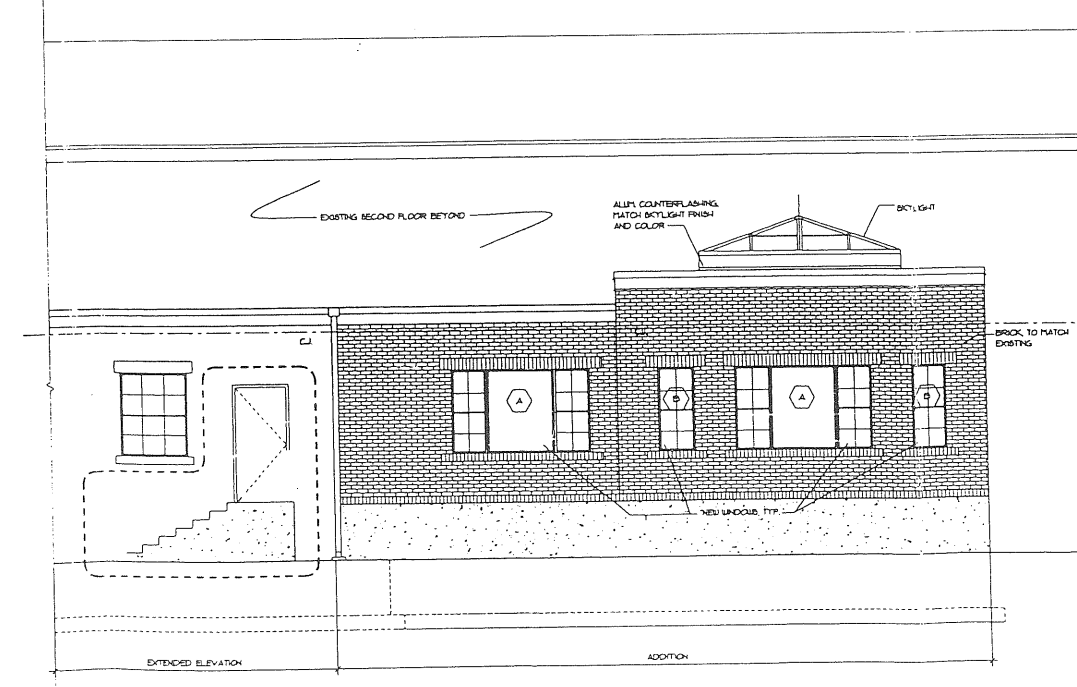
**1 DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
N



**2 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
SEE ENLARGED PLAN UA-3 FOR ADDITIONAL INFORMATION  
N



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

PROGRESS PRINT 07/21/07  
PRELIMINARY PRICING 07/17/07

Revisions	No.	Date

Project:  
**CEDARS REHAB.  
CTR. ALTERATIONS  
& ADDITION**  
630 OCEAN AVENUE  
PORTLAND, MAINE

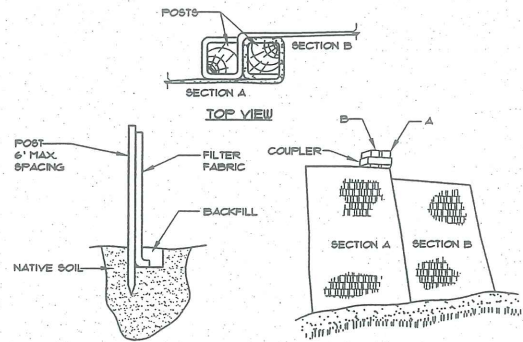
Drawing  
Title:  
**DEMO PLAN,  
FIRST FLOOR PLAN  
& ELEVATIO**

Tsomidis Associates  
Architects and Planners  
389 Elbow Street  
Newton Upper Falls, MA 02464  
(617) 966-4774 Fax (617) 969-4793  
e-mail: info@tsomidis.com www.tsomidis.com

Scale: S.JZ  
Date: AS NOTED

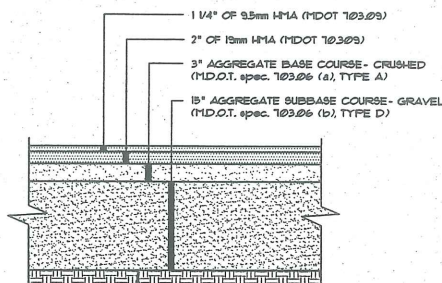
C:\1\Map Project Files\Cedar-Cedar-Redevelop-Rev1.dwg, ACT, Aug. 2, 2007 5:18:51 PM





- INSTALLATION:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

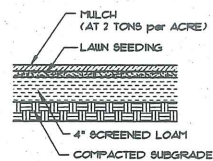
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NOT TO SCALE



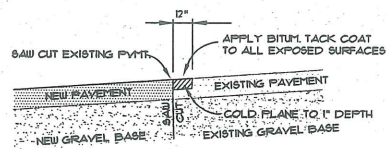
BRING TO SUBGRADE AS REQUIRED W/ COMMON BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.

- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

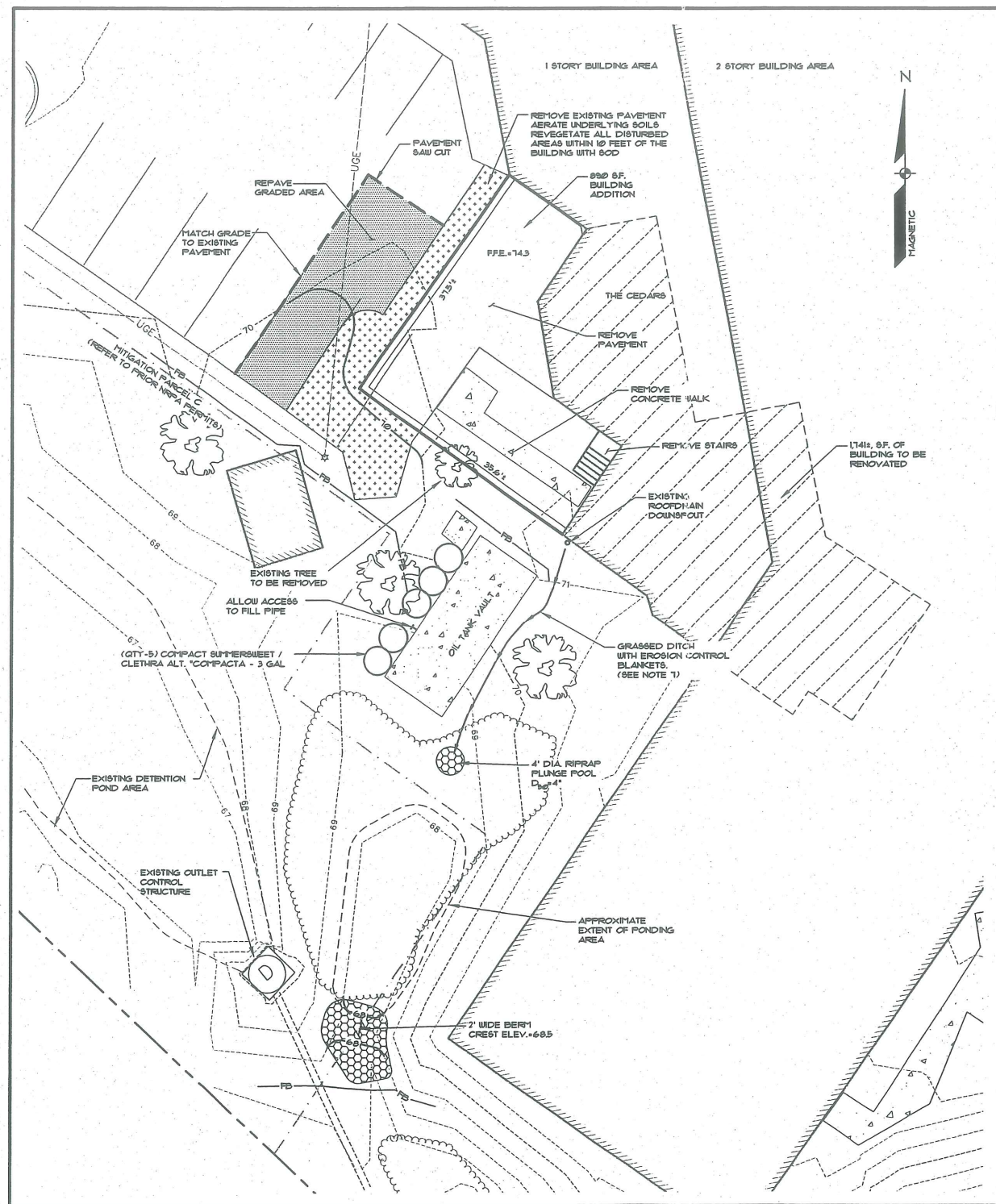
**TYP. PAVED PARKING LOT SECTION**  
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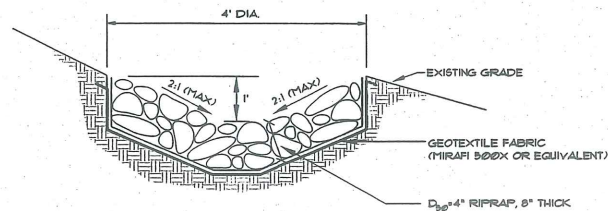
**LOAM AND SEED**  
NOT TO SCALE



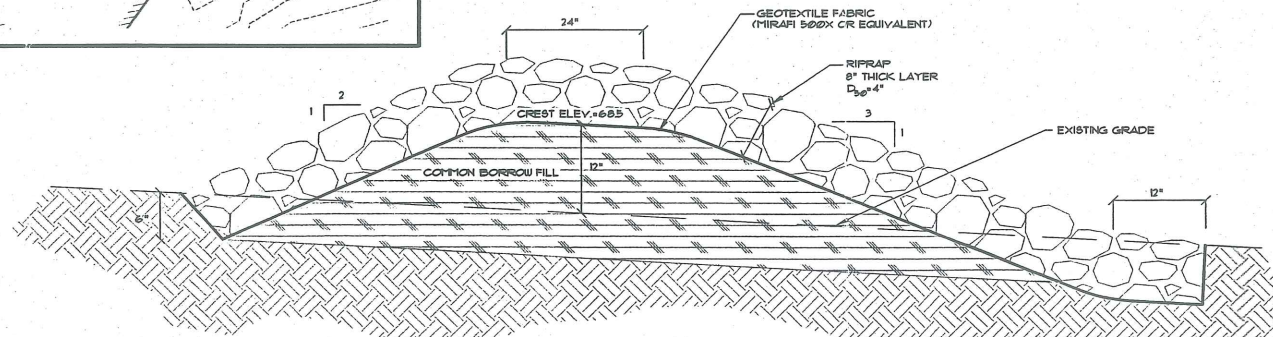
**PAVEMENT SAW CUT**  
NOT TO SCALE



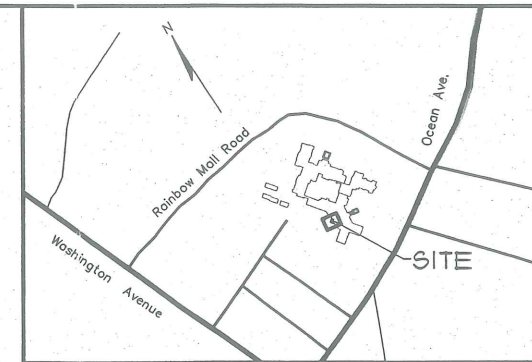
**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE



**LOCATION MAP** N.T.S.

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174.
3. SPACE AND BULK CRITERIA:

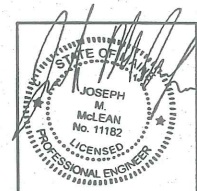
R-3 RESIDENTIAL ZONE	REQUIRED	PROPOSED
MAX. LOT COVERAGE:	.35%	16.9%
MIN. LOT SIZE:	2 Ac.*	10.57 Ac.
MIN. LOT WIDTH:	65 FT.	<65 FT.
MIN. STREET FRONTAGE:	50 FT.	477 FT.
MIN. FRONT YARD:	25 FT.	<25 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	.35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
\*\*FOR 2 STORY STRUCTURES  
\*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:  
A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLX 1" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	CONTOURS	---
---	UNDER GROUND ELEC. & TEL.	---
---	FILTER BARRIER	---

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 10-14-2008



REV.	BY:	DATE:	STATUS:
E	JMM	10-01-08	REVISED CITY SUBMISSION
D	JMM	9-26-08	RELEASED TO ARCHITECT
C	JMM	9-18-08	ADDED BERM / POND
B	JMM	8-20-08	CITY OF PORTLAND APPLICATIONS
A	JMM	8-15-08	MDEP STORMWATER APPLICATION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
Engineering Expense You Can Build On  
250 Goddard Road - Suite B  
Portland, ME 04103  
Tel: (207)883-5555

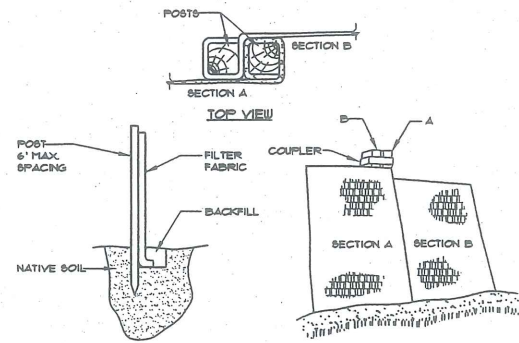
PROJECT NO. 083118  
FIELD BOOK  
DESIGN  
CHKD  
DRAWN  
JMM  
JBM  
PLS

**SITE PLAN**  
OF  
**CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103  
FOR:  
**CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

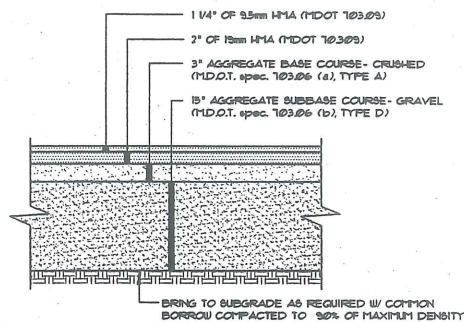
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8-14-08	1"=10'

083118 S-1.dwg, TAB: S-3



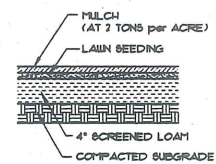


**FILTER BARRIER**  
NOT TO SCALE

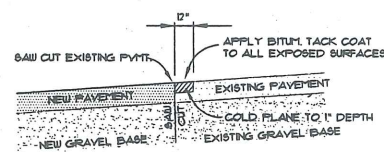


- NOTES:**
- COMPACT GRAVEL SUBBASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  - CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

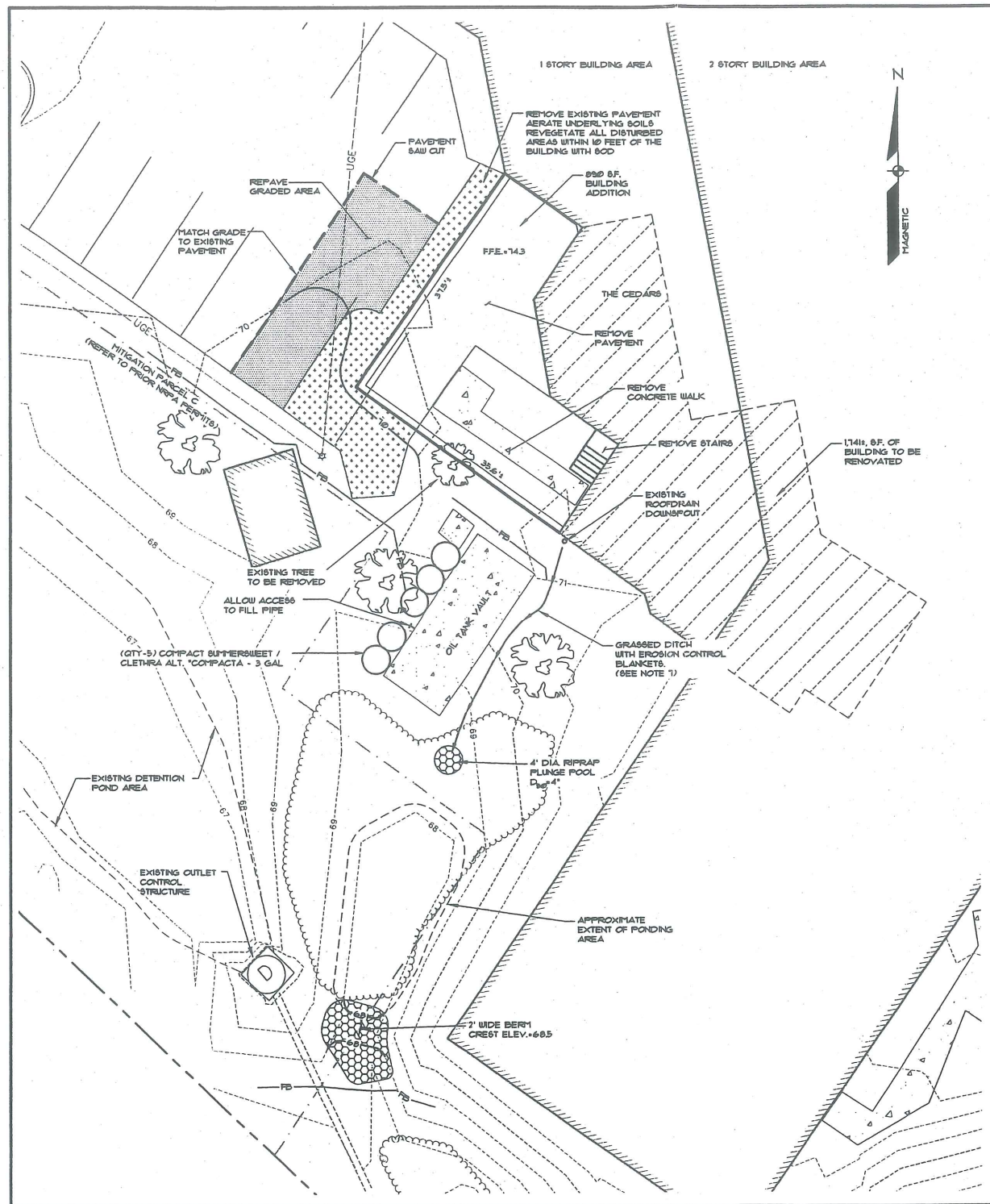
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



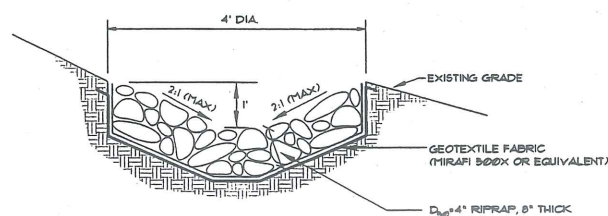
**LOAM AND SEED**  
NOT TO SCALE



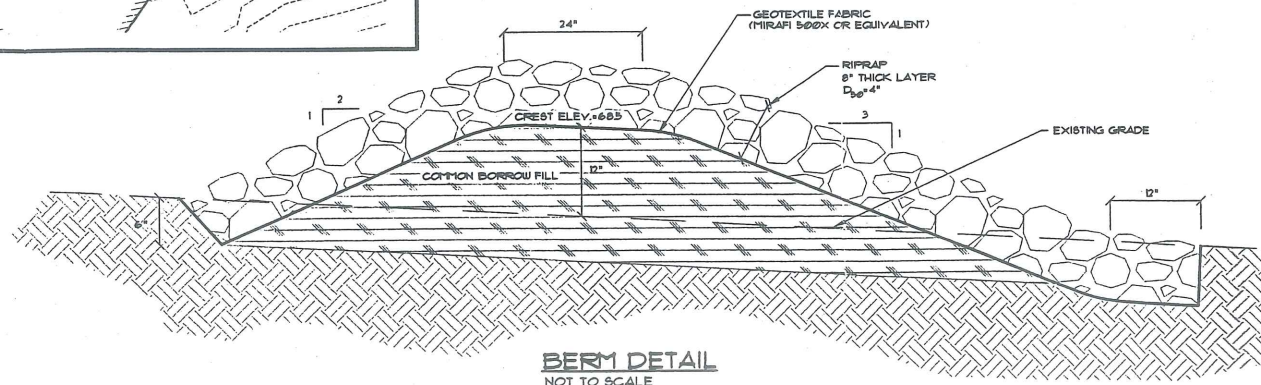
**PAVEMENT SAW CUT**  
NOT TO SCALE



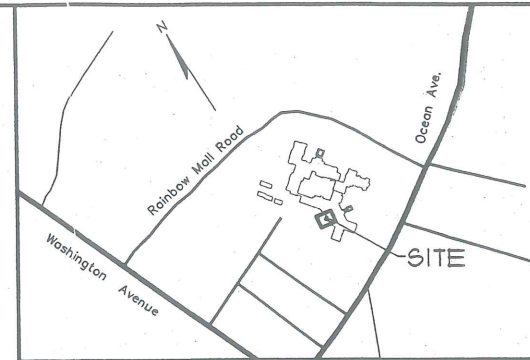
**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE



**LOCATION MAP** N.T.S.

**GENERAL NOTES**

- THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
- THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
- SPACE AND BULK CRITERIA:
 

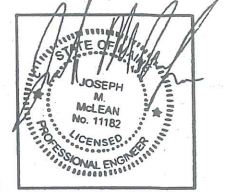
	REQUIRED	PROPOSED
R-3 RESIDENTIAL ZONE		16.9%
MAX. LOT COVERAGE:	.35%	10.57 Ac.
MIN. LOT SIZE:	2 Ac.*	<65 FT.
MIN. LOT WIDTH:	65 FT.	477 FT.
MIN. STREET FRONTAGE:	50 FT.	<25 FT.
MIN. FRONT YARD:	25 FT.	<14 FT.**
MIN. SIDE YARD:	14 FT.**	<25 FT.
MIN. REAR YARD:	25 FT.	>35 FT.
MAX. BUILDING HEIGHT:	.35 FT.	186 SP
PARKING REQUIREMENT:	149 SP***	

\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
\*\*FOR 2 STORY STRUCTURES  
\*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
- PLAN REFERENCES:  
A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLX I" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---122---	CONTOURS	---
---	UNDER GROUND ELEC. & TEL.	---
---	FILTER BARRIER	---

**CITY OF PORTLAND APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 10-14-2008



REVISED CITY SUBMISSION	DATE	STATUS
10-01-08	JMM	REVISED
9-26-08	JMM	RELEASED TO ARCHITECT
9-18-08	JMM	ADDED BERM / POND
8-20-08	JMM	CITY OF PORTLAND APPLICATIONS
8-15-08	JMM	MREP STORMWATER APPLICATION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK, AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
Engineering Expertise You Can Build On  
250 Colcord Road - Suite B  
Leviston, Maine 04240  
Tel: (207)793-5656

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN PLS  
08318 JMM JBY

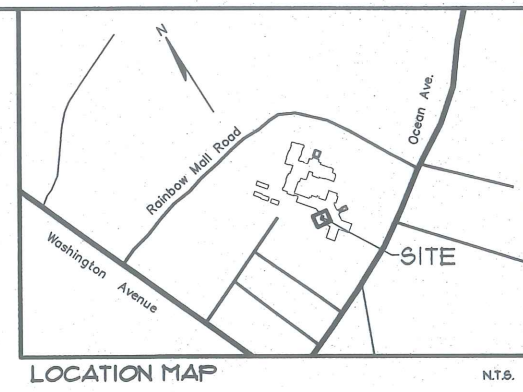
**SITE PLAN**  
OF: **CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR: **CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103





Att. File



REV:	BY:	DATE:	STATUS:
B	JMM	8-20-08	CITY OF PORTLAND APPLICATIONS
A	JMM	8-15-08	MDEP STORMWATER APPLICATION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

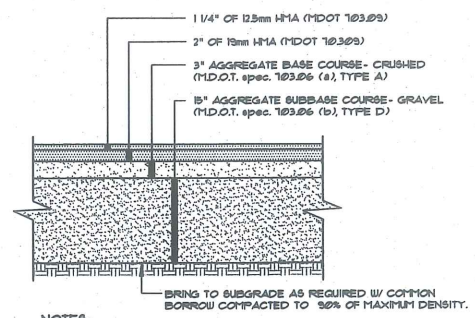
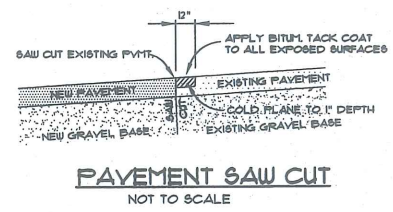
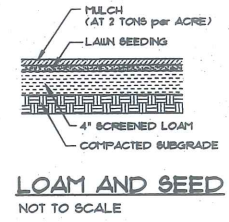
PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN	PLS
08318		JMM	JBW	JMM	PLS

**SITE PLAN**  
**OF:** CEDARS REHABILITATION CENTER ADDITION  
 630 OCEAN AVENUE  
 PORTLAND, ME 04103  
**FOR:** CEDARS HEALTH CARE  
 630 OCEAN AVENUE  
 PORTLAND, MAINE 04103

DATE: 8-14-08 SCALE: 1"=10'

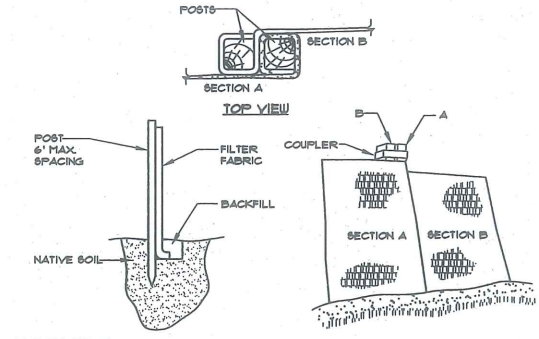
SHEET 1 OF 1

*Supersedes*



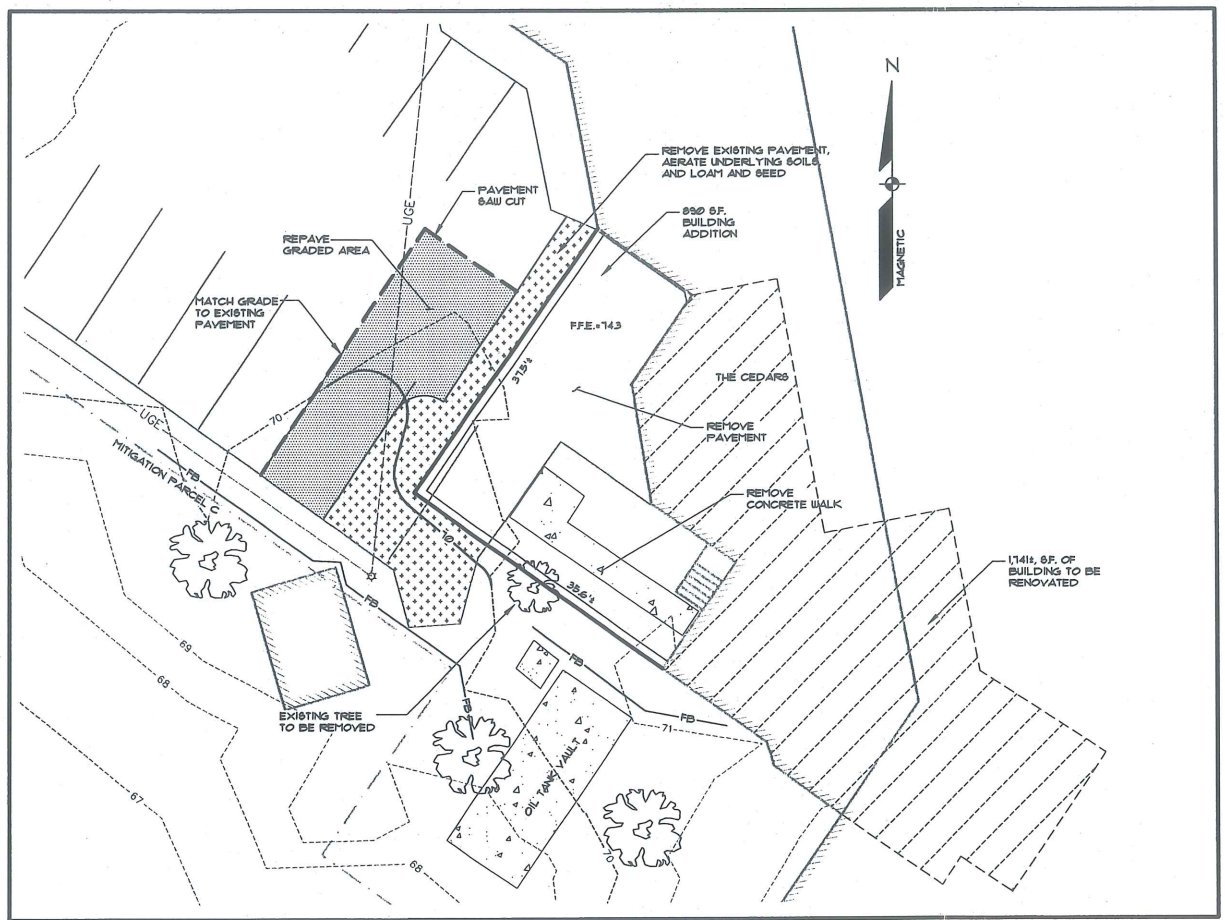
**NOTES:**  
 1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 98% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED PARKING LOT SECTION**  
 NOT TO SCALE



- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - JOIN SECTION AS SHOWN ABOVE.
  - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

**FILTER BARRIER**  
 NOT TO SCALE



**PLAN VIEW**  
 SCALE: 1"=10'

**GENERAL NOTES**

- THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
- THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
- SPACE AND BULK CRITERIA:
 

R-3 RESIDENTIAL ZONE	REQUIRED	PROPOSED
MAX. LOT COVERAGE:	35%	16.9%
MIN. LOT SIZE:	2 Ac.*	10.57 Ac.
MIN. LOT WIDTH:	65 FT.	<65 FT.
MIN. STREET FRONTAGE:	50 FT.	477 FT.
MIN. FRONT YARD:	25 FT.	<25 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

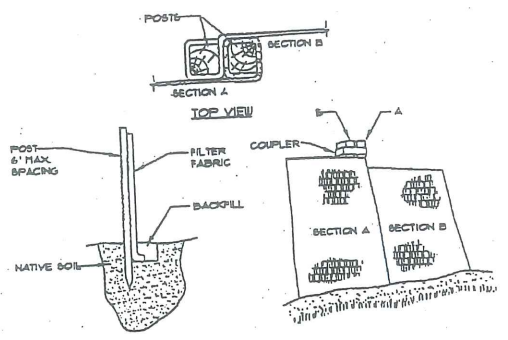
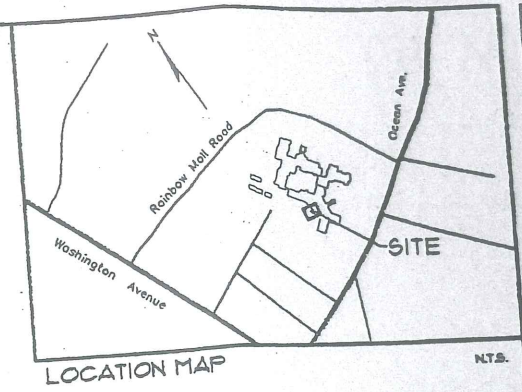
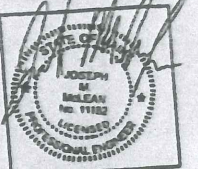
\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
 \*\*FOR 2 STORY STRUCTURES  
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- PLAN REFERENCES:  
 A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
▨	BUILDING	▨
▨	EDGE PAVEMENT	▨
---	PAVEMENT PAINT	---
---122---	CONTOURS	---
---	UNDER GROUND ELEC. & TEL.	---
---	FILTER BARRIER	---

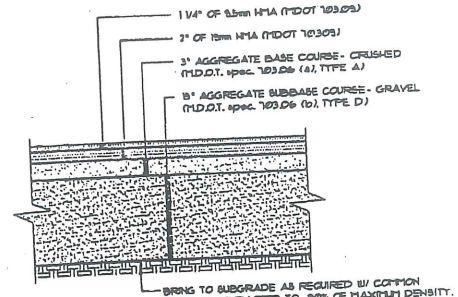


Att. L



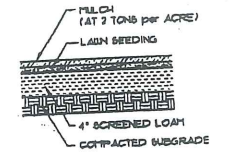
- INSTALLATION:**
1. EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAP BILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

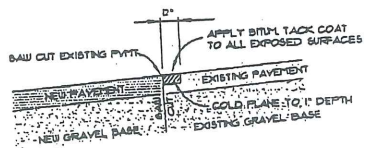


- NOTES:**
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
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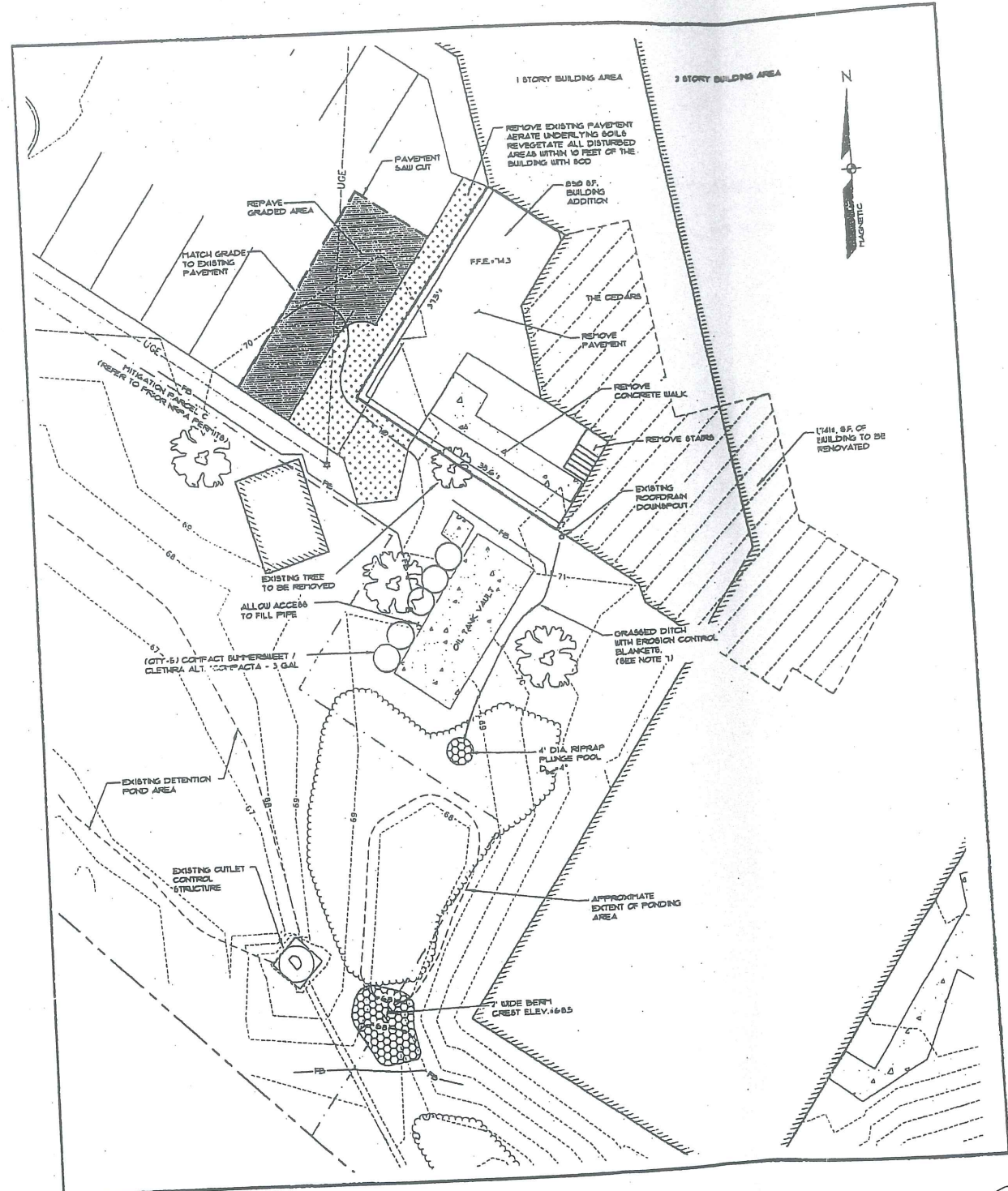
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



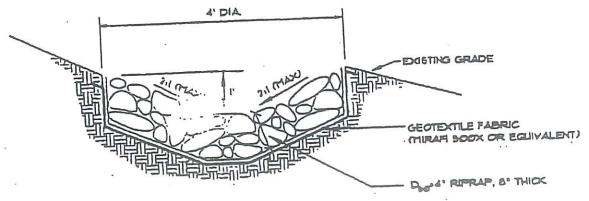
**LOAM AND SEED**  
NOT TO SCALE



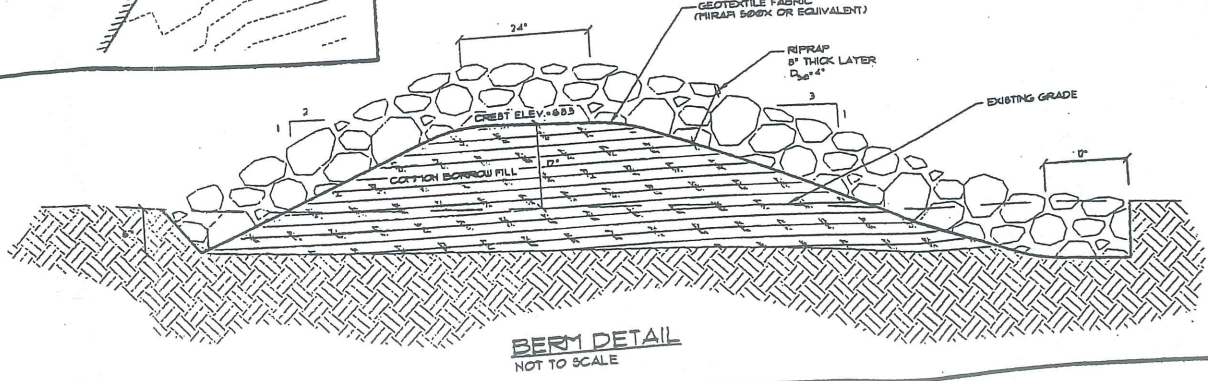
**PAVEMENT SAW CUT**  
NOT TO SCALE



**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
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  - A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
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**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
▨	BUILDING	▨
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	CONTOURS	04
---	UNDERGROUND	---
---	ELEC. TEL.	---
---	UCE	---
---	FILTER BARRIER	---

*Plan as approved by PB 10-14-08*

REVISIONS

NO.	DATE	BY	DESCRIPTION
10-01-08		JMH	REVISED CITY SUBMISSION
08-08-08		JMH	REVISED TO ARCHITECT
08-08-08		JMH	ADDED BERM / POND APPLICATIONS
08-20-08		JMH	CITY OF PORTLAND APPLICATION
08-15-08		JMH	MDEP STORMWATER APPLICATION

STATUS: REVISED CITY SUBMISSION

**Sebago Technica**  
Engineering Experts You Can Build On  
250 Cedarvale Lane, Suite B  
Portland, ME 04240  
Tel: (207) 745-3556

PROJECT NO. 08318  
FIELD BOOK DESIGN CHKO  
JOB JMW  
PLS

**SITE PLAN**  
OF:  
CEDARS REHABILITATION CENTER ADDITION  
630 OCEAN AVENUE  
PORTLAND, ME 04103  
FOR:  
CEDARS HEALTH CARE  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

DATE	SCALE
8-14-08	1"=10'

SHEET 1 OF 1

08318 S-1.dwg, TAB:5-3



STREAM TREATMENT



1. Looking southwest at the 10- and 14 inch culverts; wetland is in the background. ①



2. Looking southeast at 24-inch culvert. ②

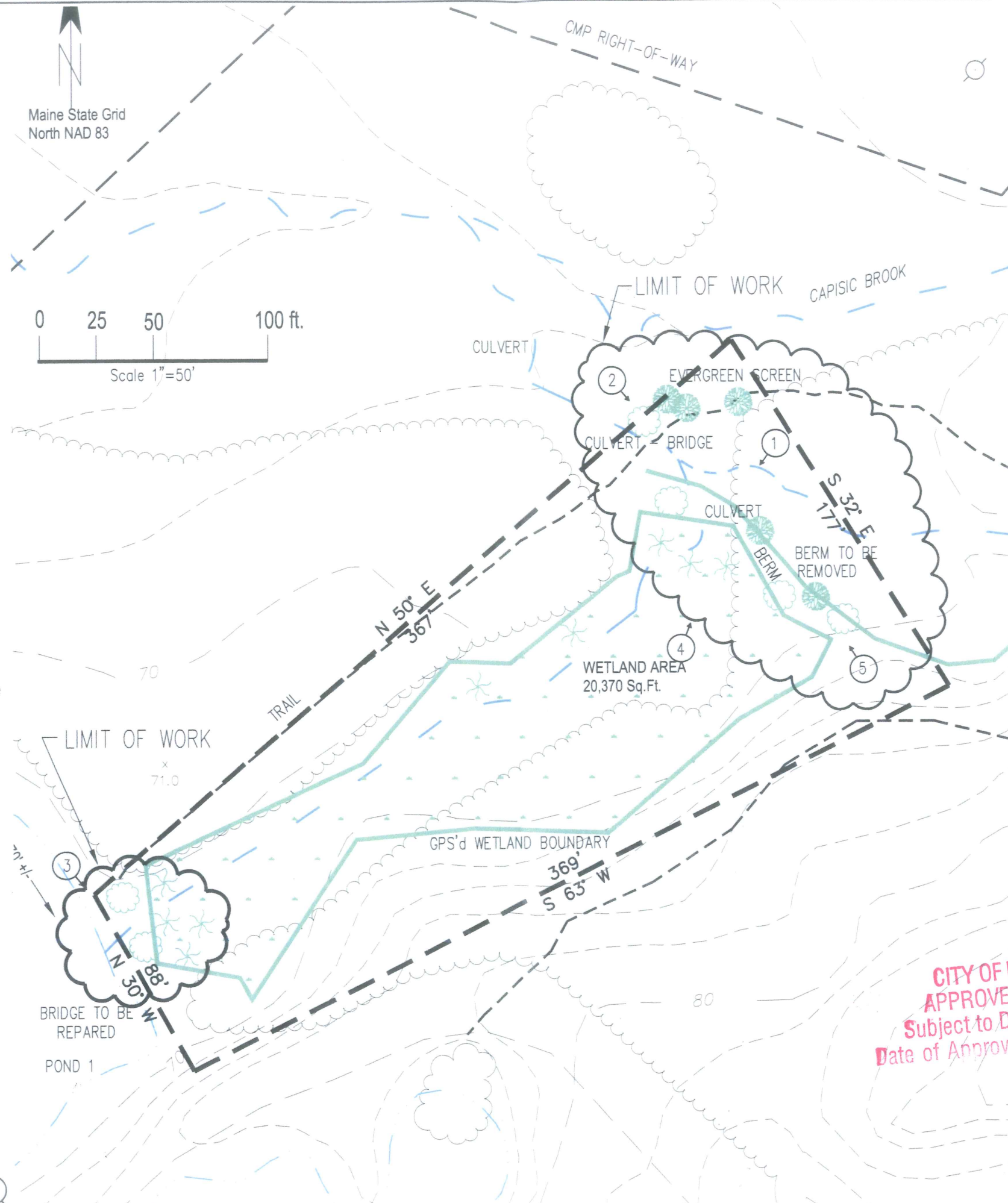
**CULVERTS -**  
Remove berm and all culverts; replace 24-inch culvert with a simple wooden bridge to connect trail. Stabilize recovered streambanks using native shrubs as listed for wetland treatment.

Access for implementation of stream and wetland treatments will be northerly along established trails.

**BRIDGE -**  
Construct a simple wooden bridge. Stabilize recovered streambanks using native shrubs listed for wetland treatment.



3. Looking southeast at bridge over Pond 1 outlet. ③



WETLAND TREATMENT



4. View of wetland looking north. ④



5. View across the dike of wetland looking northeast. ⑤

- AQUATICS/EMERGENT -**  
Create mound and pool microtopography along former berm. Establish floating-leaved aquatic/emergent marsh in standing water portions of wetland. Use +/- 550 plantings at 3 ft. OC over +/- 5,000 sq. ft. comprised of:
- |               |                             |
|---------------|-----------------------------|
| Burreed       | <i>Sparganium spp.</i>      |
| Pickerelweed  | <i>Pontederia cordata</i>   |
| Arrowhead     | <i>Sagittaria latifolia</i> |
| Green bulrush | <i>Scirpus atrovirens</i>   |

- SHRUBS/TREES -**  
Plant native shrubs along edge of wetland. Also plant 4-foot native conifers to screen view of sand/gravel plant and powerline corridor. Use +/- 150 plantings at 5 feet OC over +/- 3,000 sq. ft. comprised of:

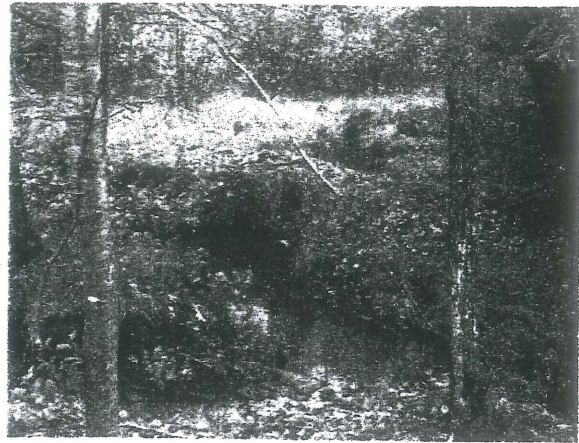
- |                           |                             |
|---------------------------|-----------------------------|
| <b>Shrubs for Wetland</b> |                             |
| Highbush blueberry        | <i>Vaccinium corymbosum</i> |
| Silky dogwood             | <i>Cornus amomum</i>        |
| Pussy Willow              | <i>Salix discolor</i>       |
| Winterberry               | <i>Ilex verticillata</i>    |
| <b>Trees for Screen</b>   |                             |
| Balsam Fir                | <i>Abies balsamea</i>       |
| Eastern Hemlock           | <i>Tsuga canadensis</i>     |
| Northern White Cedar      | <i>Thuja occidentalis</i>   |

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: **APPROVED JUN 11 2007**

**Figure 3**  
Offsite Compensation Plan  
at Evergreen Cemetery  
for Cedars Nursing Care Center  
City of Portland



STREAM TREATMENT



1. Looking southwest at the 10- and 14 inch culverts; wetland is in the background. ①



2. Looking southeast at 24-inch culvert. ②

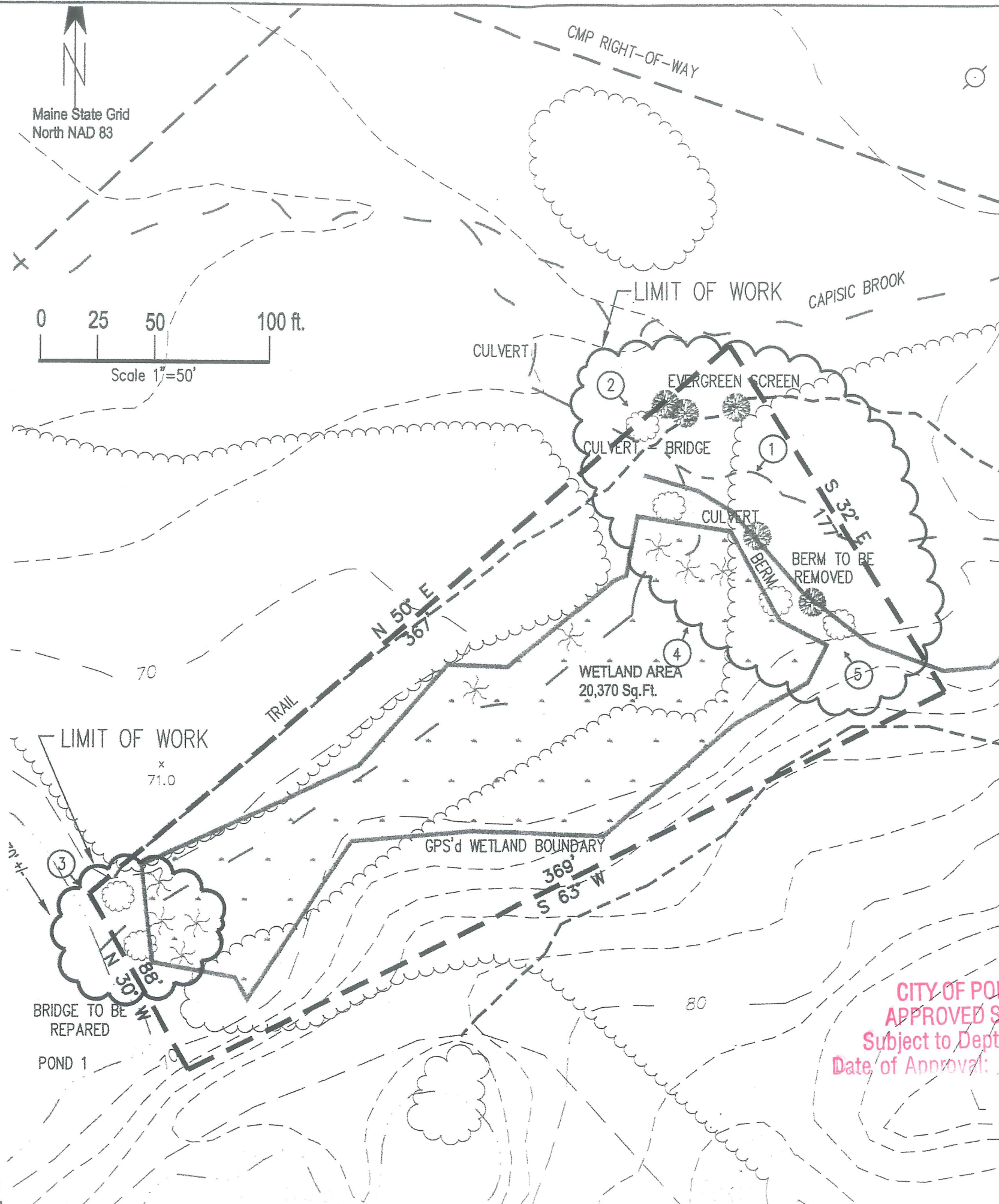
**CULVERTS -**  
Remove berm and all culverts; replace 24-inch culvert with a simple wooden bridge to connect trail. Stabilize recovered streambanks using native shrubs as listed for wetland treatment.

Access for implementation of stream and wetland treatments will be northerly along established trails.

**BRIDGE -**  
Construct a simple wooden bridge. Stabilize recovered streambanks using native shrubs listed for wetland treatment.



3. Looking southeast at bridge over Pond 1 outlet. ③



WETLAND TREATMENT



4. View of wetland looking north. ④



5. View across the dike of wetland looking northeast. ⑤

**AQUATICS/EMERGENT -**  
Create mound and pool microtopography along former berm. Establish floating-leaved aquatic/emergent marsh in standing water portions of wetland. Use +/- 550 plantings at 3 ft. OC over +/- 5,000 sq. ft. comprised of:

- |               |                             |
|---------------|-----------------------------|
| Burreed       | <i>Sparganium spp.</i>      |
| Pickerelweed  | <i>Pontederia cordata</i>   |
| Arrowhead     | <i>Sagittaria latifolia</i> |
| Green bulrush | <i>Scirpus atrovirens</i>   |

**SHRUBS/TREES -**  
Plant native shrubs along edge of wetland. Also plant 4-foot native conifers to screen view of sand/gravel plant and powerline corridor. Use +/- 150 plantings at 5 feet OC over +/- 3,000 sq. ft. comprised of:

- | Shrubs for Wetland   |                             |
|----------------------|-----------------------------|
| Highbush blueberry   | <i>Vaccinium corymbosum</i> |
| Silky dogwood        | <i>Cornus amomum</i>        |
| Pussy Willow         | <i>Salix discolor</i>       |
| Winterberry          | <i>Ilex verticillata</i>    |
| Trees for Screen     |                             |
| Balsam Fir           | <i>Abies balsamea</i>       |
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| Northern White Cedar | <i>Thuja occidentalis</i>   |

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Approvals  
Date of Approval: \_\_\_\_\_

Figure 3  
Offsite Compensation Plan  
at Evergreen Cemetery  
for Cedars Nursing Care Center  
City of Portland



400 Southborough Dr.  
South Portland, Maine 04106  
(207) 879-1930



**STREAM TREATMENT**



1. Looking southwest at the 10- and 14 inch culvert wetland is in the background.



2. Looking southeast at 24-inch culvert.

**CULVERTS -**

Remove berm and all culverts; replace 24-inch culverts with a simple wooden bridge to connect trail. Stabilize recovered streambanks using native shrubs as listed for wetland treatment.

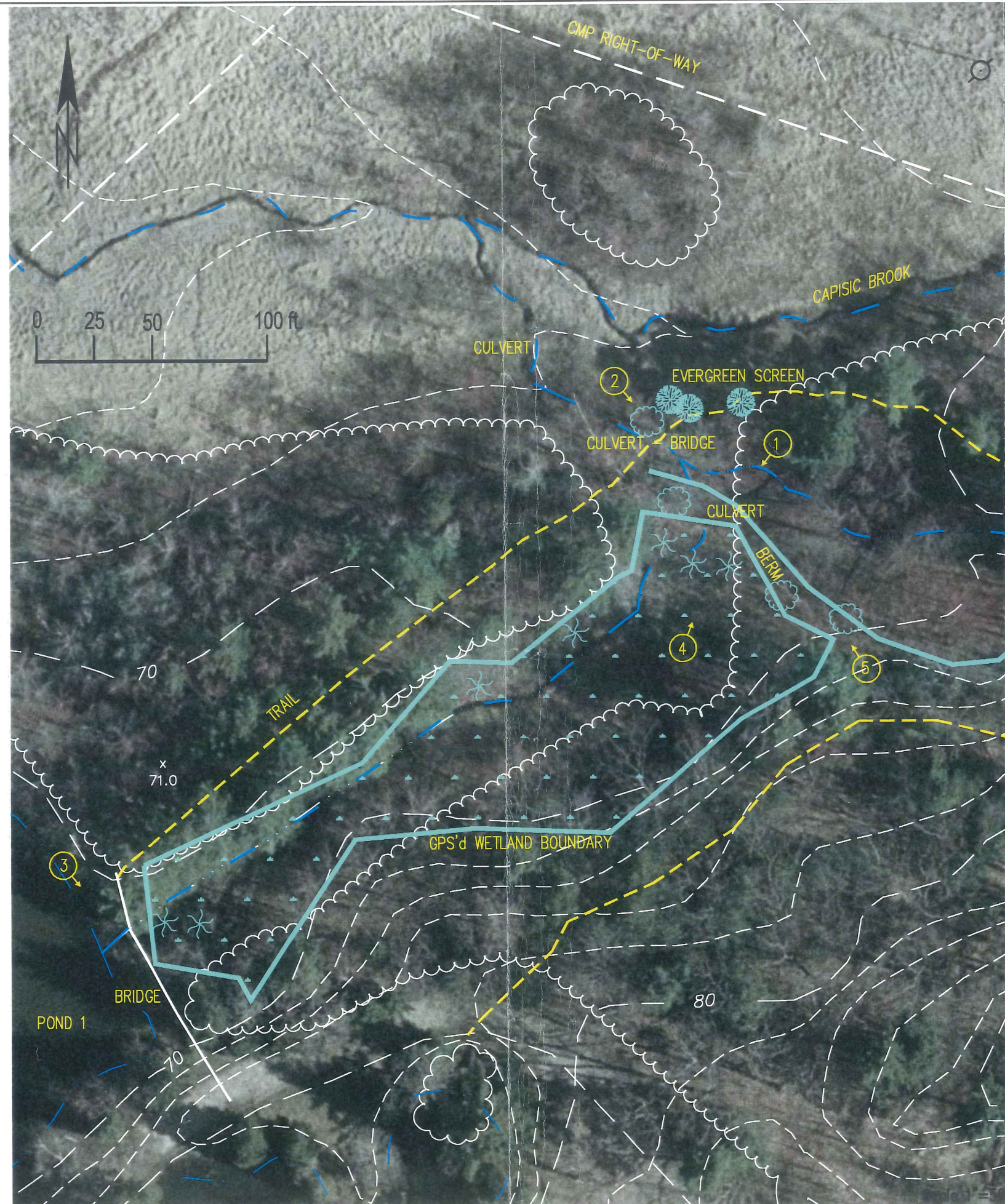
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Construct a simple wooden bridge. Stabilize recovered streambanks using native shrubs listed for wetland treatment.



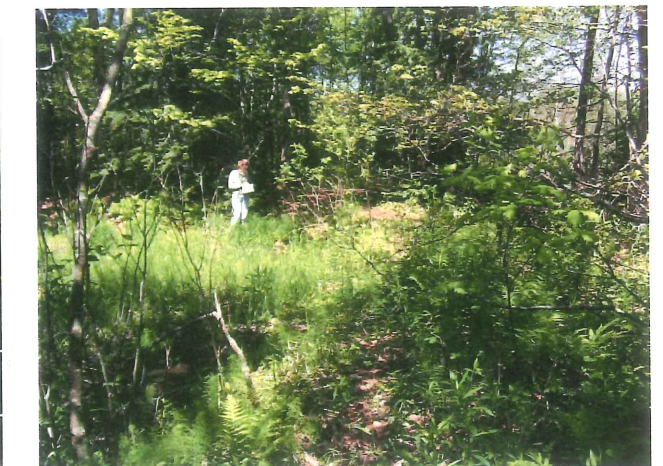
3. Looking southeast at bridge over Pond 1 outlet.







**WETLAND TREATMENT**



4. View of wetland looking north.



5. View across the dike of wetland looking northeast.

- AQUATICS/EMERGENT -**  
 Create mound and pool microtopography along former berm. Establish floating-leaved aquatic/emergent marsh in standing water portions of wetland. Use +/- 550 plantings at 3 ft. OC over +/- 5,000 sq. ft. comprised of:
- |   |                             |
|---|-----------------------------|
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|  Arrowhead     | <i>Sagittaria latifolia</i> |
|  Green bulrush | <i>Scirpus atrovirens</i>   |

- SHRUBS/TREES -**  
 Plant native shrubs along edge of wetland. Also plant 4-foot native conifers to screen view of sand/gravel plant and powerline corridor. Use +/- 1,500 plantings at 5 feet OC over +/- 3,000 sq. ft. comprised of:








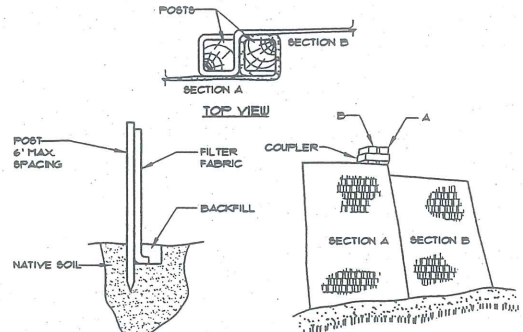
- |  |                             |
|--|-----------------------------|
| <b>Shrubs for Wetland</b>  |                             |
|  Highbush blueberry   | <i>Vaccinium corymbosum</i> |
|  Silky dogwood        | <i>Cornus amomum</i>        |
|  Pussy Willow         | <i>Salix discolor</i>       |
|  Winterberry          | <i>Ilex verticillata</i>    |
| <b>Trees for Screen</b>  |                             |
|  Balsam Fir           | <i>Abies balsamea</i>       |
|  Eastern Hemlock      | <i>Tsuga canadensis</i>     |
|  Northern White Cedar | <i>Thuja occidentalis</i>   |

Figure 3  
 Offsite Compensation Plan  
 at Evergreen Cemetery  
 for Cedars Nursing Care Center

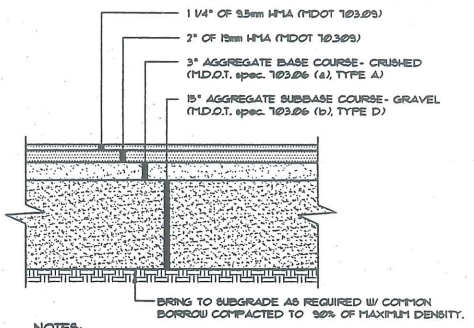






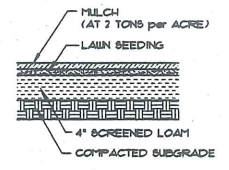
- INSTALLATION:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI BILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

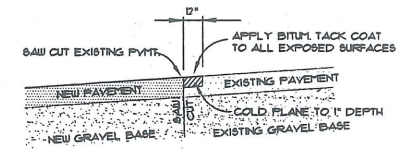


- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

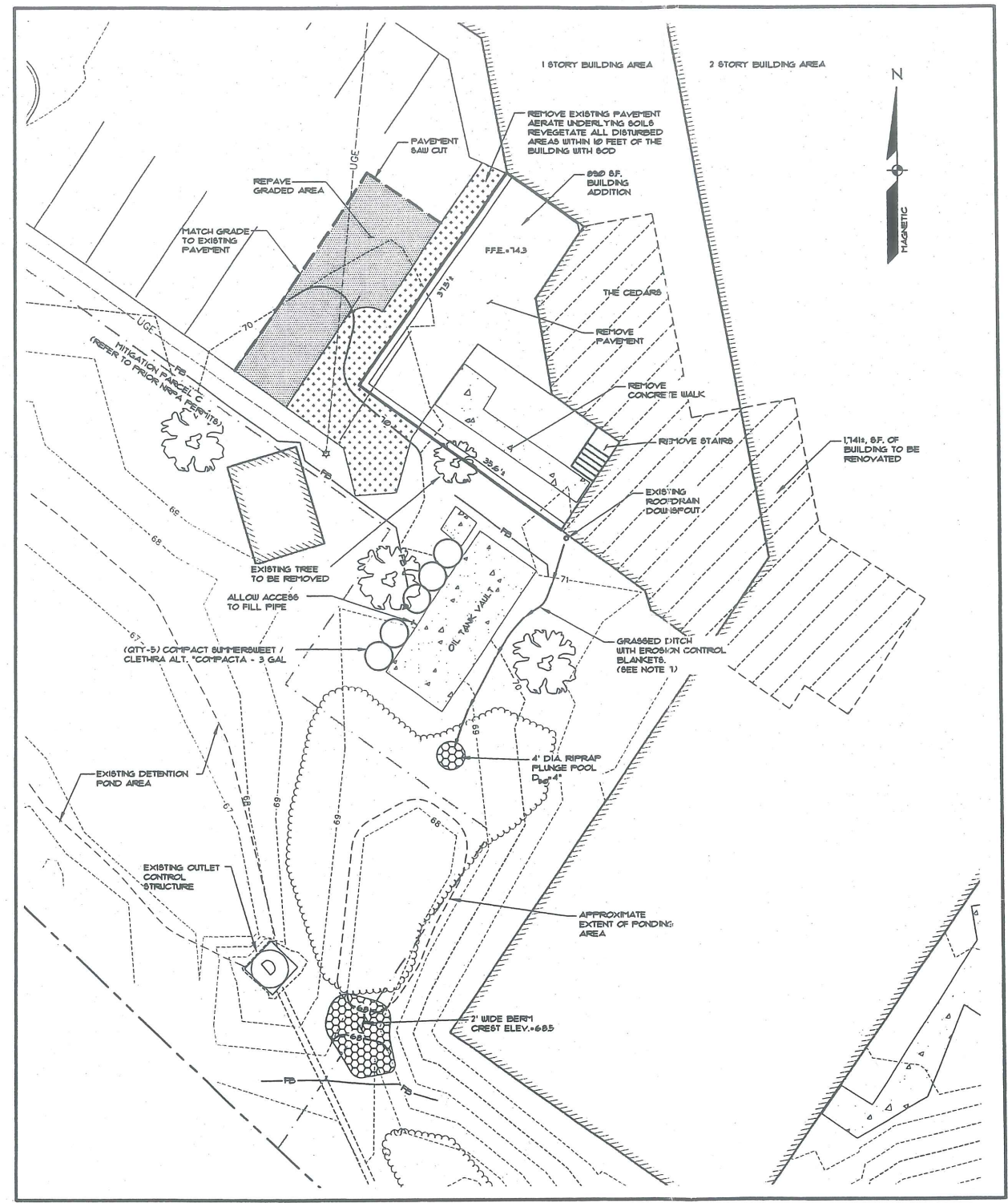
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



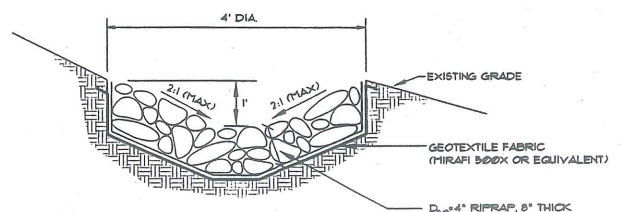
**LOAM AND SEED**  
NOT TO SCALE



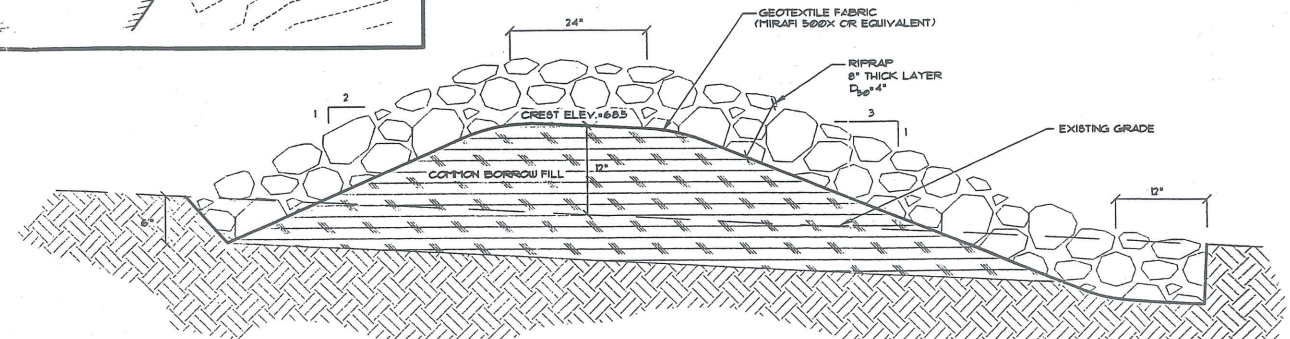
**PAVEMENT SAW CUT**  
NOT TO SCALE



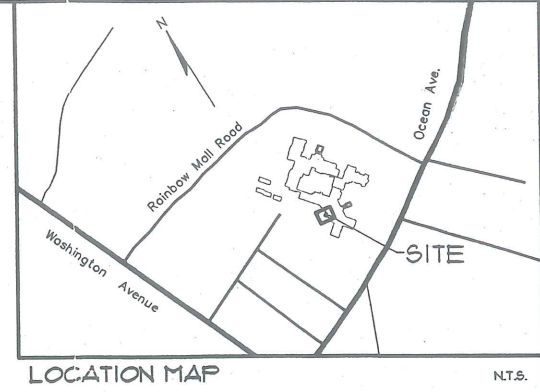
**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE



**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
3. SPACE AND BULK CRITERIA:
 

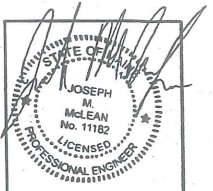
R-3 RESIDENTIAL ZONE	REQUIRED	PROPOSED
MAX. LOT COVERAGE:	.35%	16.9%
MIN. LOT SIZE:	2 Ac.*	10.57 Ac.
MIN. STREET FRONTAGE:	65 FT.	<65 FT.
MIN. FRONT YARD:	25 FT.	477 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	.35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

\*\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
\*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:  
A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLX 1" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	CONTOURS	D4
---	UNDER GROUND ELEC. & TEL.	---
---	FILTER BARRIER	FB

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 10-14-2008



REVISED CITY SUBMISSION	DATE	STATUS
RELEASED TO ARCHITECT	10-01-08	REVISED
ADDED BERM / FOND	9-28-08	REVISED
CITY OF PORTLAND APPLICATIONS	9-18-08	REVISED
MOEP STORMWATER APPLICATION	8-20-08	REVISED
	8-15-08	REVISED

**Sebago Technics**  
Engineering/Experts You Can Build On  
250 Cedarwood Avenue, Suite B  
Portland, ME 04103  
Tel: (207)783-5656

PROJECT NO. 08318  
FIELD BOOK DESIGN  
CHKD DRAWN  
JMM JEW PLS

**SITE PLAN**  
OF  
**CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103  
FOR:  
**CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103



**SHEET 1 OF 1**  
 DATE: 8-14-08  
 SCALE: 1"=10'  
**SITE PLAN**  
 OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
 630 OCEAN AVENUE  
 PORTLAND, ME 04103  
 FOR:  
**CEDARS HEALTH CARE**  
 630 OCEAN AVENUE  
 PORTLAND, MAINE 04103

**Sebago Technics**  
 Engineering Experts You Can Build On  
 250 Oyster Road - Suite 9  
 Portland, ME 04103  
 Tel: (207)720-5555

PROJECT NO: 0831B  
 FIELD BOOK: JMW  
 DESIGN: JMW  
 CHNO: JMW  
 DRAWN: PLS

REV.	DATE	STATUS	DESCRIPTION
A	8-15-08	NDP	STRAINWATER APPLICATION
B	8-20-08	ADD	ADD OF PORTLAND APPLICATIONS
C	9-18-08	ADD	ADD BERM / POND
D	9-26-08	RELEASED	TO ARCHITECT
E	10-01-08	RELEASED	CITY SUBMISSION

REVISIONS SHALL NOT BE ADDED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED ON OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

*as approved by  
 10/14/08 (w/ conditions)  
 for programming  
 R2 etx*

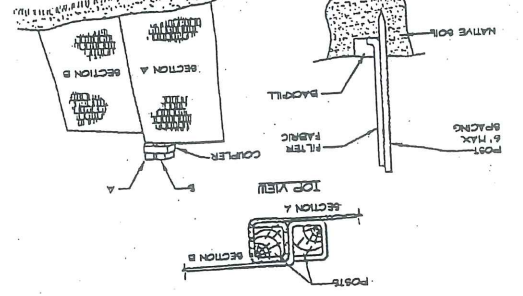
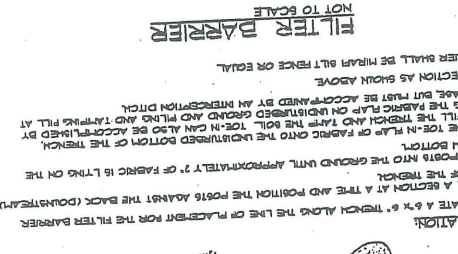
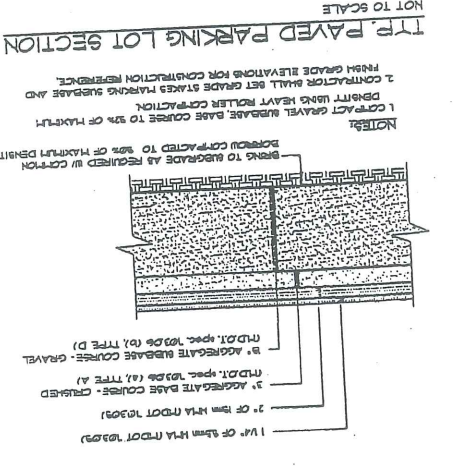
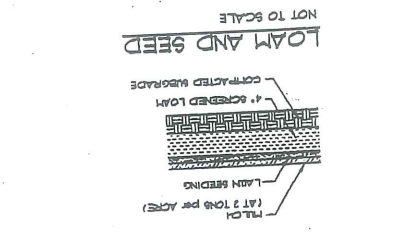
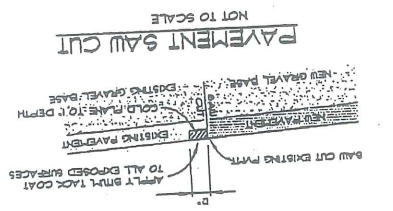
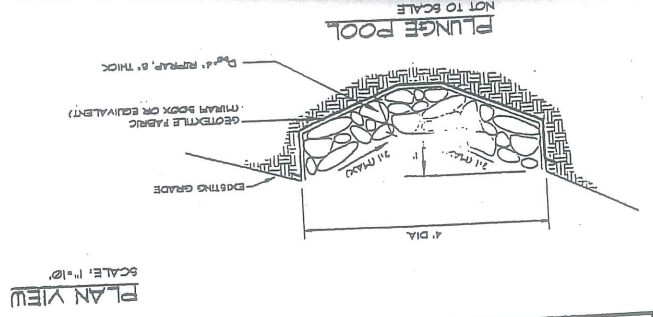
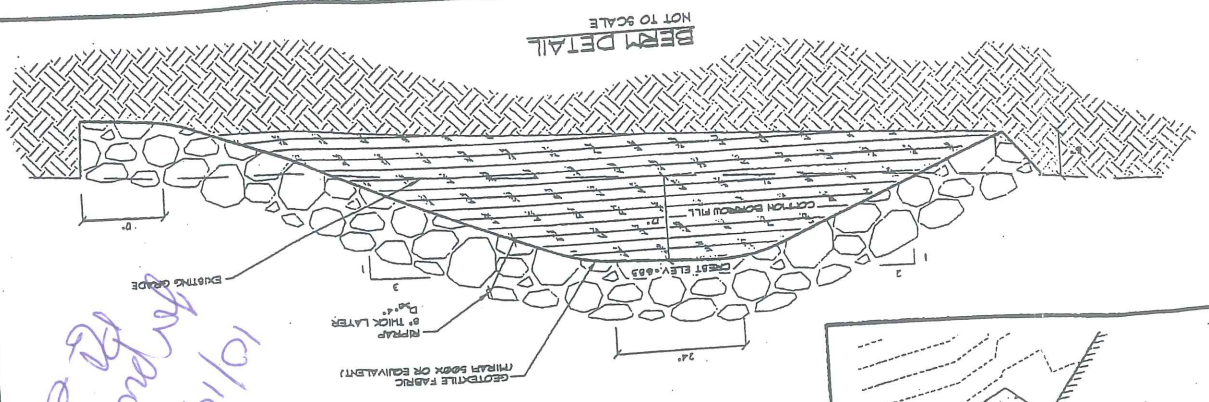
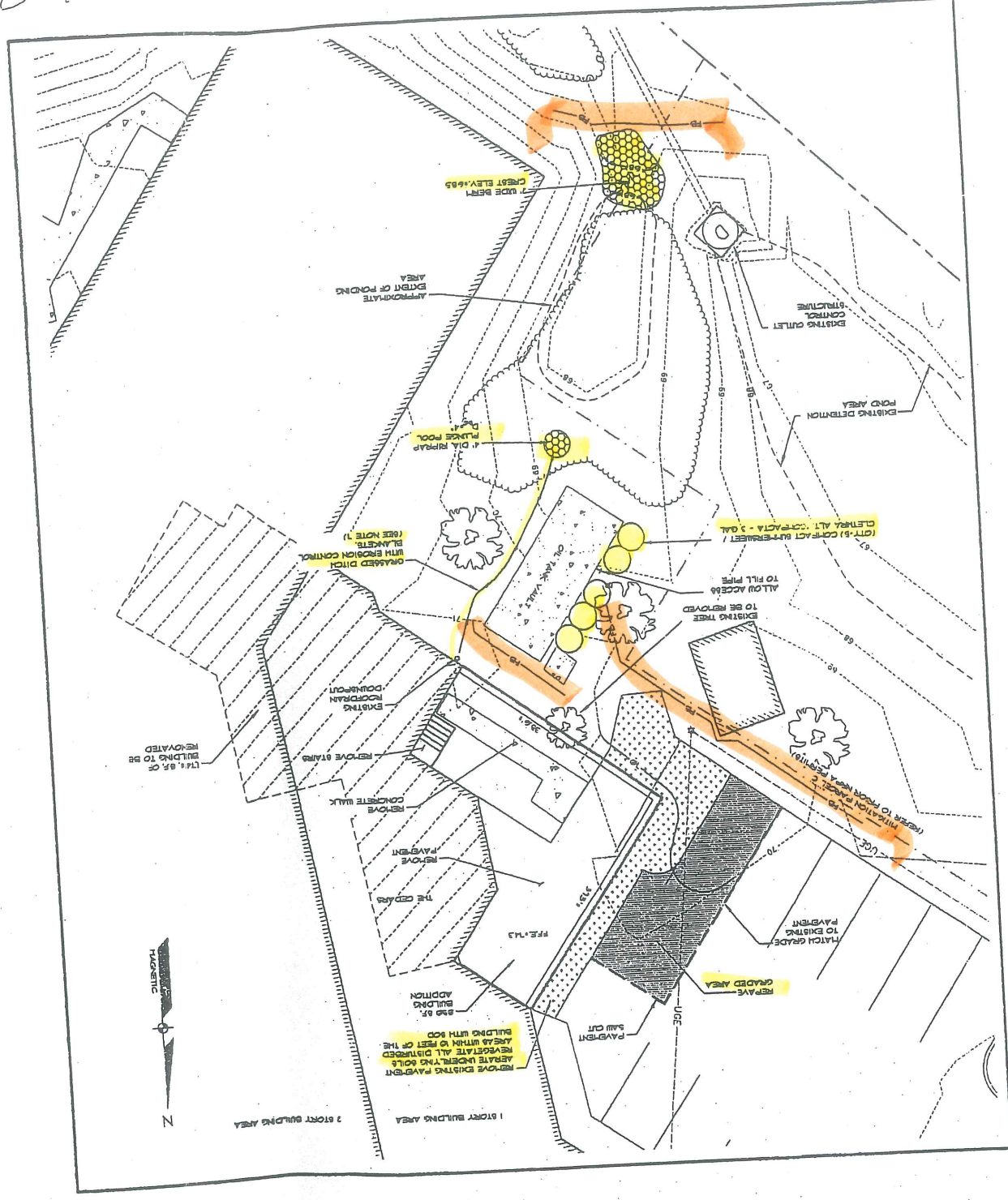
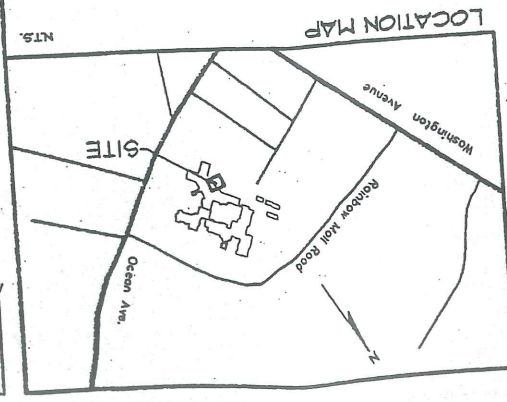
**LEGEND**

SYMBOL	DESCRIPTION	PROPOSED
(Dashed line)	EXISTING	
(Solid line)	PROPOSED	
(Hatched area)	EXISTING BUILDING	
(Dotted area)	PROPOSED BUILDING	
(Double line)	EDGE PAVEMENT	
(Dashed line)	CONTOUR	
(Dashed line)	UNDERGROUND	
(Dashed line)	ELEC. TEL.	
(Dashed line)	USE	
(Dashed line)	ALTER BARBER	

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTERY OF DEEDS IN BOOK 24129 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174.
3. SPACE AND BULK CRITERIA:
 

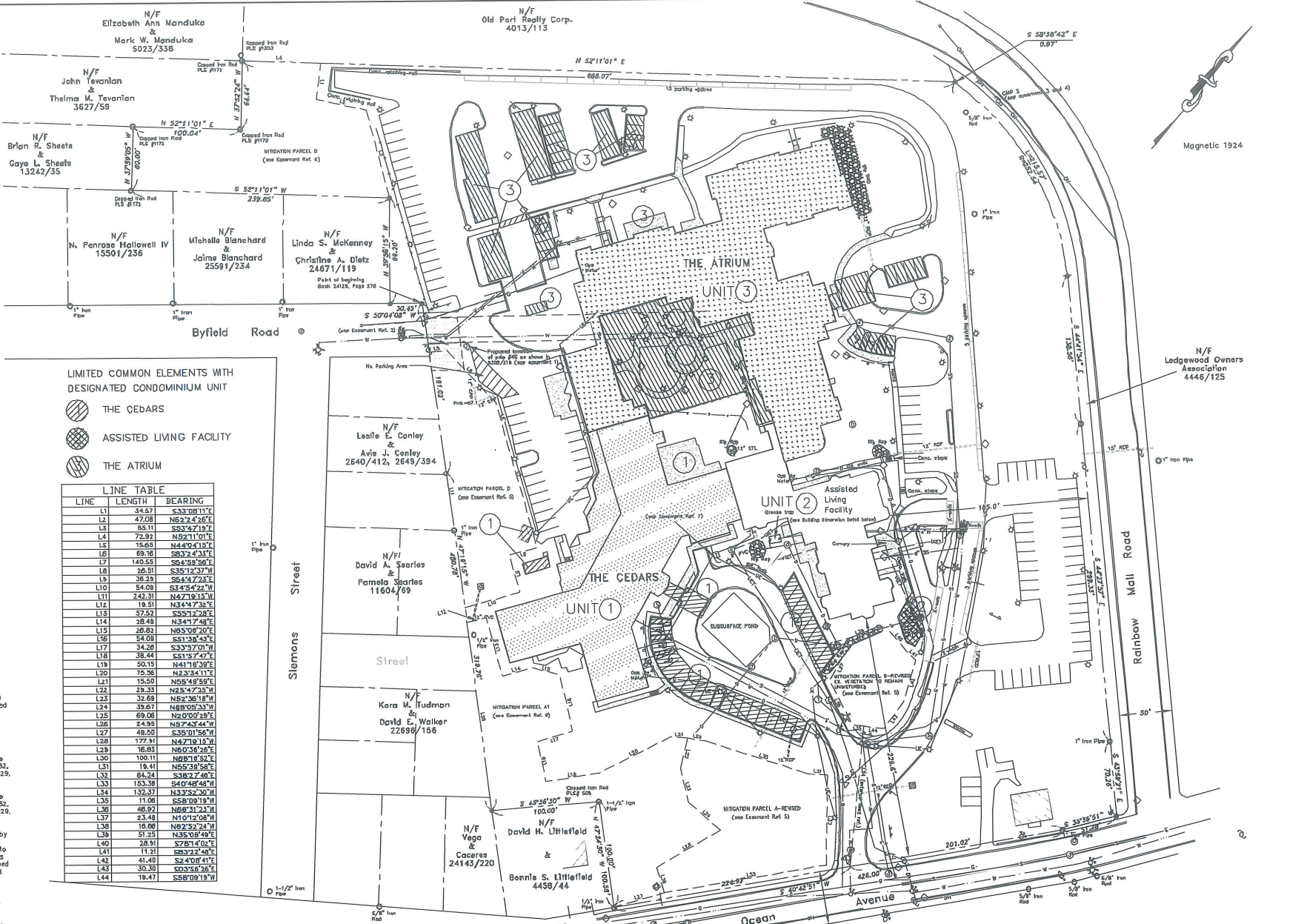
REQUIRED	PROPOSED
MAX. LOT COVERAGE:	2 ac.
MIN. LOT SIZE:	65 FT.
MIN. LOT WIDTH:	50 FT.
MIN. STREET FRONTAGE:	25 FT.
MIN. FRONT YARD:	14 FT.
MIN. SIDE YARD:	25 FT.
MIN. REAR YARD:	35 FT.
MAX. BUILDING HEIGHT:	149 SP.
PARKING REQUIREMENT:	149 SP.
FOR 2 STORY STRUCTURES	
**REFER TO PARKING REQUIREMENT STUDY DATED 5-22-05 PREPARED BY LAND USE CONSULTANTS.	
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY NTCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:
  - A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY NTCOMB ASSOCIATES, INC. DATED 6-30-06
  - B. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CUREX" AS MANUFACTURED BY AMERICAN EXCISION CO. OR APPROVED EQUIVALENT.
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CUREX" AS MANUFACTURED BY AMERICAN EXCISION CO. OR APPROVED EQUIVALENT.



Att. L



- LEGEND**
- 5/8" Copied iron rod set
  - Iron pin found
  - Monument found
  - Catch basin
  - Sewer manhole
  - Drain manhole
  - Gas valve
  - Water shutoff
  - Fire hydrant
  - Utility pole
  - Light pole
  - Elec. manhole
  - Tel. manhole
  - Sign
  - Edge of pavement
  - Ditch
  - Abutter's line
  - Property line
  - Easement line
  - Sanitary sewer
  - Storm drain
  - Water line
  - Overhead utility wires
  - Underground gas
  - UET Underground tel./elec.
  - UGET Underground tel./elec./cable
  - Fence
  - Concrete pad or walk
  - Existing building
  - Concrete pad or surface
  - Elec. Transformer
  - Proposed Construction Unit 2
  - Existing Unit 3
  - Existing Unit 1
  - Mitigation parcels



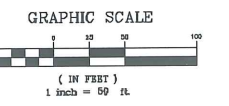
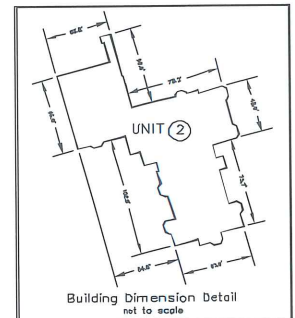
**LIMITED COMMON ELEMENTS WITH DESIGNATED CONDOMINIUM UNIT**

- THE CEDARS
- ASSISTED LIVING FACILITY
- THE ATRIUM

**LINE TABLE**

LINE	LENGTH	BEARING
L1	34.67	S33°08'11"E
L2	47.08	N62°24'26"E
L3	85.11	S53°27'17"E
L4	72.93	N92°11'01"E
L5	15.65	N44°04'15"E
L6	65.38	S83°24'32"E
L7	140.55	S84°58'58"E
L8	26.51	S35°12'37"W
L9	38.33	S64°37'23"E
L10	54.08	S14°54'22"W
L11	242.31	N47°19'15"W
L12	19.51	N34°47'32"E
L13	37.62	S33°12'28"E
L14	38.48	N34°17'48"E
L15	26.82	N85°09'20"E
L16	44.08	S31°28'42"E
L17	34.28	S33°37'01"W
L18	38.44	S51°37'47"E
L19	50.15	N41°18'39"E
L20	79.58	N23°34'11"E
L21	15.50	N85°49'59"E
L22	23.33	N23°22'25"W
L23	32.68	N92°30'18"W
L24	33.67	N88°05'33"W
L25	69.06	N2°00'28"E
L26	24.95	N57°34'44"W
L27	48.50	S35°01'56"W
L28	177.41	N47°19'15"W
L29	68.81	N90°03'45"E
L30	100.11	N08°16'52"E
L31	18.41	N55°39'58"E
L32	84.24	S38°27'49"E
L33	153.38	S40°48'48"W
L34	132.27	N33°52'20"W
L35	11.06	S58°09'18"W
L36	46.92	N66°31'23"W
L37	23.48	N10°12'08"W
L38	18.60	N82°52'24"W
L39	51.25	N35°08'49"E
L40	28.91	S78°14'02"E
L41	11.31	S89°22'48"E
L42	41.40	S24°05'41"E
L43	30.30	S03°56'38"E
L44	18.47	S88°19'19"W

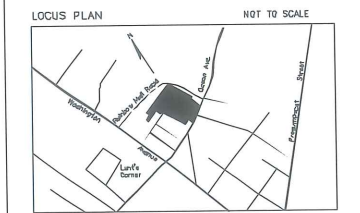
- EASEMENTS AND ENCUMBRANCES**
- (1) Utility Easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company by Cedars Nursing Core Center, Inc. described in Book 3505, Page 219. The proposed utility site mentioned in description was not found on premises.
  - (2) Show Plowing Easement conveyed to the City of Portland by Cedars Nursing Core Center, Inc. and Jewish Home for the Aged described in Book 9280, Page 236.
  - (3) Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 187; encumbers the property described in Book 24129, Page 276.
  - (4) Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 188; encumbers the property described in Book 24129, Page 276.
  - (5) The declaration of Covenants and Restrictions made by Cedars Nursing Core Center, Inc. and JHA Properties, Inc. described in Book 13709, Page 76, and the Amendment to Declaration of Covenants and Restrictions made by Cedars Nursing Core Center, Inc. and JHA Properties, Inc. described in Book 24129, Page 254. The omitted and unmentioned Mitigation Parcels have been designated on plan.
  - (6) Declaration of Covenants and Restrictions made by Cedars Nursing Core Center, Inc. and JHA Properties, Inc. described in Book 24129, Page 265.
  - (7) Underground Line Easement conveyed to Central Maine Power Company by Cedars Nursing Core Center, Inc. in Book 1882, Page 206; encumbers the property described in Book 24129, Page 236.
  - (8) Certification of Variance Approval granted to Cedars Nursing Core Center, Inc., JHA Properties, Inc. and JHA Services, Inc. by the City of Portland in Book 13585, Book 182.



**PRELIMINARY PLAN**

**CERTIFICATION**  
This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors.

**SURVEYOR'S CERTIFICATION**  
I HEREBY CERTIFY to the U.S. Department of Housing and Urban Development (HUD), JHA Assisted Living, Inc., Wells Fargo Bank, N.A. and Title Title Insurance Company and to their successors and assigns, that:  
I made an on the ground survey per record description of the land shown hereon located in Portland, Cumberland County, Maine, on September 8, 2005, revised through March 14, 2007, and that I and my assistants were duly sworn and qualified as land surveyors and that the map was made in accordance with the HUD Survey instructions and Report Form HUD-82457, and the requirements for an ALTA/ACSM Land Title Survey, as defined in the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys dated 2005.  
To the best of my knowledge, belief and information, except as shown hereon, there are no encroachments either way across property lines, title lines and lines of actual possession are the same and the premises are free of any 100/500 year return frequency flood hazard, and such flood area condition is shown on the Federal Flood Insurance Rate Map, Community Panel No. 230051 0007 B effective July 17, 1986.  
Res J. Orelau, PLS #2275  
Titcomb Associates



- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
  - (2) Bearings are referenced to magnetic north 1924.
  - (3) All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig safe and/or the appropriate utilities should be contacted prior to any construction.
  - (4) According to the Flood Insurance Rate Map for the City of Portland (FIRM Panel 230051 0007 B, effective date July 17, 1986), this parcel is not located within a flood hazard area.

**TOTAL PROJECT AREA** - 460,350 square feet / 10.57 acres

- PLAN REFERENCES**
- (1) Plan of Lots Number 3 & 4 made for the Estate of Mary S. Lunt by Edwin C. Townsend dated March 6, 1877 recorded in Plan Book 4, Page 4.
  - (2) Plan of Land made for Dorothy S. True and Heirs of F.W.H. Smith dated October 1928, recorded in Plan Book 25, Page 50.
  - (3) Revised Final Plan of Ledgewood Subdivision made for the Dartmouth Company by Land Use Consultants dated April 27, 1979, recorded in Plan Book 123, Page 81.
  - (4) Plan of Property made for Jewish Home for the Aged made by H.I. and E.C. Jordan dated July 17, 1987.
  - (5) Plan of Property/Land Title Survey of the Cedars made by H.I. and E.C. Jordan dated March 29, 1990, recorded in Plan Book 166, Page 14.
  - (6) Record Drawing of Cedars Nursing Core Center, Inc. made by Owen Haskell, Inc. dated August 29, 1991.
  - (7) Layout and Utilities Plan of the Atrium at Cedars (drawing number C202) made by Titcomb Associates dated May 27, 1997.
  - (8) Topographic Site Survey made for JHA Properties, Inc. by Daniel J. Balthasar dated February 28, 1997.
  - (9) Plan Showing Proposed Property Lines made for JHA Properties, Inc. by Daniel J. Balthasar dated November 4, 1997.
  - (10) Plan Showing Standard Boundary Survey made for JHA Properties, Inc. by Daniel J. Balthasar dated July 14, 1997, recorded in Plan Book 158, Page 32.
  - (11) Plan of Cedars Phase 3-Welland Mitigation Areas made by Land Use Consultants dated August 24, 2004.
  - (12) ALTA/ACSM Land Title Survey made for JHA Properties, Inc. & Cedars Nursing Core Center, Inc. dated November 4, 2004, by Titcomb Associates.
  - (13) Cedars Condominiums Recording Plat/Condominium Plan ALTA/ACSM Land Title Survey made for JHA Properties, Inc., Cedars Nursing Core Center, Inc. and JHA Assisted Living, Inc. by Titcomb Associates dated September 8, 2005 as revised through April 5, 2006, recorded in the Cumberland County Registry of Deeds in Plan Book 266, Page 430.

- OWNERS OF RECORD**
- Unit 1 Cedars Nursing Core Center, Inc.; Book 24129, Page 276
  - Unit 2 JHA Assisted Living, Inc.; Book 24446, Page 225 and Book 24155, Page 29
  - Unit 3 JHA Properties, Inc.; Book 24129, Page 276

**LEGAL DESCRIPTION OF UNIT 2**  
The Unit ("Unit") designated as Number 2 of the Cedars Condominiums located at 630 Ocean Avenue, Portland, Cumberland County, Maine ("Condominium"), together with the Unit's undivided percentage interest in the Common Elements of the Condominium as set forth in the Declaration, created pursuant to the provisions of the Maine Condominium Act, Chapter 51 of Title 33 of the Maine Revised Statutes of 1984, as amended, and set forth in Declaration of Cedars Condominiums, dated as of June 30, 2006, and recorded in Cumberland County Registry of Deeds in Book 24129, Page 276, as may be amended, and shown on the related plats and plans recorded in Plan Book 266, Page 430. The Unit is subject to and has the benefit of the Declaration, the Plats, Plans and the Act which are incorporated herein by reference, to which reference is hereby made for a more particular specification of the definition, location and description of the real property and of the rights, obligations, assessments, development rights, special declarant rights, restrictions, covenants and conditions pertaining thereto.

**PRELIMINARY PLAN**

**CEDARS CONDOMINIUMS  
AS BUILT UNIT 2  
ALTA / ACSM Land Title Survey**  
630 Ocean Avenue Portland, Maine

MADE FOR  
**Inn at Cedars, Inc. (JHA Assisted Living, Inc.)**  
FHA Project No. 024-43094

630 Ocean Avenue Portland, Maine

JOB# 204089 DATE: August 10, 2006 SCALE: 1"=50'

BOOK# 837

DWR: 204089\_016

FILE# 8847

**Titcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105 (207)797-9199





Approx. location Cedars Rehabilitation Center Addition

Prepared Sept 2008 by Planning Staff  
based on GIS Workgroup Data



- LEGEND**
- 5/8" Capped iron rod set
  - Iron pin found
  - Monument found
  - Catch basin
  - Sewer manhole
  - Drain manhole
  - Gas valve
  - Water shutoff
  - Fire hydrant
  - Utility pole
  - Light pole
  - Elec. manhole
  - Tel. manhole
  - Sign
  - Edge of pavement
  - Curb
  - Abuttler's line
  - Property line
  - Easement line
  - Sanitary sewer
  - Water line
  - OH Overhead utility wires
  - U Underground gas
  - UET Underground tel./elec.
  - Fence

- Existing building
- Concrete pad or surface
- Elec. Transformer
- Proposed Construction Unit 2
- Existing Unit 3
- Existing Unit 1
- Mitigation parcels

- LIMITED COMMON ELEMENTS WITH DESIGNATED CONDOMINIUM UNIT**
- THE CEDARS
  - ASSISTED LIVING FACILITY
  - THE ATRIUM

LINE	LENGTH	BEARING
L1	34.57	S33°08'11"E
L2	47.08	N82°24'28"E
L3	85.11	S53°27'47"E
L4	72.82	N52°11'01"E
L5	15.65	N44°04'15"E
L6	89.10	S83°24'33"E
L7	140.95	S54°59'56"E
L8	28.51	S55°12'37"W
L9	36.28	S52°12'28"E
L10	54.09	S34°54'22"W
L11	242.31	N47°19'18"W
L12	19.51	N34°47'32"E
L13	57.52	S55°12'28"E
L14	28.49	N34°17'48"E
L15	26.82	N65°06'20"E
L16	54.08	S51°38'43"E
L17	34.28	S33°07'01"W
L18	36.44	S51°57'47"E
L19	50.15	N41°16'30"E
L20	75.56	N23°34'11"E
L21	15.50	N55°49'59"E
L22	29.33	N26°47'25"W
L23	32.89	N52°36'18"W
L24	36.67	N88°05'33"W
L25	69.06	N20°00'22"E
L26	24.95	N57°43'44"W
L27	49.50	S35°01'56"W
L28	177.91	N47°19'15"W
L29	16.63	N50°36'26"E
L30	100.11	N88°18'52"E
L31	19.41	N55°39'58"E
L32	84.24	S38°27'46"E
L33	153.38	S40°48'48"W
L34	132.37	N33°52'30"W
L35	11.08	S58°09'10"W
L36	48.92	N88°31'23"W
L37	23.48	N10°12'08"W
L38	16.68	N82°32'24"W
L39	51.25	N35°08'43"E
L40	28.91	S78°14'02"E
L41	41.21	S82°22'43"E
L42	41.40	S2°43'08"41"E
L43	30.30	S03°58'28"E
L44	19.47	S58°09'18"W

**EASEMENTS AND ENCUMBRANCES**

- Utility Easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company by Cedars Nursing Care Center, Inc. described in Book 9305, Page 218. The proposed utility pole mentioned in description was not found on premises.
- Snow Plowing Easement conveyed to the City of Portland by Cedars Nursing Care Center, Inc. and Jewish Home for the Aged described in Book 9260, Page 236.
- Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 187; encumbers the property described in Book 13699, Page 317.
- Underground Line Easement conveyed to Central Maine Power Company by JHA Properties described in Book 14382, Page 188; encumbers the property described in Book 14221, Page 219.
- The Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 13709, Page 75, and the Amendment to Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 24129, Page 254. The amended and unamended Mitigation Parcels have been delineated on plan.
- Declaration of Covenants and Restrictions made by Cedars Nursing Care Center, Inc. and JHA Properties, Inc. described in Book 24129, Page 255.
- Underground Line Easement conveyed to Central Maine Power Company by Cedars Nursing Care Center, Inc. in Book 9162, Page 206; encumbers the property described in Book 7732, Page 282.

**CITY OF PORTLAND  
SITE PLAN & SUBDIVISION NOTES: CITY OF PORTLAND NOTES CONT:**

- LANDSCAPING SHALL MEET THE "ARBORCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RESTORATION OF WOODS OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWER LINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TOP DOWN RAUPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED (SILT FENCE, HAY BALE, ETC.) AS WELL AS THEIR LOCATION).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).

- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRP-LINE OF TREES TO BE PRESERVED.
- SUBDIVISION SHALL MEAN THE SUBDIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, REDEMPTION, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.

**CERTIFICATION**

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors.

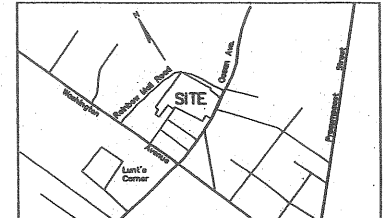
To Suburban Mortgage Associates Incorporated, the Secretary of Housing and Urban Development of Washington, D.C., Cedars Nursing Care Center, Inc., JHA Assisted Living Facility and JHA Properties, Inc.

This is to certify that this plot and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes items 1-4, 8-10, 11b, 13 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, ACSM, and NSPS and in effect on the date of this certification, undesignated further certifies that in my professional opinion, as a land surveyor registered in the State of Maine, the maximum Relative Positional Accuracy is .07 feet.

Rex J. Croteau, Maine PLS #2273



**LOCUS PLAN** NOT TO SCALE



**NOTES**

- Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- Bearings are referenced to magnetic north 1924.
- All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig Safe and/or the appropriate utilities should be contacted prior to any construction.
- According to the Flood Insurance Rate Map for the City of Portland (FIRM Panel 230051 0007 B, effective date July 17, 1986), this parcel is not located within a flood hazard area.

**AREA**

TOTAL PROJECT AREA = 10.57 ACRES

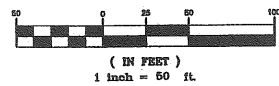
**PLAN REFERENCES**

- Plan of Lots Number 3 & 4 made for the Estate of Mary S. Lunt by Edwin C. Townsend dated March 8, 1877 recorded in Plan Book 4, Page 4.
- Plan of Land made for Dorothy S. Tru and Heirs of F.W.H. Smith dated October 1929, recorded in Plan Book 25, Page 50.
- Revised Final Plan of Ledgewood Subdivision made for the Dartmouth Company by Land Use Consultants dated April 27, 1979, recorded in Plan Book 123, Page 61.
- Plan of Property made for Jewish Home for the Aged made by H.I. and E.C. Jordan dated July 17, 1987.
- Plan of Property/Land Title Survey of the Cedars made by H.I. and E.C. Jordan dated March 29, 1990, recorded in Plan Book 186, Page 14.
- Record Drawing of Cedars Nursing Care Center, Inc. made by Owen Haskell, Inc. dated August 29, 1991.
- Layout and Utilities Plan of the Atrium at Cedars (drawing number C202) made by Teonides Associates dated May 27, 1997.
- Topographic Site Survey made for JHA Properties, Inc. by Daniel J. Dalphono dated February 28, 1997.
- Plan Showing Proposed Property Lines made for JHA Properties, Inc. by Daniel J. Dalphono dated November 4, 1997.
- Plan Showing Standard Boundary Survey made for JHA Properties, Inc. by Daniel J. Dalphono dated July 14, 1997, recorded in Plan Book 188, Page 325.
- Plan of Cedars Phase 3-Walland Mitigation Areas made by Land Use Consultants dated August 24, 2004.
- ALTA/ACSM Land Title Survey made for JHA Properties, Inc. & Cedars Nursing Care Center, Inc. dated November 4, 2004, by Titcomb Associates.
- Cedars Condominiums Recording Plat/Condominium Plan ALTA/ACSM Land Title Survey made for JHA Properties, Inc. & Cedars Nursing Care Center, Inc. and JHA Assisted Living, Inc. Inc. by Titcomb Associates dated September 8, 2005 and revised through April 5, 2006, recorded in the Cumberland County Registry of Deeds in Plan Book 206, Page 430.

**OWNERS OF RECORD**

Cedars Nursing Care Center, Inc. (formerly Jewish Home for the Aged) and JHA Properties, Inc. See Declaration of Cedars Condominiums.  
Book 24129, Page 276

**GRAPHIC SCALE**



Rev.	Date	Description	By
4	06/30/06	Owner of Record	RJC
3	06/30/06	Easements and Encumbrances	RJC
2	04/05/06	Easements and Encumbrances	RJC
1	04/05/06	Removed historical lot lines and Parcel refs.	RJC

**CEDARS CONDOMINIUMS  
CONDOMINIUM PLAN  
ALTA / ACSM Land Title Survey**

630 Ocean Avenue Portland, Maine

MADE FOR  
JHA Properties, Inc., Cedars Nursing Care Center, Inc., & JHA Assisted Living, Inc.

630 Ocean Avenue Portland, Maine

JOB# 204089 DATE: Sept 08, 2005 SCALE: 1"=50'

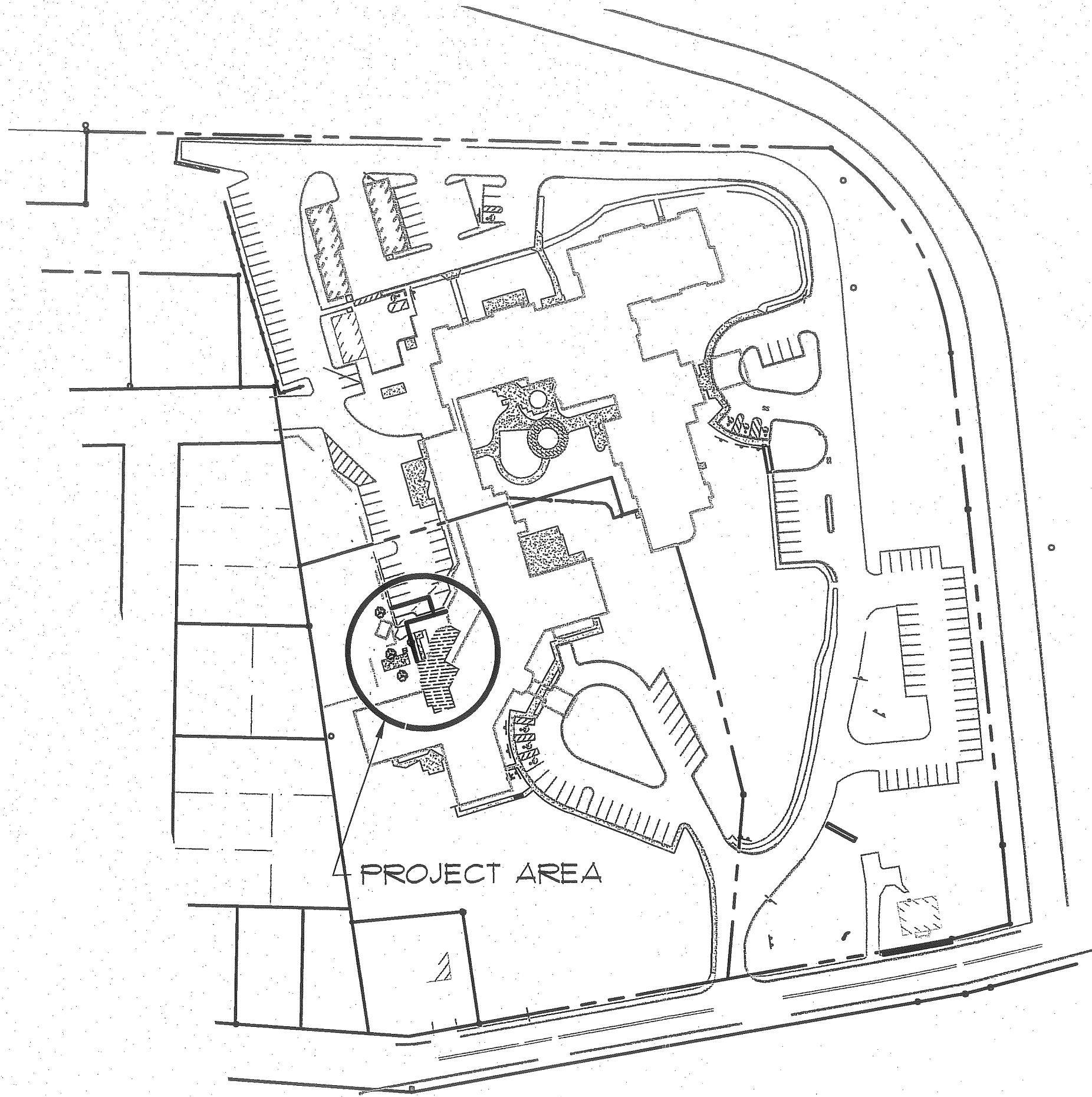
BOOK# 734

DWG# 204089\_R11

FILE# 8847

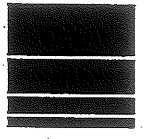






PROJECT AREA

ATT. K



**Sebago Technics**  
 Engineering Expertise You Can Build On  
 250 Goddard Road, Suite B  
 Lewiston, Maine 04240  
 Tel (207)783-5656

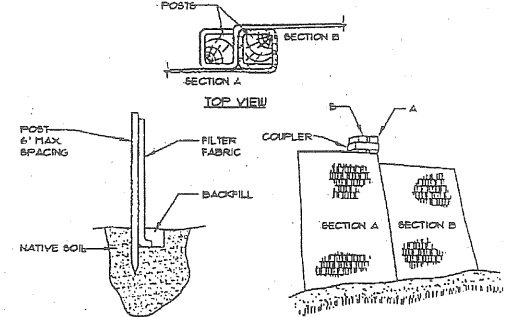
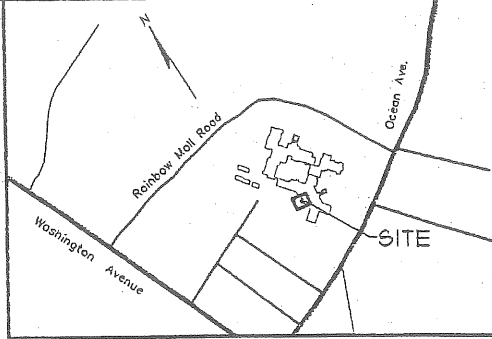
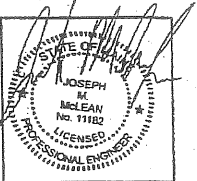
**PROJECT LOCATION MAP**  
 OF: **CEDARS REHABILITATION CENTER ADDITION**  
 630 OCEAN AVENUE  
 PORTLAND, ME 04103  
 FOR: **CEDARS HEALTH CARE**  
 630 OCEAN AVENUE  
 PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	PLS
DATE:	9-16-08
SCALE:	1"=100'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318LOC

**SHEET 1 OF 1**

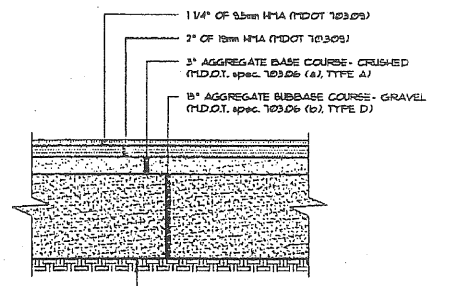


Att. L



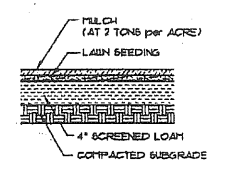
- INSTALLATION:**
1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE 10'-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. 10E-N CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAF BILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

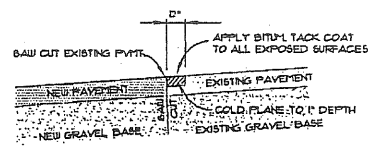


- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

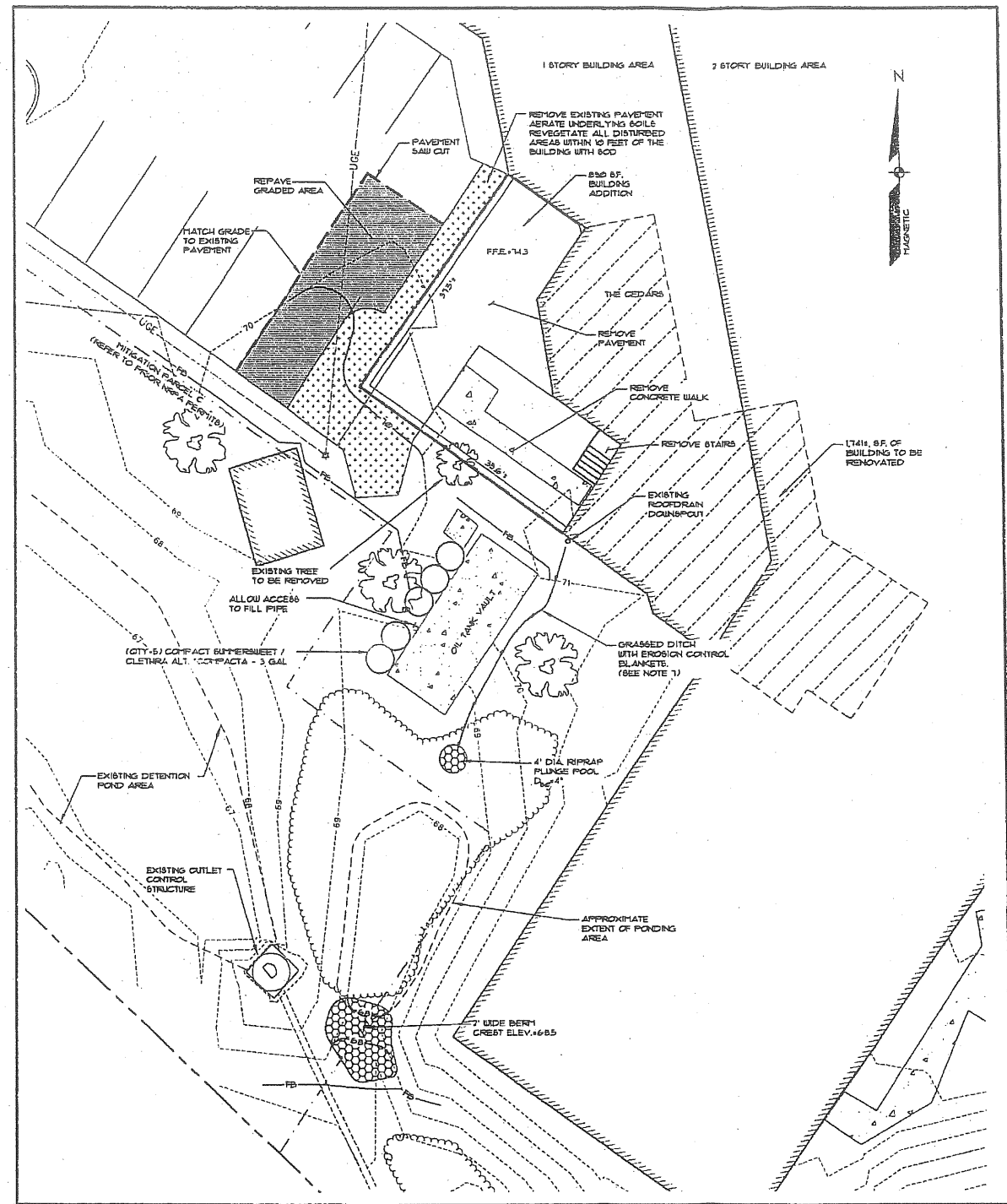
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



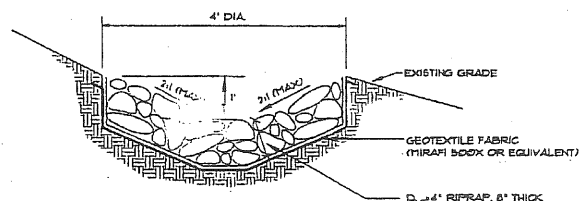
**LOAM AND SEED**  
NOT TO SCALE



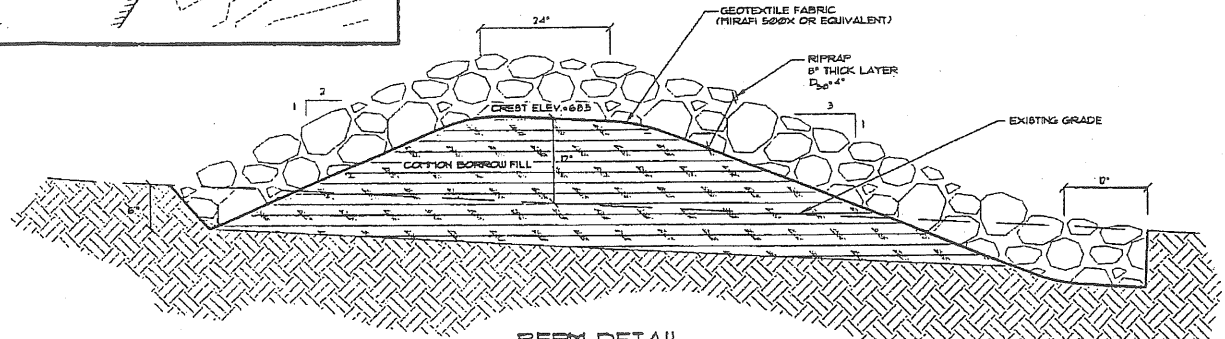
**PAVEMENT SAW CUT**  
NOT TO SCALE



**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
3. SPACE AND BULK CRITERIA:
 

	REQUIRED	PROPOSED
R-3 RESIDENTIAL ZONE		
MAX. LOT COVERAGE:	.35%	16.9%
MIN. LOT SIZE:	2 Ac.	10.57 Ac.
MIN. LOT WIDTH:	65 FT.	<65 FT.
MIN. STREET FRONTAGE:	50 FT.	47 FT.
MIN. FRONT YARD:	25 FT.	<25 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	.35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

\*\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
\*\*\*FOR 2 STORY STRUCTURES  
\*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:  
A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLEX 1" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
	BUILDING	
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
-122--	CONTOURS	-D-
---	UNDER GROUND ELEC. 4 TEL.	---
---	FILTER BARRIER	FB

REVISED CITY SUBMISSION	DATE	STATUS
REVISED TO ARCHITECT	10-01-08	
RELEASED TO ARCHITECT	9-26-08	
ADDED BERM / FOND	9-18-08	
CITY OF PORTLAND APPLICATIONS	8-20-08	
MDP STORMWATER APPLICATION	8-15-08	

REVISIONS:  
E JMM  
D JMM  
C JMM  
B JMM  
A JMM

DATE: JMM  
BY: JMM  
CHECKED: JMM  
DESIGN: JMM  
DRAWN: JMM  
PLS: JMM

**Sebago Technics**  
Engineering Corporation You Can Build On  
250 Cedarwood Road, Suite B  
Portland, ME 04103  
Tel: (207)785-5555

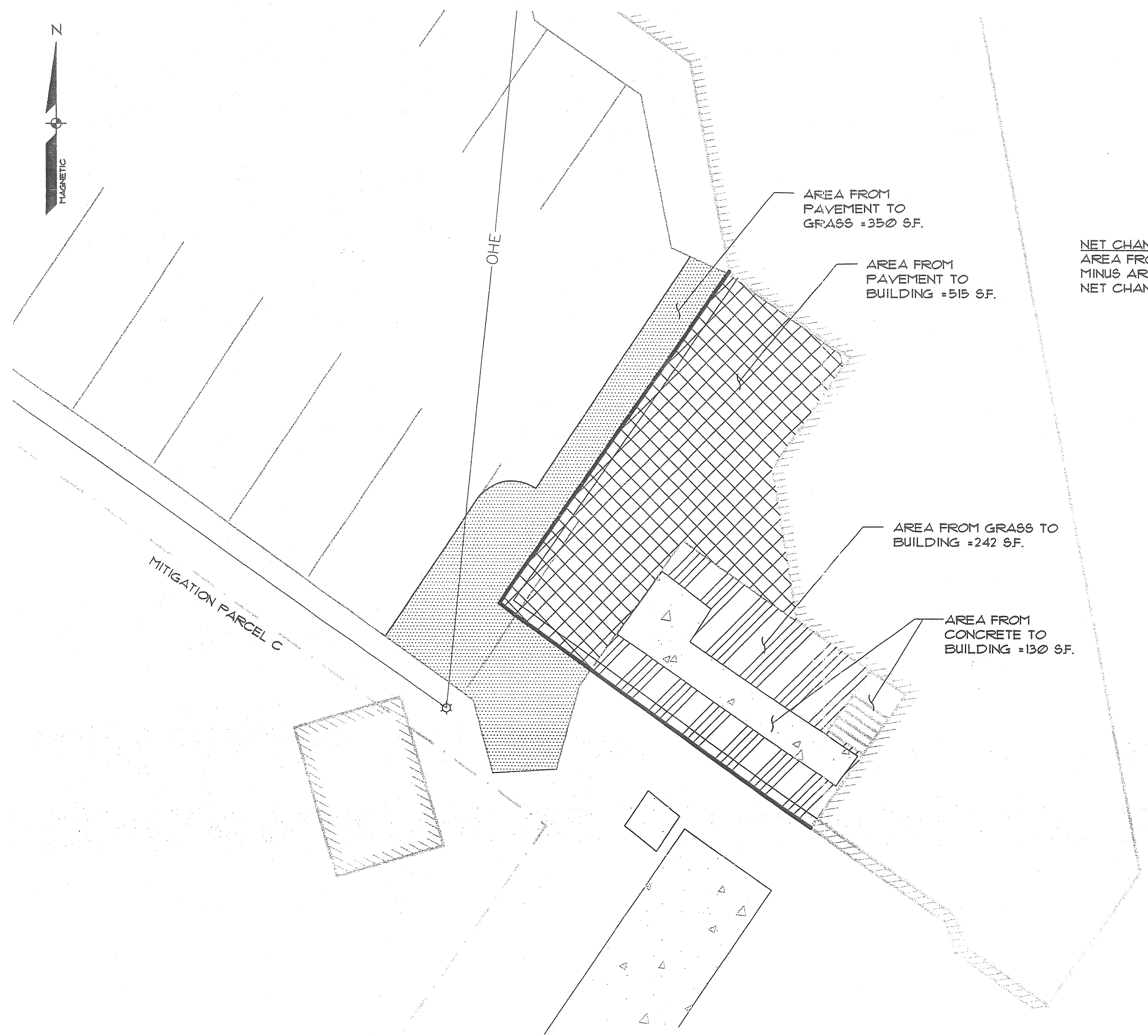
PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN  
08318 JMM JWB PLS

**SITE PLAN**  
OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR:  
**CEDARS HEALTH CARE**  
PORTLAND, MAINE 04103



Att. M.



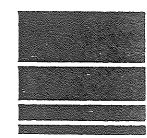
AREA FROM PAVEMENT TO GRASS = 350 SF.

AREA FROM PAVEMENT TO BUILDING = 515 SF.

AREA FROM GRASS TO BUILDING = 242 SF.

AREA FROM CONCRETE TO BUILDING = 130 SF.

NET CHANGE IN IMPERVIOUS AREA:  
AREA FROM GRASS TO ROOF IS = 242 SF.  
MINUS AREA FROM PAVEMENT TO GRASS = 350 SF.  
NET CHANGE IN IMPERVIOUS AREA = -108 SF.



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Auburn, Maine 04210  
Tel (207)783-5656

**ALTERATIONS TO LAND COVER MAP**  
OF: **CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103

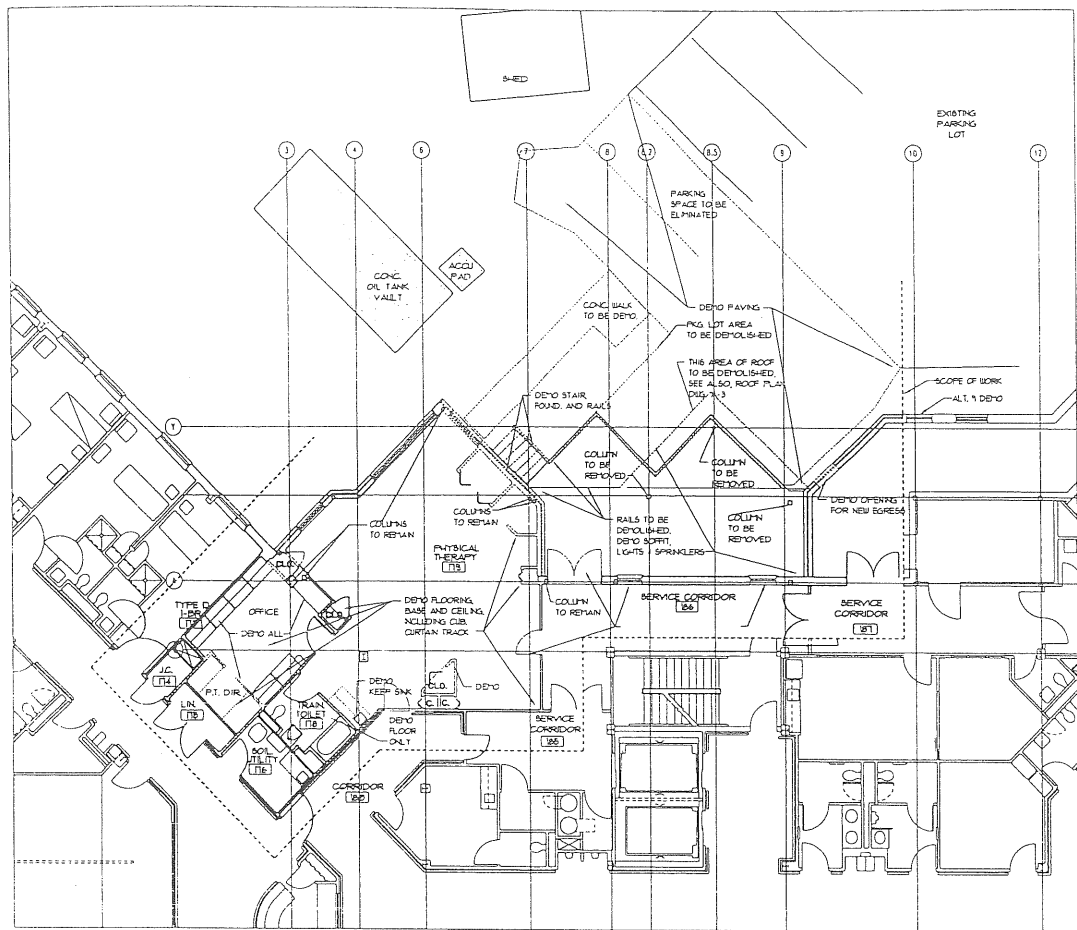
FOR: **CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	PLS
CHECKED BY:	JMM
DATE:	8-8-08
SCALE:	1"=10'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318 S-1

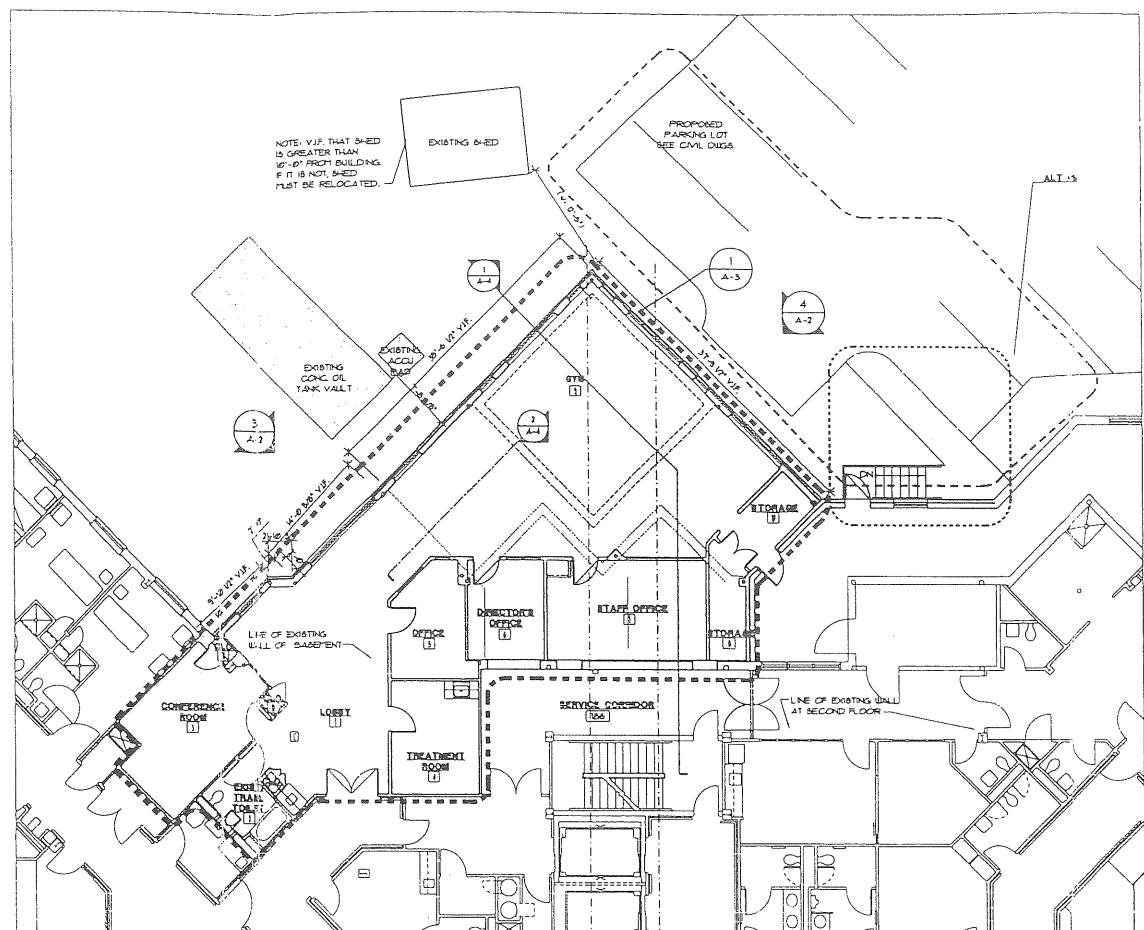
**SHEET A**



Att. N



**1 DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
N



**2 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
SEE ENLARGED PLAN 1/A-3 FOR ADDITIONAL INFORMATION  
N

**LEGEND**

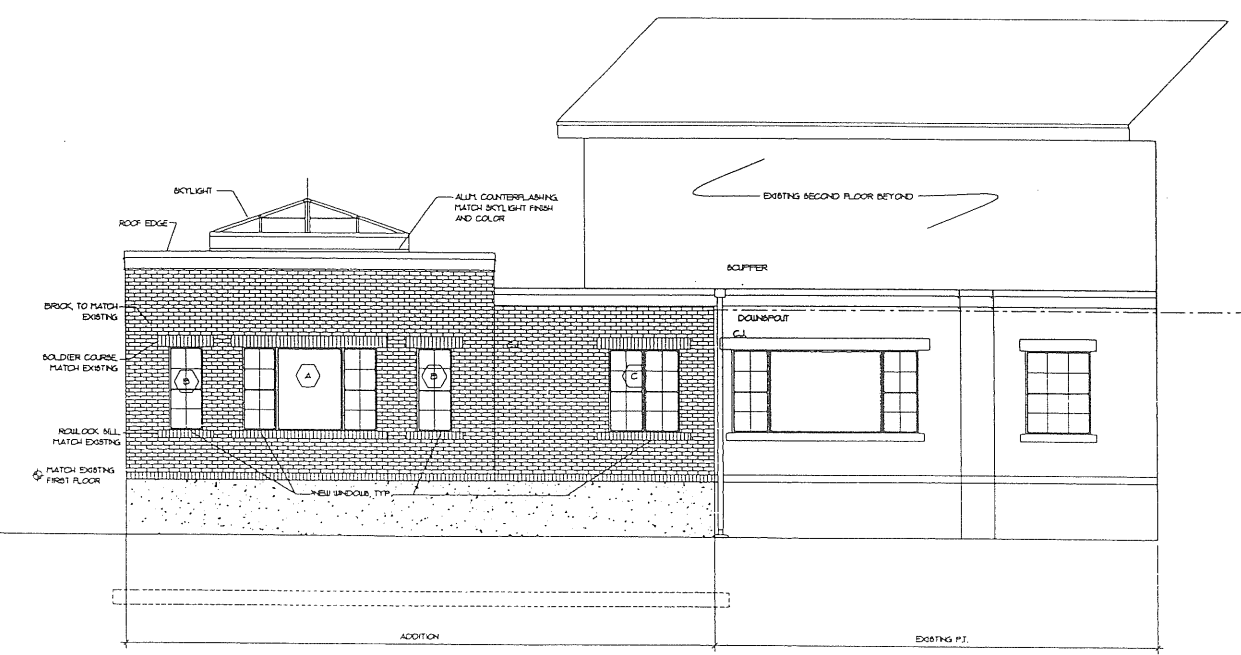
- EXISTING CONSTRUCTION
- DEMOLITION
- NEW CONSTRUCTION

**GENERAL NOTES**

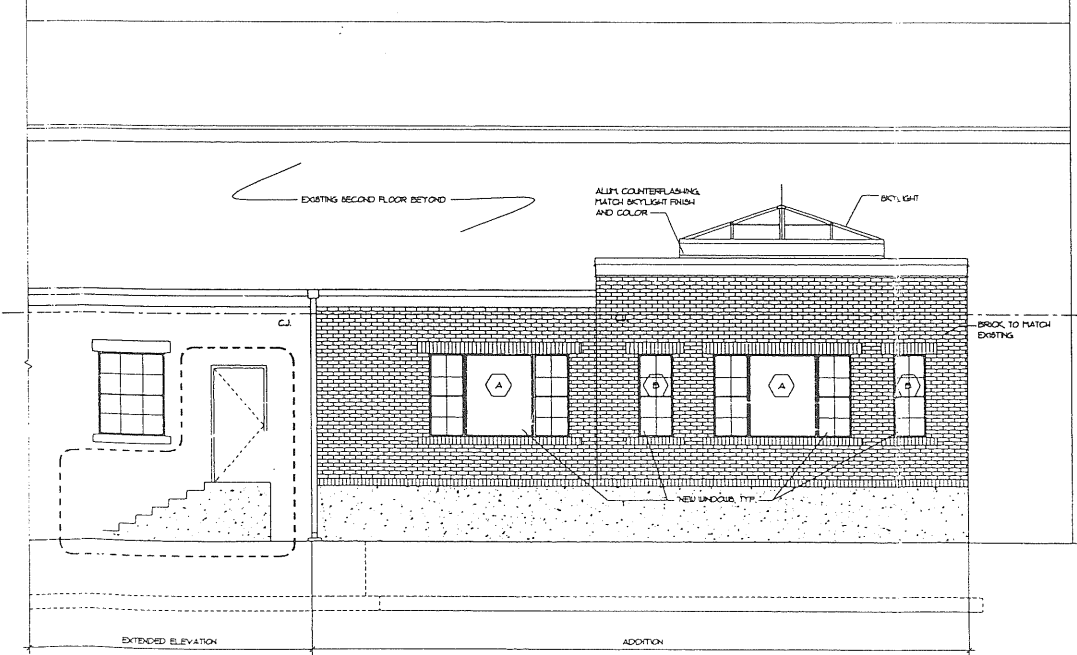
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
2. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS.
3. BUILDING CONSTRUCTION TYPE 2B, 1 HOUR PROTECTED, NON-COMBUSTIBLE CONSTRUCTION, FULLY SPRINKLERED.
4. D/FB TO FACE OF FINISH AT INTERIOR, AS NOTED AT EXTERIOR.
5. SEE STRUCTURAL AND MEP DRAWINGS.

**DEMOLITION NOTES**

1. CONTRACTOR SHALL MAINTAIN WEATHERTIGHTNESS OF EXISTING BUILDING THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION TO REPAIR. CONTRACTOR SHALL PROVIDE TEMPORARY PARTITIONS ISOLATING EXISTING CONSTRUCTION FROM DUST AND DEBRIS.
2. PROTECT THE OWNER'S PROPERTY AND EQUIPMENT FROM DAMAGE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING, OR REPLACING ITEMS DAMAGED OR DESTROYED WHETHER INCIDENTAL TO NEW WORK OR THROUGH NEGLIGENCE. PATCHING IS TO BE DONE WITH MATERIALS SIMILAR TO EXISTING ADJACENT SURFACES AND CONSTRUCTED TO ACHIEVE AN HOMOGENEOUS CONGRUOUS FINAL APPEARANCE. OCCUPANT AND REPORT ALL DAMAGED CONSTRUCTION AND EQUIPMENT TO OWNER PRIOR TO REPAIR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL & DISPOSAL OFF SITE OF ALL CONSTRUCTION DEBRIS & DEMOLISHED MATERIALS.
4. REWORK ALL WIRING AND CONCEALED DEVICES IN DEMOLISHED WALLS AS NOTED TO PROVIDE OPERABLE CIRCUITRY IN ACCORDANCE WITH APPLICABLE CODES AND EXISTING USE. SEE ALSO MEP DRAWINGS.



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

PROGRESS PRINT 07/24/07  
PRELIMINARY PRICING 07/12/07

Revisions	No.	Date

Project:  
**CEDARS REHAB. CTR. ALTERATIONS & ADDITION**  
630 OCEAN AVENUE  
PORTLAND, MAINE

Drawing Title:  
**DEMO PLAN, FIRST FLOOR PLAN & ELEVATION**

Tsomides Associates  
Architects and Planners  
389 Ebbot Street  
Newton Upper Falls, MA 02464  
(617) 969-4774 Fax (617) 969-4793  
e-mail: info@tsomides.com www.tsomides.com

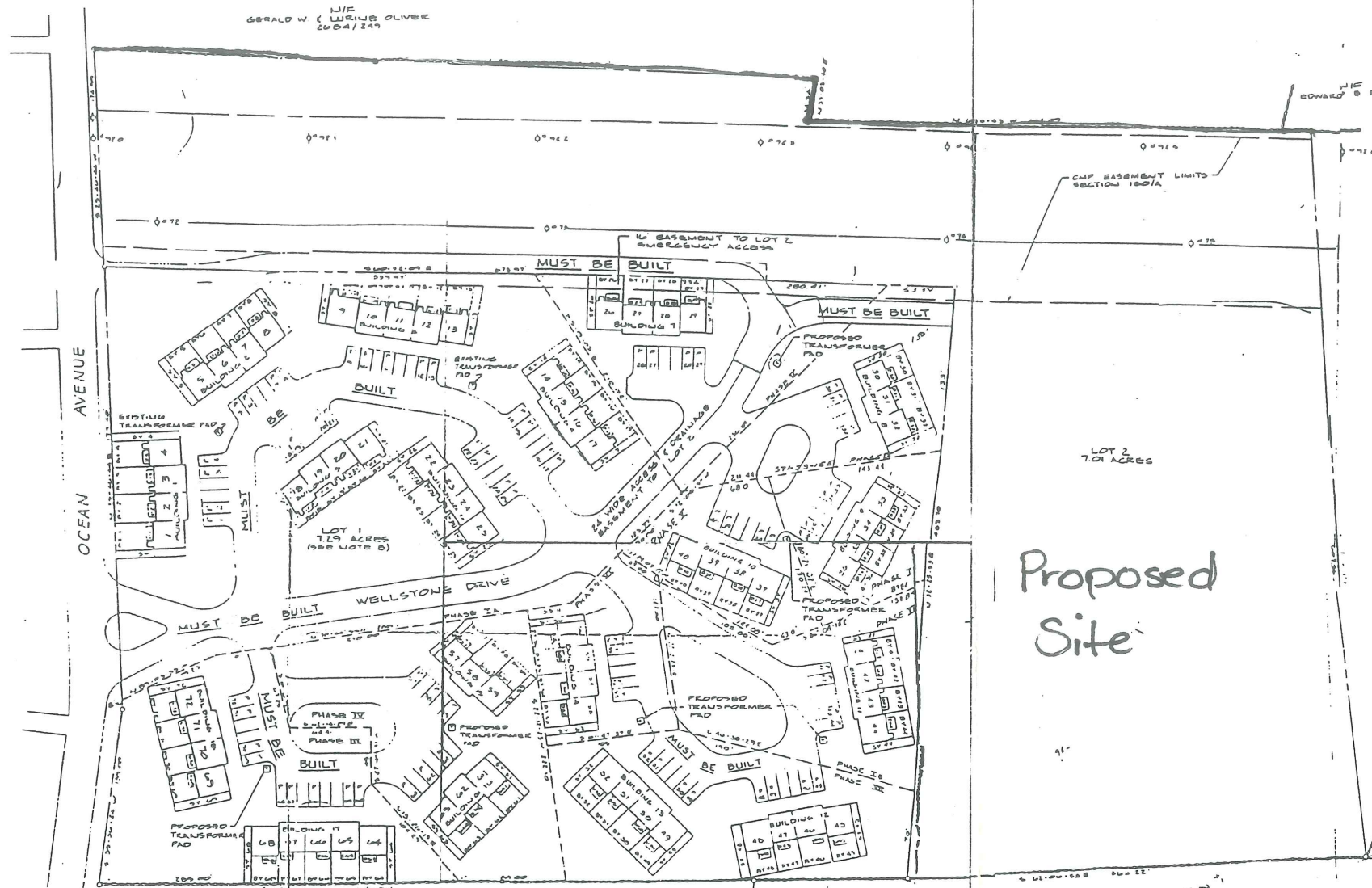
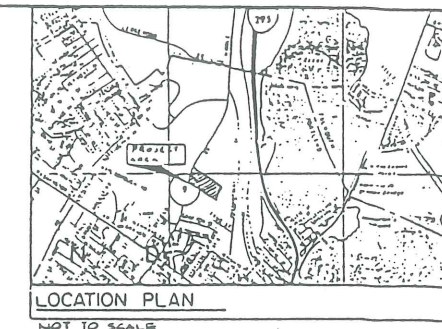
DESIGNED BY	B.J.Z.
CHECKED BY	
SCALE	AS NOTED
DRAWING NUMBER	

A-2

C:\11\Map Project Files\Cedars Rehab\Drawings\Rehab\_Center\Drawings\Plan\_A-2.dwg, A-2, 11/20/2006 5:16:51 PM



# Attachment I



### GENERAL NOTES -

1. PROPERTY SUBJECT TO AN EASEMENT GRANTED TO CMP COMPANY AND NETCO COMPANY SEE DEED RECORDED IN DEED IN BOOK 4834, PAGE 193
2. OWNERS OF RECORDED LOT 1, WELLSTONE PARTNERS, LLC, BOOK 4834, PAGE 203, LOT 2, WELLSTONE ASSOC, INC. C.R.O. BOOK 4835, PAGE 27
3. TOTAL AREA OF PARCEL IS 14.3 ACRES
4. PROJECT IS LOCATED IN THE R-4 ZONE
5. BOUNDARY SURVEY INFORMATION BY WAREHEADSET DEVELOPMENT COMPANY, CHARLES L. BROWN, JUNIOR, R.L.S. NO. 1209, DESERT ROAD, FREEPORT, MAINE
6. PROPERTY IS SHOWN AS LOT 3, BLOCK A, ON CITY OF PORTLAND TAX MAP 423 AND LOT 1, BLOCK A, ON CITY OF PORTLAND TAX MAP 424
7. ELEVATIONS SHOWN HEREON ARE BASED ON MEAN SEA LEVEL. BASE DATUM U.S.G.S. D.M. 4-71 LOCATED IN WEST 30M OF NORTH ADJUTMENT - 18' OFF E. I-275 BRIDGE CROSSING U.S. ROUTE 1. D.B.S.E. ELEVATION 31.84
8. PLANS IS SUBJECT TO THE DEVELOPMENT RIGHTS TO CREATE UNITS, COMMON ELEMENTS, AND LIMITED COMMON ELEMENTS.
9. UNLESS SHOWN AS "MUST BE BUILT", ALL IMPROVEMENTS NEED NOT BE BUILT.

### DEFINITION OF TERMS -

- BY - BACK YARD ASSIGNED AS LIMITED COMMON ELEMENT TO UNIT BEARING THE SAME NUMBER AS THE BACK YARD.
- D - DECK ASSIGNED AS LIMITED COMMON ELEMENT TO ADJACENT UNIT.
- P - PARKING SPACE ASSIGNED AS LIMITED COMMON ELEMENT TO UNIT BEARING SAME NUMBER AS PARKING SPACE.
- SY - SIDE YARD ASSIGNED AS LIMITED COMMON ELEMENT TO UNIT BEARING THE SAME NUMBER AS THE SIDE YARD.

Proposed Site

State of Maine, Cumberland ss  
 Registry of Deeds  
 Recd. & Registered 15 1988  
 2:58 PM and recorded in  
 Plan Book 1123 Page 441  
 Attest *Jeanne K. Walsh*  
 Register

### ELEVATIONS (SEE NOTE 7)

FF ELEV	BUILDING	UNIT	FF ELEV	BUILDING	UNIT	FF ELEV	BUILDING	UNIT	FF ELEV	BUILDING	UNIT	FF ELEV	BUILDING	UNIT	FF ELEV
86.04	4	14	91.34	15	57	88.01	10	69	84.64	13	31	90.09	8	30	100.71
86.04	4	15	91.34	15	58	88.01	10	70	84.64	13	30	90.09	8	31	100.71
86.04	4	16	91.34	15	59	88.01	10	71	84.64	13	49	90.09	8	32	102.71
86.04	4	17	91.34	16	61	87.31	10	72	84.64	12	48	99.71	10	37	91.94
88.74	5	18	84.31	16	62	87.31	14	53	73.92	12	47	99.71	10	38	91.94
88.74	5	19	84.31	16	63	87.31	14	54	73.92	12	46	99.71	10	39	91.94
													9	33	101.0
													9	34	101.0
													9	35	101.0
													9	36	101.0

**EIGHTH REVISED  
 WELLSTONE CONDOMINIUM PLAT  
 695-745 OCEAN AVENUE  
 PORTLAND, MAINE**

**STI** Sebago Technics, Inc.  
 C.E. ENGINEERS AND SURVEYORS

12 Westbrook Common  
 Westbrook, Maine 04092  
 854-0471

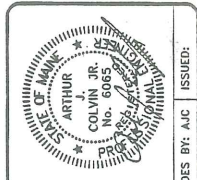
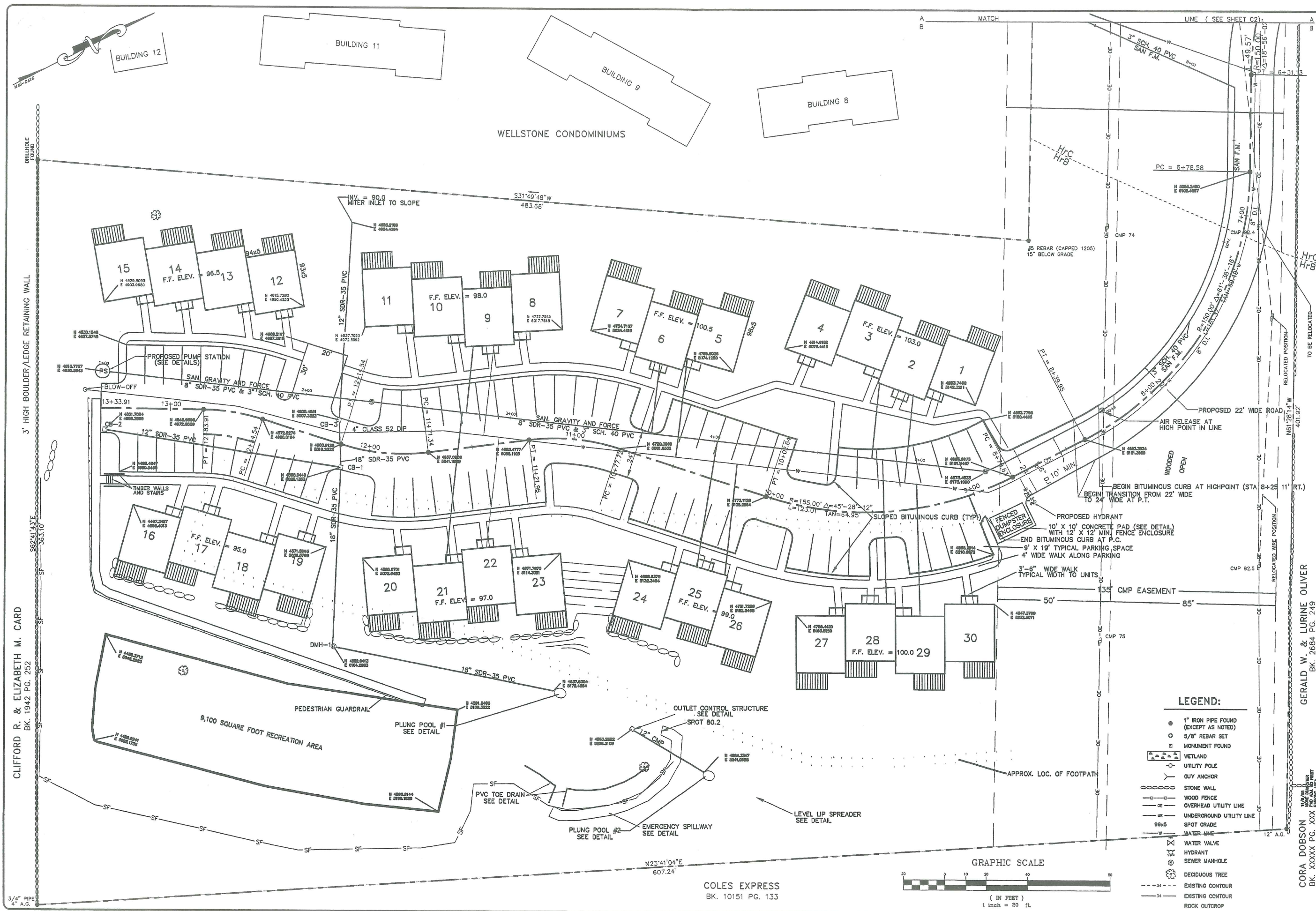
DRAWN BY JWM  
 DESIGN BY WPS  
 CHECKED BY CLB  
 DATE 2 APR 15 1988  
 SCALE 1"=50'  
 FIELD BOOK 1111-2, III  
 PROJECT NO. 8409

SHEET 1 OF 1

13037



J-1



**LAYOUT PLAN**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

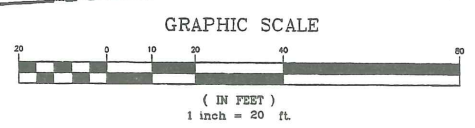
REVISIONS	
8/10/98	Water & Sewer to units added.
8/20/98	REMOVE CULDESAC ADD REC. AREA
9/21/98	ADDED 3 UNITS FROM 27 TO 30
10/20/98	REV. ROAD REGRADE SITE
DATE : 11/3/98	
SCALE : 1"=20'	
DRAWN : AJC	
FILE: 98037	
SHEET: <b>C1.1</b>	

\\\dub\at\98\proj\98037\1-16.d\LAYOUT.dwg Mon Nov 16 11:35:22 1998

CLIFFORD R. & ELIZABETH M. CARD  
 BK. 1942 PG. 252

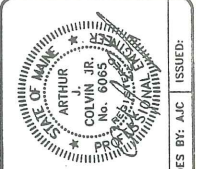
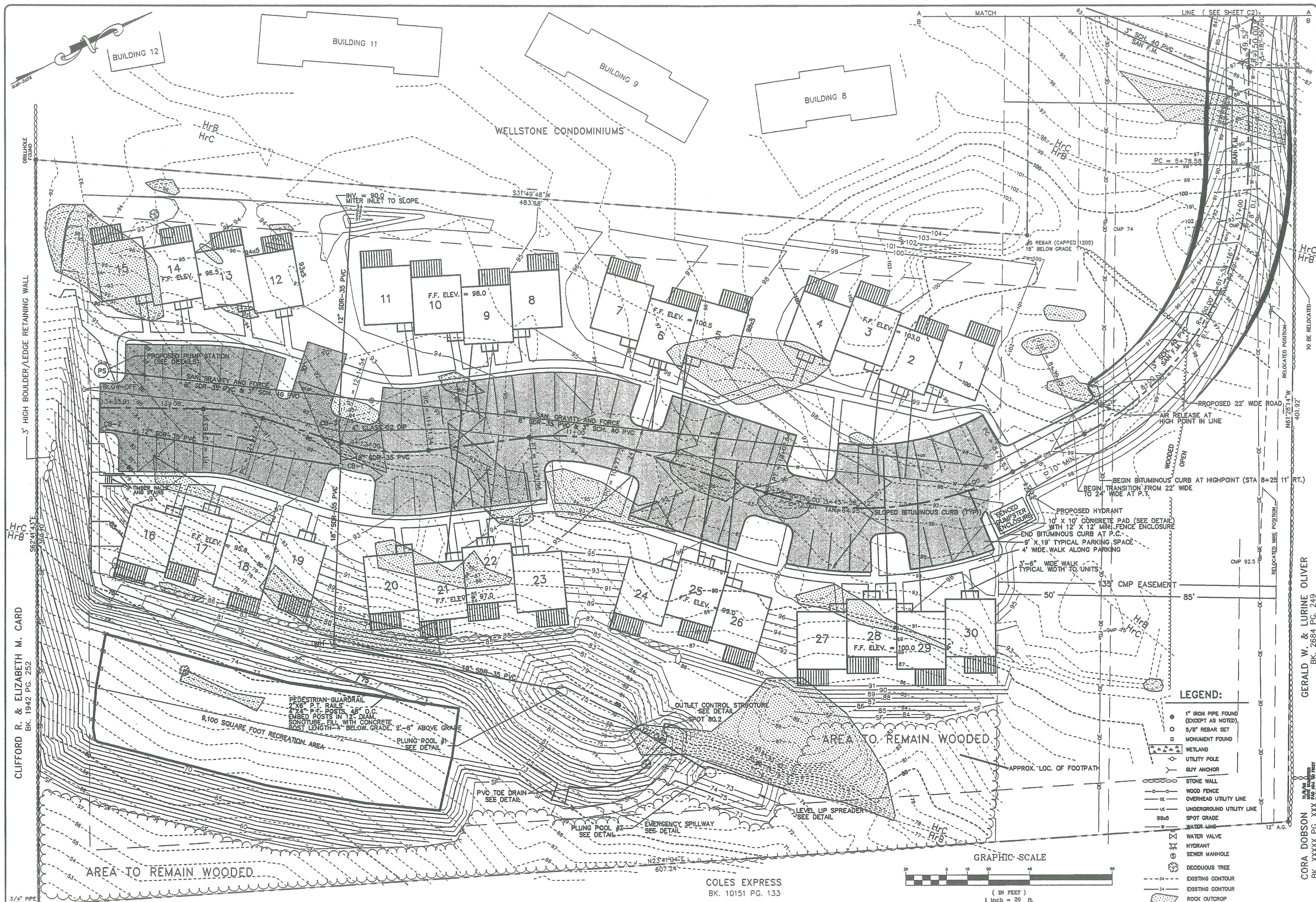
GERALD W. & LURINE OLIVER  
 BK. 2684 PG. 249

CORA DOBSON  
 BK. XXXX PG. XXX





J-2



**ASSOCIATED DESIGN PARTNERS INC.**  
 GRADING, DRAINAGE, UTILITY, EROSION &  
 STORMWATER CONTROL PLAN  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**  
 GERALD W. & LURINE OLIVER  
 BK. 2684 PC. 249

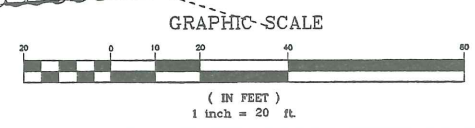
REVISIONS	
8/10/98	Water & Sewer to Units added.
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10/20/98	REV. ROAD REGRADE SITE

DATE : 11/3/98  
 SCALE : 1"=20'  
 DRAWN : AJC  
 FILE: 98037  
 SHEET: **C1**

CLIFFORD R. & ELIZABETH M. CARD  
 BK. 1942 PG. 252

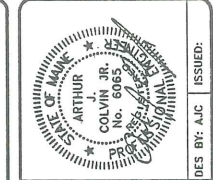
3/4" PIPE  
 4" A.G.

COLES EXPRESS  
 BK. 10151 PG. 133



CORA DOBSON  
 124 B. B. ROAD  
 BLDG. 100  
 BK. XXXXX PG. XXX





**GRADING, DRAINAGE, UTILITY, EROSION AND STORMWATER CONTROL PLAN**

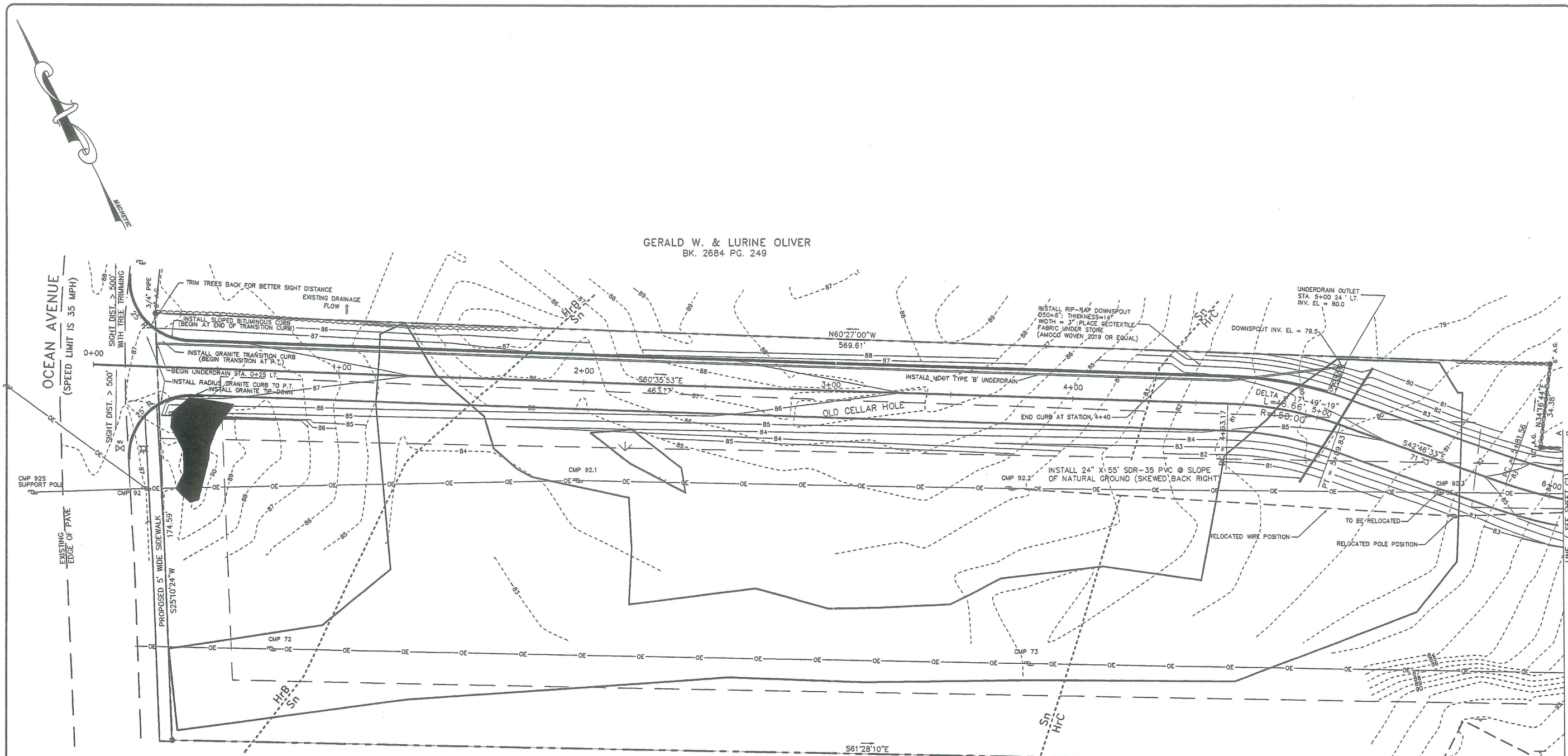
PROJECT: **SEAWARD HEIGHTS**  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS			
NO.	DATE	DESCRIPTION	BY
4	11/13/98	CURB RADII 15' TO 25' AT ENTRANCE	AJC
3	10/14/98	ROAD WIDTH TO 22' FROM 24' (SEE NOTE 10)	AJC
2	10/14/98	REALIGNED ROAD PER CMP	AJC
1	9/20/98	REALIGNED ROAD TO AVOID POLES	AJC

DATE : 7/16/98  
SCALE : 1"=20'  
DRAWN : AJC  
FILE: 98037  
SHEET: **C2**

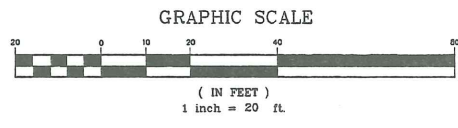


**GENERAL NOTES:**

- RECORD OWNER OF PARCEL IS TIMBERLAND DEVELOPMENT COMPANY. DESCRIPTION OF LAND IS RECORDED IN BOOK 13901 PAGE 176 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.)
- PROPERTY IS LOCATED IN THE R-5 ZONE.
- PLAN REFERENCES:
  - "STANDARD BOUNDARY SURVEY-WELLSTONE CONDOMINIUM" BY SEBAGO TECHNICS INC., DATED 6/19/85.
  - "EIGHTH REVISED WELLSTONE CONDOMINIUM PLAT" BY SEBAGO TECHNICS INC., DATED 4/13/88 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 173 PAGE 68.
- THE PERIMETER BOUNDARIES SHOWN ON THIS PLAN ARE BASED SOLELY ON THE PLANS REFERENCED IN NOTES 3A AND 3B. SOME OF THE MONUMENTS DEPICTED ON THESE PLANS WERE LOCATED BY LANDMARK ENGINEERING TO ORIENT THE PROJECT TO THE PERIMETER. A STANDARD BOUNDARY SURVEY INCLUDING DEED RESEARCH AND FIELD WORK TO CONFIRM THE PERIMETER BOUNDARIES HAS NOT BEEN PERFORMED BY LANDMARK ENGINEERING. THE PURPOSE OF PLANS C1 AND THIS PLAN, C2, ARE TO PROVIDE DESIGN INFORMATION CONSTRUCT THE PROJECT.
- PROJECT PARCEL DEPICTED AS LOT 2 ON THE ABOVE REFERENCED PLANS. PLAN SHOWS PARCEL CONTAINING 7.01 ACRES.
- PROPERTY IS SUBJECT TO A CERTAIN 135' WIDE EASEMENT GRANTED TO CMP AND IS RECORDED IN BOOK 2173 PAGE 112 IN THE C.C.R.D.
- PROPERTY IS SUBJECT TO AND TOGETHER WITH THE BENEFIT OF THE "EMERGENCY ACCESS DRIVE AS MORE FULLY DESCRIBED IN BOOK 6834 PAGE 203 IN THE C.C.R.D.
- TIMBERLAND DEVELOPMENT HAS CERTAIN RIGHTS WITH REGARD TO THE 24' DRIVE THROUGH WELLSTONE CONDOMINIUM AS WELL AS A DRAINAGE EASEMENT TO THE SUBJECT PARCEL. SEE DEED (BOOK 13901 PAGE 176) FOR MORE DETAILS.
- TOTAL WETLAND IMPACT = 4,650 S.F.
- ACCESS ROAD TO PROJECT IS TO REMAIN PRIVATE. THE SEAWARD HEIGHTS CONDOMINIUM ASSOCIATION WILL BE RESPONSIBLE FOR ROAD MAINTENANCE.
- DESIGN WAIVER REQUESTED FOR SIDEWALK ALONG OCEAN AVENUE.

**CONSTRUCTION NOTES:**

- SUBSURFACE PREPARATION

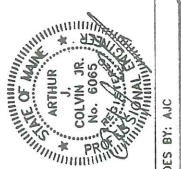








J-5



DES BY: A/C

**SITE DETAILS**

PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333

FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS


DATE : 7/16/98  
SCALE : N.T.S.  
DRAWN : A/C  
FILE: 98037  
SHEET: **C4**

### EROSION & SEDIMENTATION CONTROL NOTES

Erosion and sedimentation control measures for this project are based upon conservation practices such as those outlined in the State of Maine Environmental Quality Handbook for recommended practices of the USDA Soil Conservation Service.

**CONSTRUCTION PHASE:**

- In order to protect the soil and water resources of this development and adjacent lands, the following actions will be taken:
- Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time.
  - Earth will not be left exposed during the winter months.
  - Construction traffic shall use roadbeds of future roads and driveways.
  - If final seeding of the disturbed areas are not completed by September 15th of the year of construction, these areas shall be graded and smoothed, then seeded to a winter cover crop of rye. The rye seeding will be preceded by an application of fertilizer. The soil's P.H. level will be tested and from the results, the fertilizer type and application rate will be determined. The seeding shall be applied at the rate of 112 lbs. per acre. If the rye seeding cannot be completed by October 15th, then hay mulch will be applied at the rate of 2 tons per acre to provide winter protection. If rye does not make adequate growth by November 1st, then hay mulch at the above rates will be added.
  - All disturbed areas and sideslopes which are graded with no further construction to take place shall be seeded using the specified final seed mixture within 15 days.
  - All sediment removed will be graded back onto the immediate site.

**AFTER CONSTRUCTION:**

- Upon completion of any phase of construction all disturbed areas will be graded, smoothed, and prepared for seeding as follows:
- Three(3) inches of loam will be spread over road ditches and slopes and raked smooth.
  - Following seedbed preparation, a premium grade waterway grass seed mixture will be applied to road ditches, bankings, and/or slopes at the rate of 50 lbs. per acre. This mixture will be 35 percent creeping red fescue, 6 percent red top, 24 percent Kentucky bluegrass, 10 percent perennial rye grass, 20 percent annual rye, and 5 percent white dutch clover.
  - Hay mulch will be applied to the new seed to hasten germination and to protect the new seedbeds from erosion during the establishment period. Mulch application rate will be two (2) tons per acre. Tenax R-4 Erosion Control Netting, or equivalent, will be used to secure mulch and newly planted vegetation.
  - The seedings will be inspected after any significant rainfall and/or at least thirty (30) days to insure establishment. Any seeding failures will be immediately reseeded using the above procedures.

**TEMPORARY SEEDING**  
SEED SHALL BE ARDSTOCK RYE APPLIED AT 26#/1000SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 138#/1000SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 138#/1000SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15th AND OCTOBER 15th, AND SHALL NOT BE PLACED OVER SNOW. IF THE SEEDING IS NOT COMPLETED BY OCTOBER 15th, ADDITIONAL MULCH WILL BE ADDED TO PROVIDE ADEQUATE WINTER PROTECTION.

**PERMANENT SEEDING**  
Kentucky Bluegrass 0.46 lbs/1000 sf.  
Creeping Red Fescue 0.46 lbs/1000 sf.  
Perennial Rye grass 0.11 lb/1000 sf.

All temporary stockpiles shall be stabilized with seed, mulching and netting.

The contractor shall provide temporary stabilization (mulching within 7 days of initial ground disturbance and shall provide additional mulching protection prior to any rain event.

If any site work is not scheduled to be completed by November 1st and construction is planned between October 15 and April 15 of any calendar year, then the general contractor shall submit a schedule which will satisfy the following criteria:

- Limit the amount of exposed area to work areas intended to be undertaken during the proceeding 15 days. The Contractor must be able to provide immediate stabilization (mulching, matting, etc.) prior to storm event. If snow occurs, areas subject to erosion must have the snow removed and the area mulched.
- During the construction process, before final grade is established, all disturbed areas shall be covered with mulch Friday or once a week.
- Incorporate planned drainage systems as early as possible.

Once final grade has been established, the Contractor will temporarily seed the disturbed area prior to placement of mulch. The contractor shall return in the spring of the following year to permanently sod areas which have not established a sufficient cover.

The schedule will be subject to the approval of the owner and his authorized representatives.

The contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

The Contractor shall note that no areas shall remain denuded for a Period of over 15 days before being temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching.

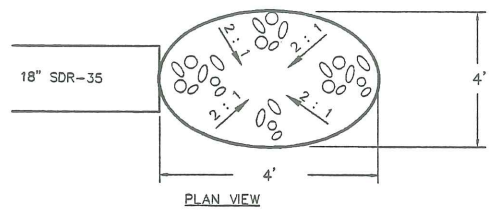
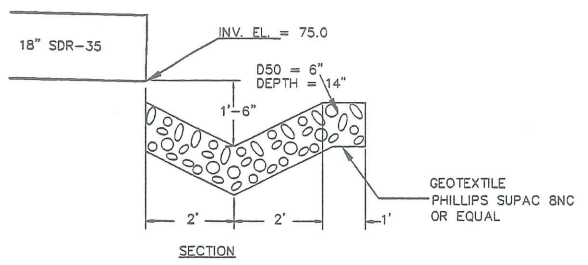
**Provisions for Maintenance of the Erosion/Sedimentation Control Features**

The Contractor will be required to designate, by name, a person responsible for implementation of all erosion control measures. Specific responsibilities will include:

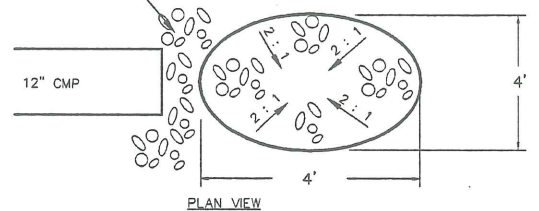
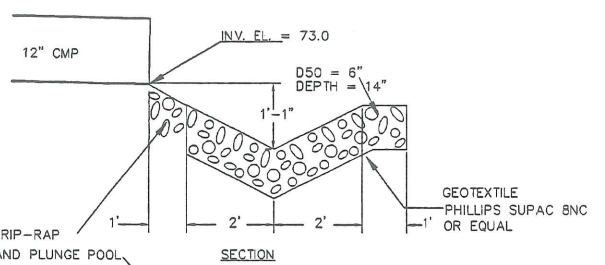
- Inspection of the project work site on a weekly basis, and after each rainfall (0.5 inches or more within any consecutive 25 hour period) with the installation of added erosion control measures in areas which appear vulnerable to erosion. The contractor shall maintain written records of these inspections noting compliance with the plan, any deviations and corrective measures necessary to comply with the erosion control requirements of this report.
- Inspection of all erosion control measures after any significant rainfall. Accumulated silt/sediment should be removed from the barriers when the depth of sediment reaches 6 inches. A significant rainfall shall be defined as over 1/2 inch of precipitation in any consecutive 24 hour period.

**CONSTRUCTION SCHEDULE** (in following sequence, coordinate with other construction activities maintain continuously)

- Construct stabilized construction entrance.
- Install siltfence, project wide.
- Construct detention basin.
- Remove and stockpile loam, place siltfence at toe.
- Site blasting and primary earthwork.
- Install drainage system improvements.
- Install drainage system erosion control measures.
- Provide primary slope stabilization and mulching or temporary seeding.
- Final site grading, permanent slope protection, permanent seeding.
- After sit is stabilized, and complete, remove temporary erosion control measures.

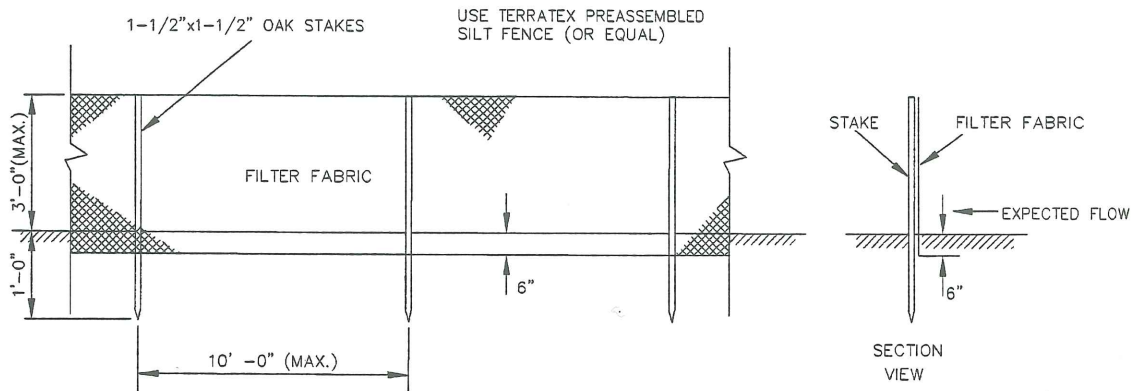


PLUNGE POOL #1  
NO SCALE



PLUNGE POOL #2  
NO SCALE

PLACE 1' THICK RIP-RAP BETWEEN PIPE AND PLUNGE POOL



SILT FENCE DETAIL  
NO SCALE

RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, SEEDED AND FERTILIZED.

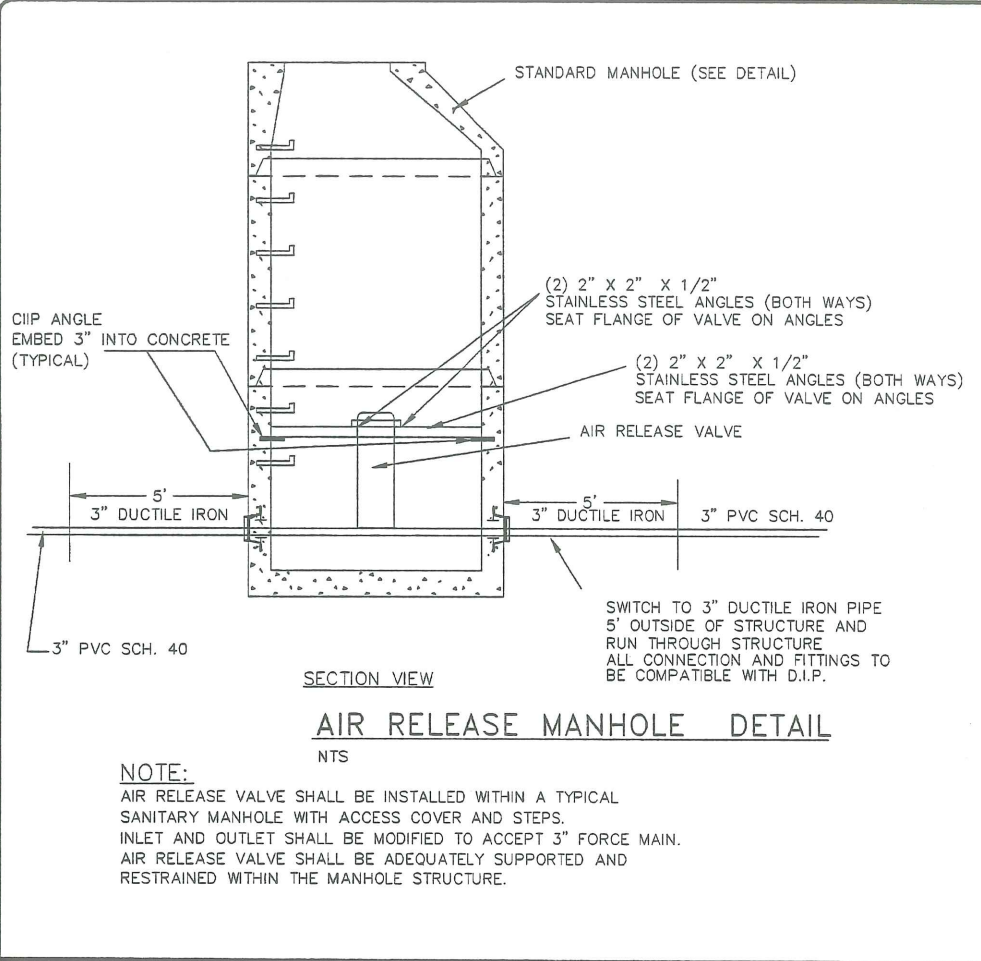
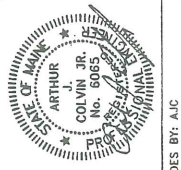
THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

NO.	DATE	DESCRIPTION	BY
3	11/10/98	PLUNGE POOL ROCK THICKNESS	A/C
2	11/10/98	REVISED PIPE MATERIALS	A/C
1	11/10/98	REVISED SEED MIXTURES	A/C

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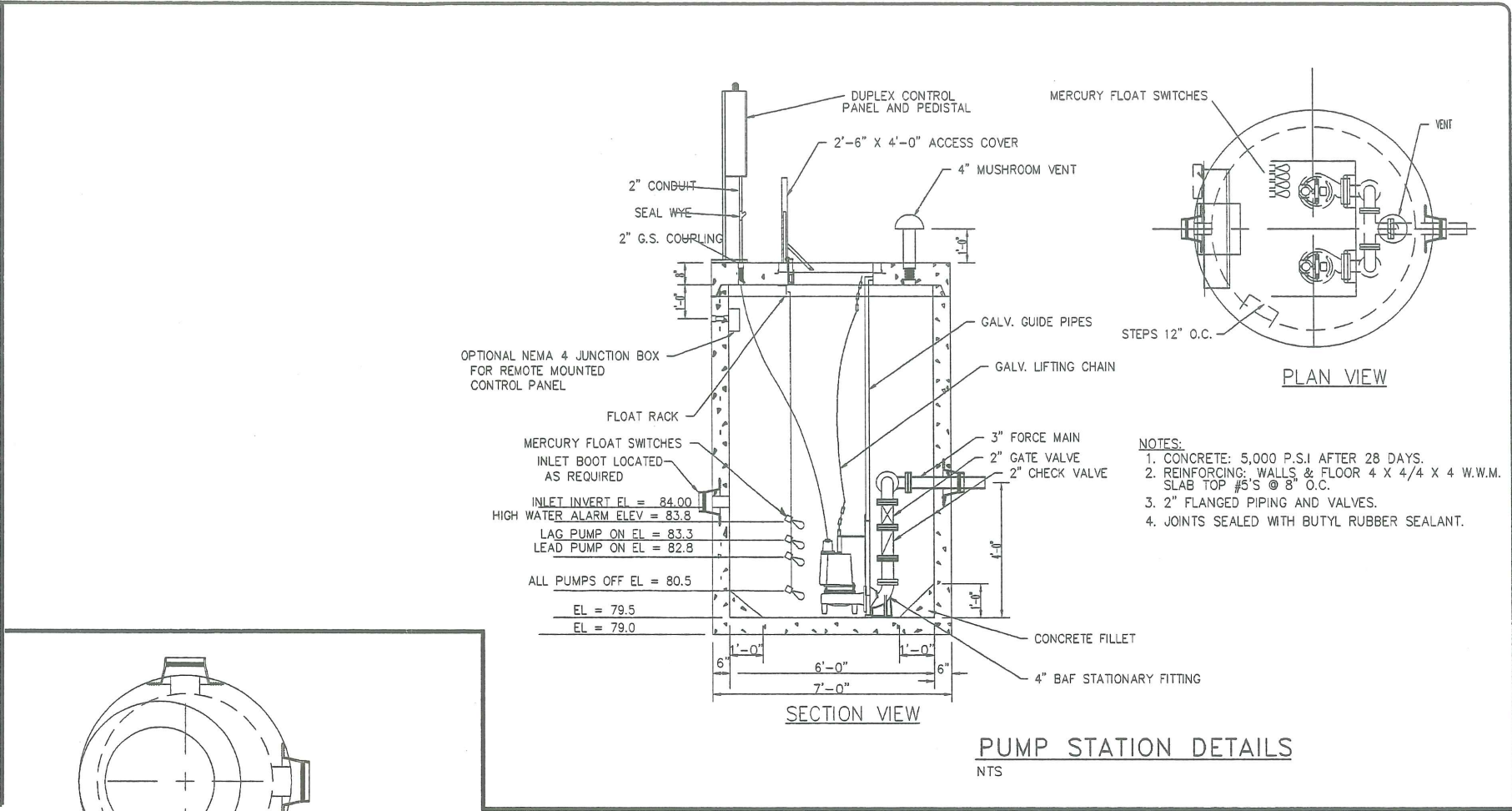


J-6



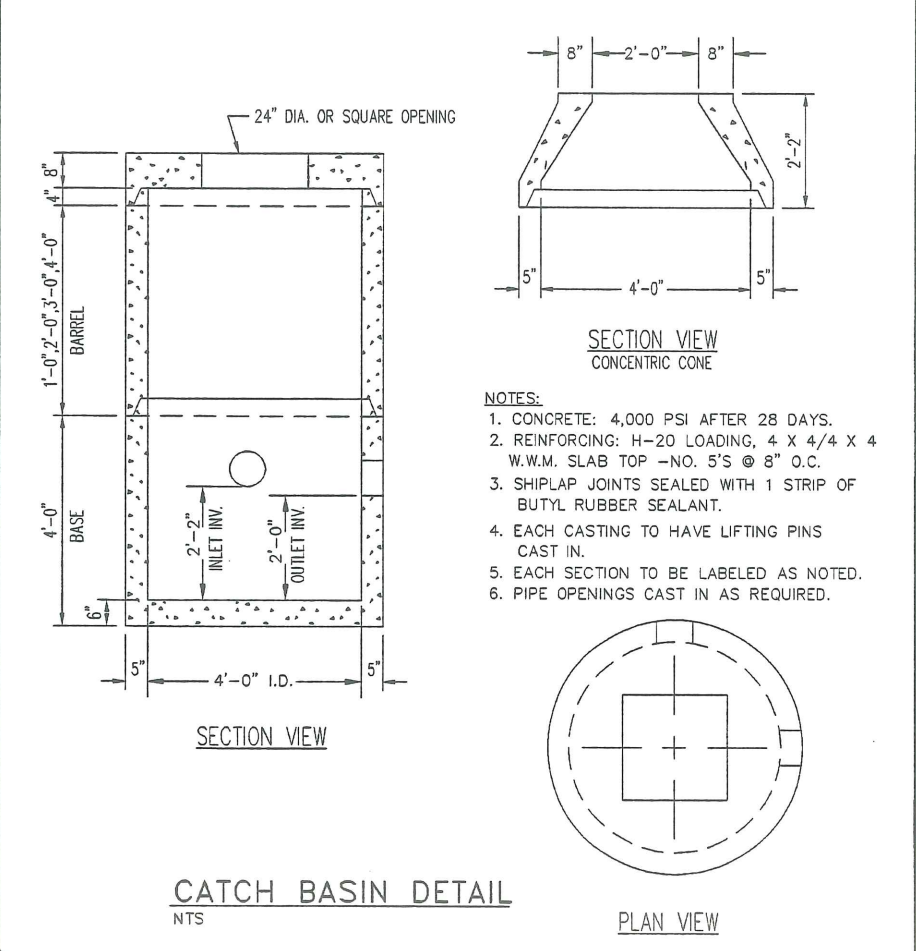
**AIR RELEASE MANHOLE DETAIL**  
NTS

**NOTE:**  
AIR RELEASE VALVE SHALL BE INSTALLED WITHIN A TYPICAL SANITARY MANHOLE WITH ACCESS COVER AND STEPS. INLET AND OUTLET SHALL BE MODIFIED TO ACCEPT 3" FORCE MAIN. AIR RELEASE VALVE SHALL BE ADEQUATELY SUPPORTED AND RESTRAINED WITHIN THE MANHOLE STRUCTURE.



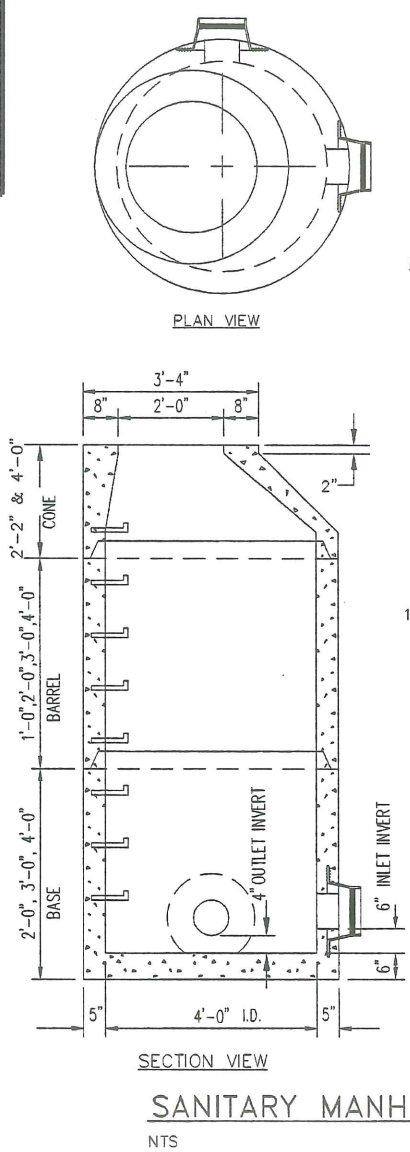
**PUMP STATION DETAILS**  
NTS

**NOTES:**  
1. CONCRETE: 5,000 P.S.I AFTER 28 DAYS.  
2. REINFORCING: WALLS & FLOOR 4 X 4/4 X 4 W.W.M. SLAB TOP #5'S @ 8" O.C.  
3. 2" FLANGED PIPING AND VALVES.  
4. JOINTS SEALED WITH BUTYL RUBBER SEALANT.



**CATCH BASIN DETAIL**  
NTS

**NOTES:**  
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.  
2. REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.  
3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.  
4. EACH CASTING TO HAVE LIFTING PINS CAST IN.  
5. EACH SECTION TO BE LABELED AS NOTED.  
6. PIPE OPENINGS CAST IN AS REQUIRED.



**SANITARY MANHOLE DETAIL**  
NTS

**NOTES:**  
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.  
2. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.  
3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.  
4. EXTERIOR ASPHALT COATED.  
5. LOCK JOINT FLEXIBLE PIPE SLEEVES, CAST IN.  
6. EACH CASTING TO HAVE LIFTING PINS CAST IN.  
7. EACH SECTION TO BE LABELED AS NOTED.  
8. MANHOLE STEPS @ 12" O.C. .  
9. 2" LIP AT TOP OF CONE PROVIDED TO ACCOMODATE VACUUM TESTING.  
10. EARTH BELOW STRUCTURE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY METHOD SHALL BE THE ASTM D-1557 "MODIFIED PROCTOR".

**MANHOLE AND CATCH BASIN GENERAL NOTES:**  
1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 lbs. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.  
2. PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478--67  
3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.  
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.  
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48--CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.  
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.  
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET. PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.  
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.  
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

11 - 12

NO.	DATE	DESCRIPTION	BY
4	11/13/98	AIR RELIEF MANHOLE ADDED	AJC
3	9/10/98	BOTTOM OF WETWELL 1.0' LOWER	AJC
2	8/24/98	ADDED AIR RELEASE DETAIL	AJC
1	8/24/98	ADDED PUMP STATION	AJC

**PUMP STATION, AIR RELEASE MANHOLE, STD. CATCH BASIN & MANHOLE**  
PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
FOR: **TIMBERLAND DEVELOPMENT**

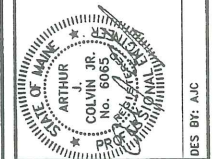
**REVISIONS**

NO.	DATE	DESCRIPTION

DATE : 7/16/98  
SCALE :AS SHOWN  
DRAWN : AJC  
FILE: 98037  
SHEET: C5



J-7



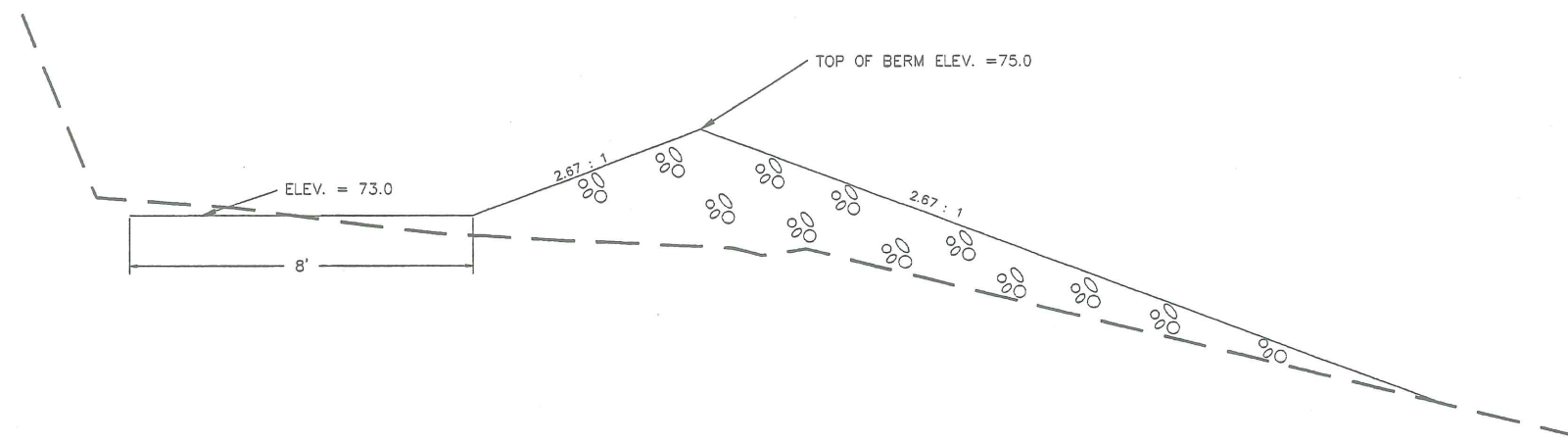
**SITE DETAILS**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS

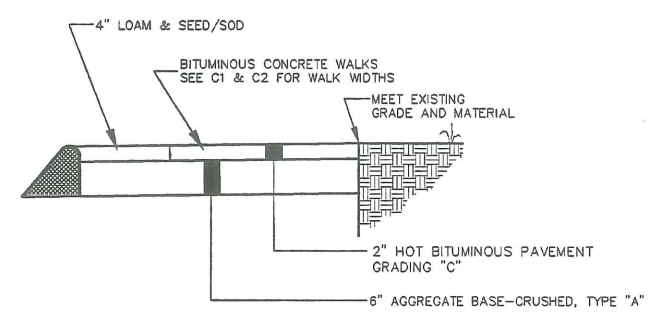
NO.	DATE	DESCRIPTION	BY
2	11/10/98	ADDED MDOT TYPE 3-MOLD 2 CURB	AJC
1	11/10/98	ADDED CURB TO SIDEWALK DETAIL	AJC

DATE : 7/16/98  
 SCALE :AS SHOWN  
 DRAWN : AJC  
 FILE: 98037  
 SHEET: **C6**

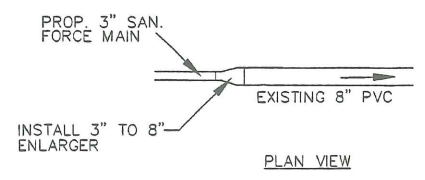


- NOTES**
1. THE BOTTOM OF THE LEVEL LIP SPREADER DIMENSION IS 8' X 33'.
  2. ROCK BERM STONE SIZE: D50 = 3"- 4" , MIN D5 = 1/2".

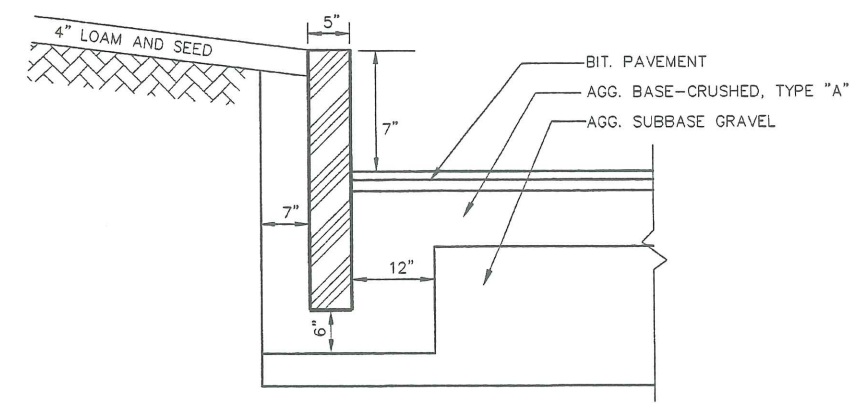
**LEVEL LIP SPREADER SECTION**  
 SCALE: 1/2" = 1'



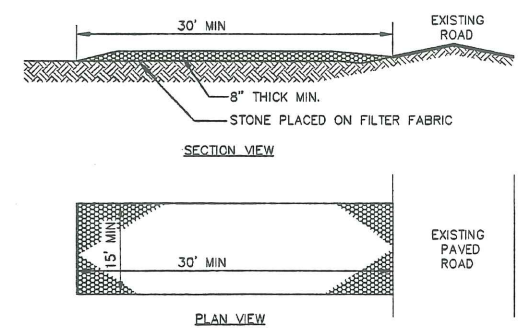
**TYPICAL WALKWAY**  
 N.T.S.



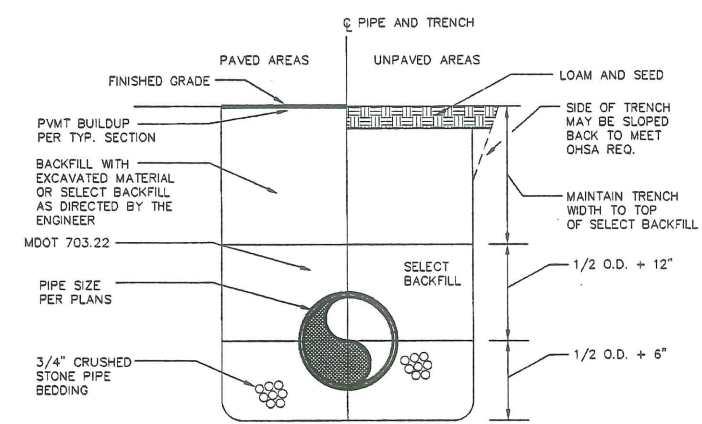
**FORCE MAIN TERMINUS DETAIL**  
 N.T.S.



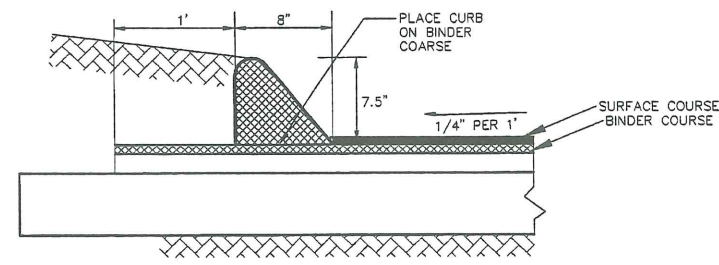
**TYPICAL GRANITE CURB**  
 N.T.S.



- NOTES**
1. STONE SIZE: 2 1/2" TO 1 1/2" USE CRUSHED STONE.
  2. THICKNESS: MINIMUM OF 8".
  3. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC TRAVELED WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE.
- STABILIZED CONSTRUCTION ENTRANCE**  
 N.T.S.



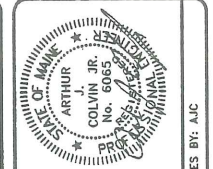
**TYPICAL STORM AND SANITARY TRENCH DETAIL**  
 N.T.S.



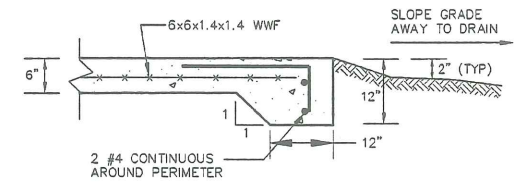
**TYPICAL SLOPED BITUMINOUS CURB (MDOT TYPE 3-MOLD 2)**  
 N.T.S.



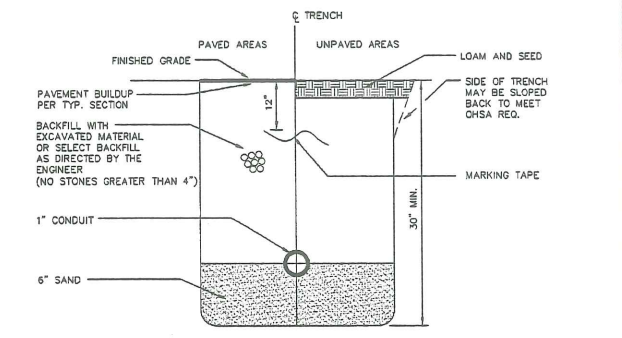
J-8



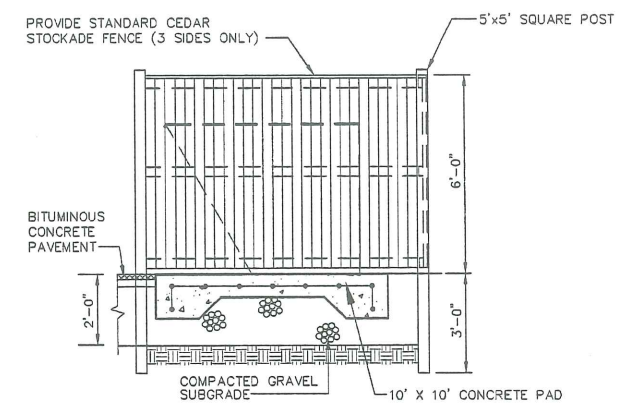
DES BY: AJC



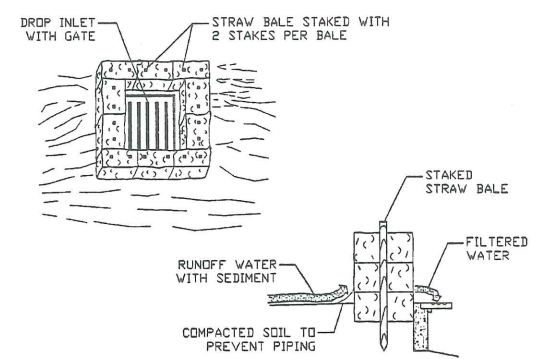
**DUMPSTER SLAB DETAIL**  
N.T.S.



**TYPICAL UNDERGROUND WIRE TRENCH SECTION**  
N.T.S.



**DUMPSTER ENCLOSURE ELEVATION**  
N.T.S.



**STRAW BALE NOTES:**

- I. STRAW BALE INLET STRUCTURE
  - A. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH BINDINGS ORIENTED AROUND THE SIDE RATHER THAN OVER AND UNDER THE BALES.
  - B. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
  - C. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACK-FILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET. THE INLET WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
  - D. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES DRIVEN THROUGH THE BALE. STAKES MAY BE REBAR STEEL PICKETS, 2"x 2" SOFTWOOD OR 1"x 1" HARDWOOD.
  - E. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT), WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL.

**STRAW BALE INLET**  
N.T.S.

**SITE DETAILS**

PROJECT: **SEAWARD HEIGHTS**  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

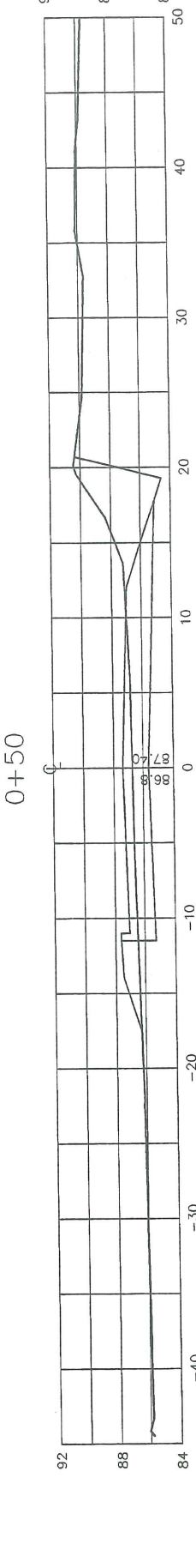
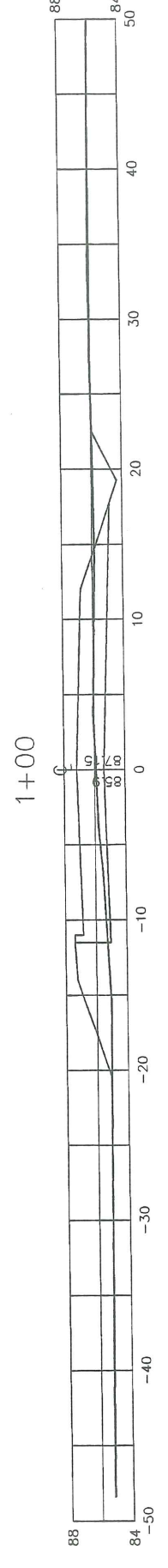
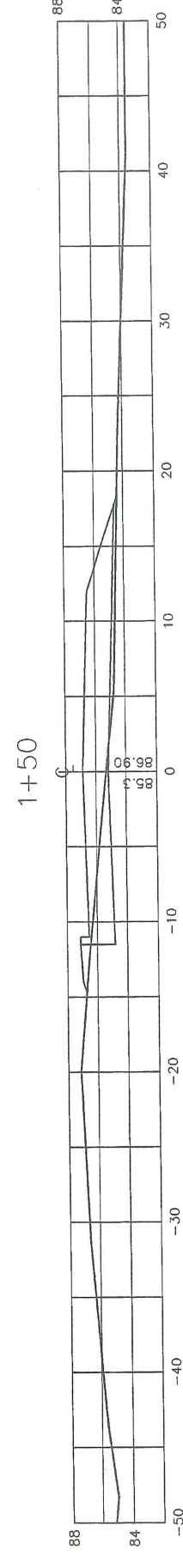
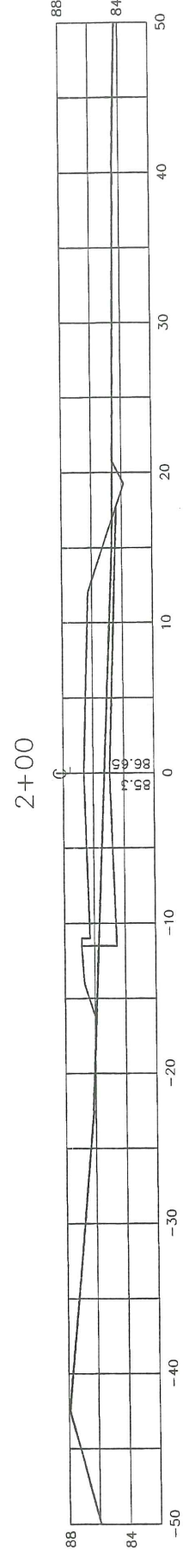
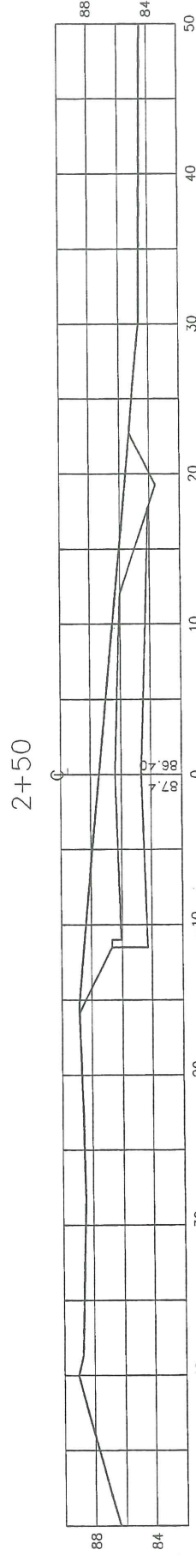
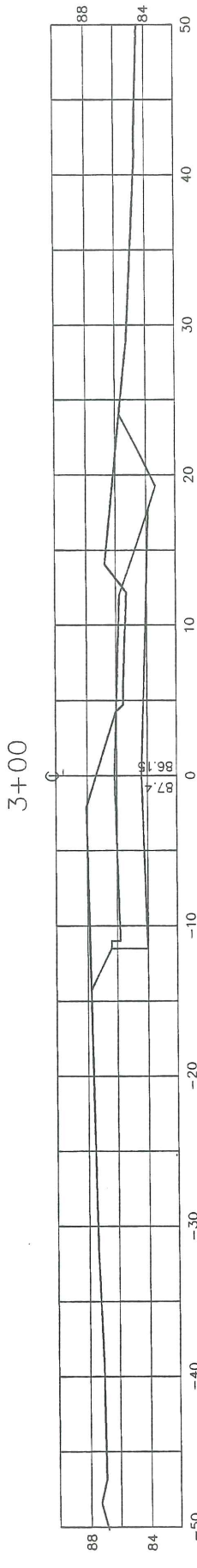
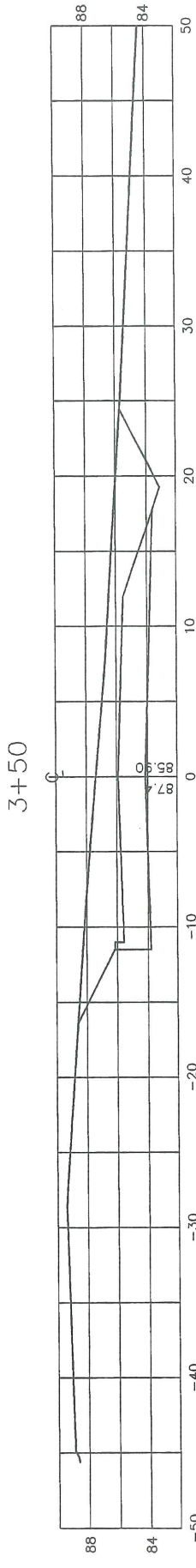
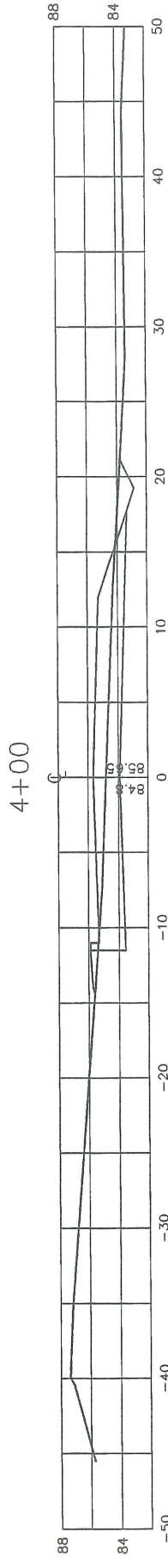
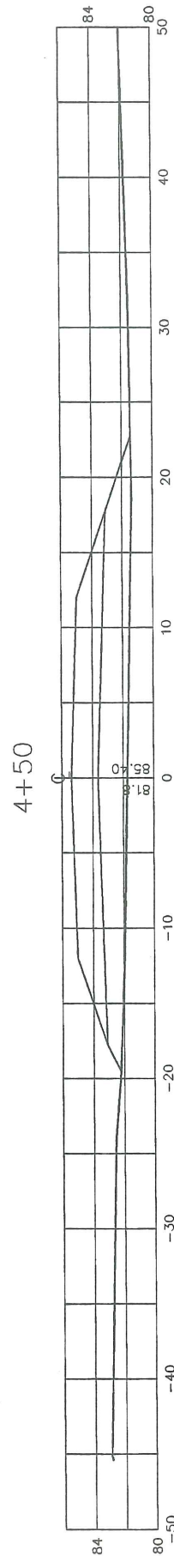
FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS

DATE : 7/16/98  
SCALE :AS SHOWN  
DRAWN : AJC  
FILE: 98037  
SHEET:

C7





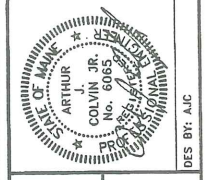
NO.	DATE	REVISIONS PER CMP	DESCRIPTION	AJC	BY
1	10/20/98				

REVISIONS	

DATE : 7/16/98  
 SCALE : 1"=5'  
 DRAWN : AJC  
 FILE: 97037  
 SHEET: C8

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

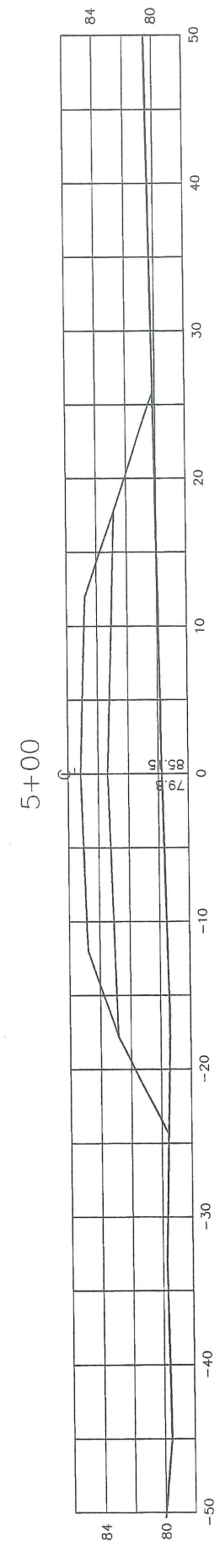
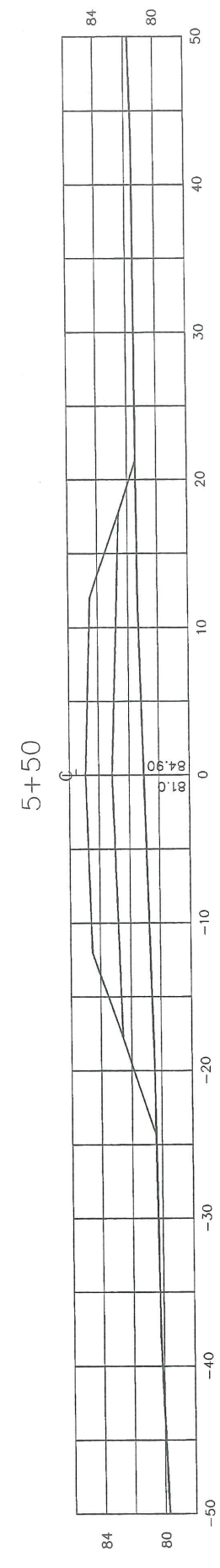
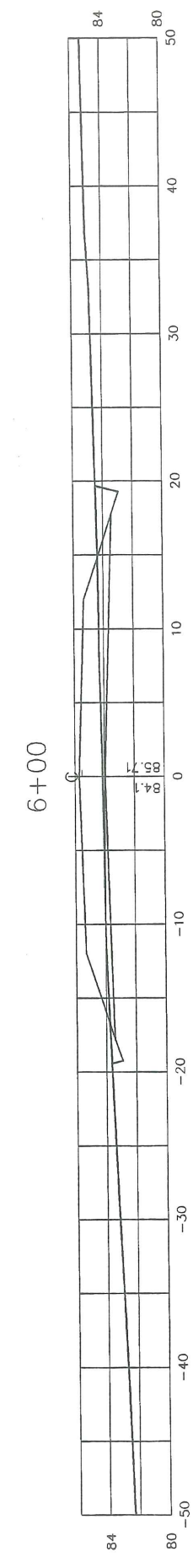
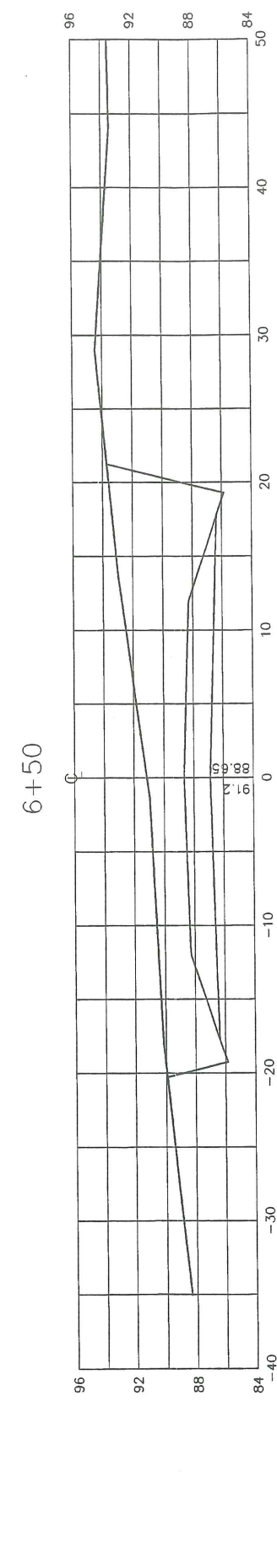
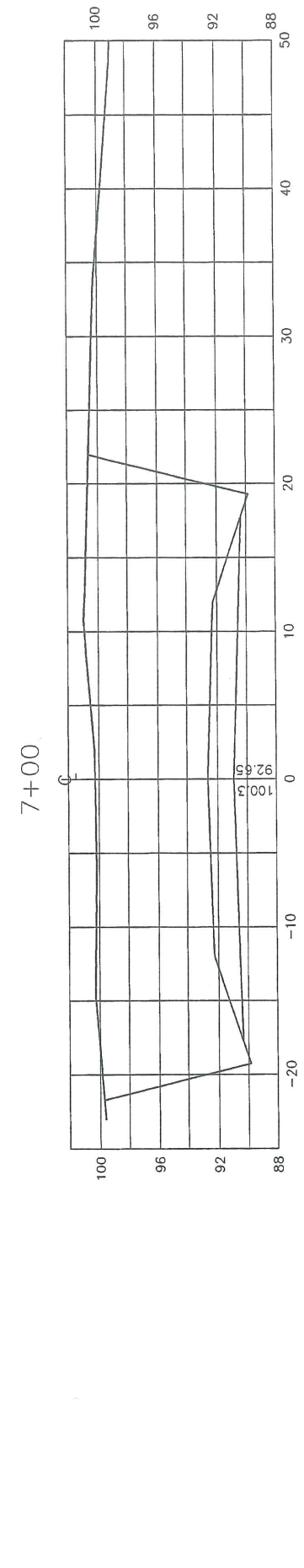
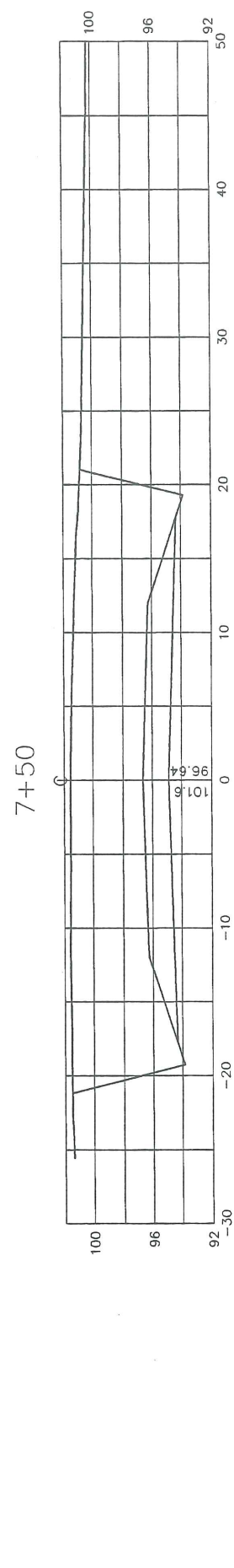
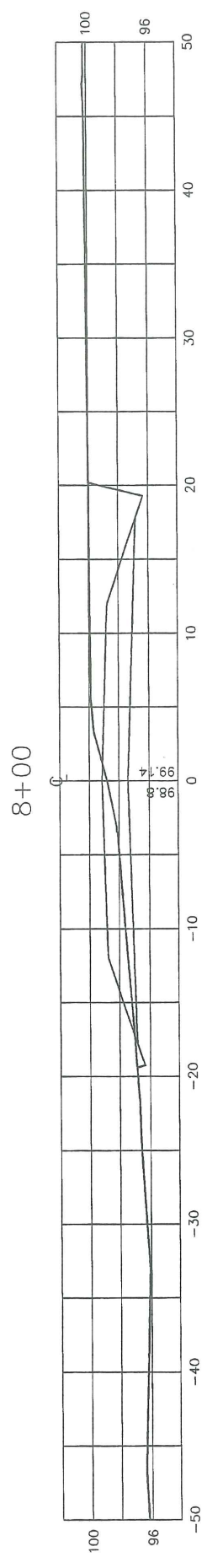
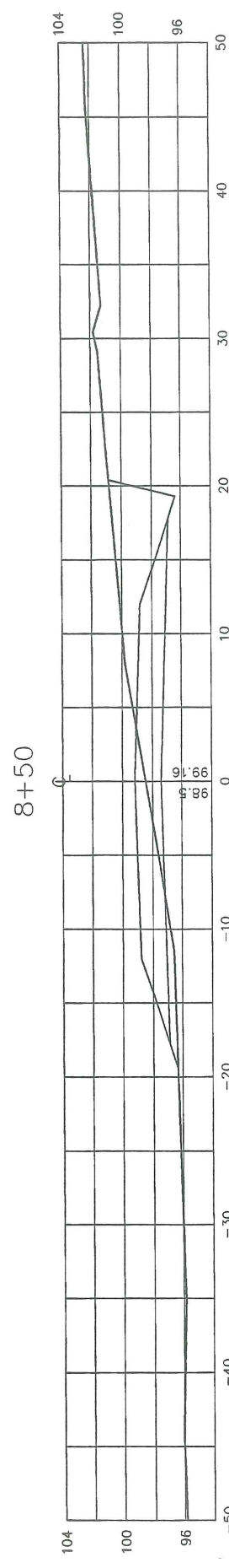
**ROAD CROSS SECTIONS**  
 PROJECT: **SEAWARD HEIGHTS**  
 OCEAN AVENUE  
 PORTLAND, MAINE



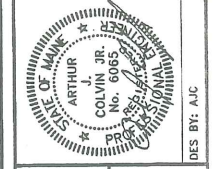
DES BY: AJC

J-9





NO.	DATE	DESCRIPTION	BY
1	10/20/98	REVISED PER CMP	AJC



**ROAD CROSS SECTIONS**  
 PROJECT SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

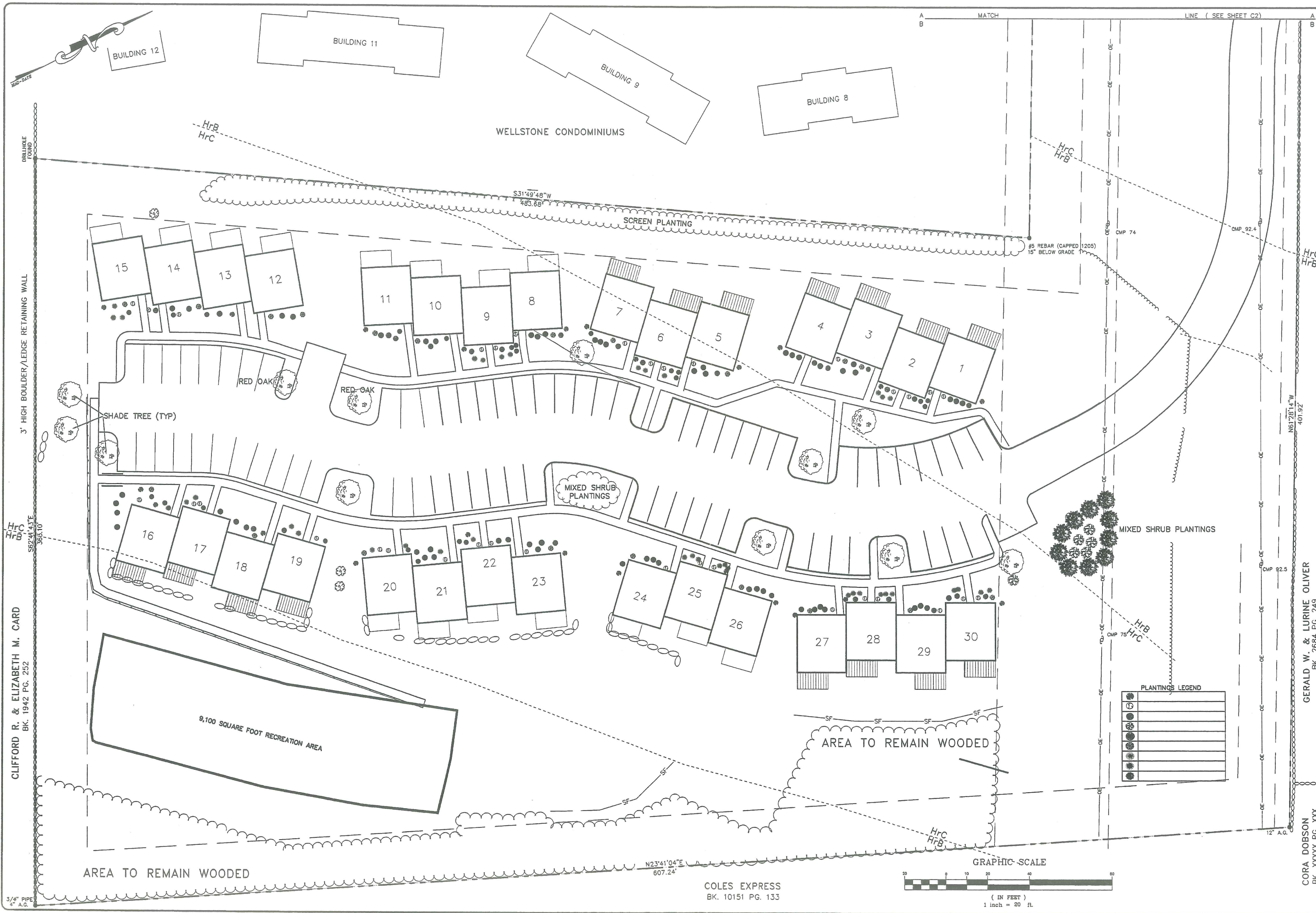
REVISIONS

DATE : 7/16/98  
 SCALE : 1"=5'  
 DRAWN : AJC  
 FILE: 98037  
 SHEET: **C9**

J-10



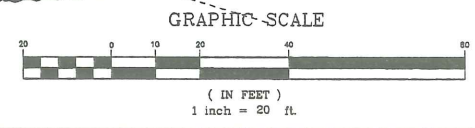
J-11



CLIFFORD R. & ELIZABETH M. CARD  
BK. 1942 PG. 252

3/4" PIPE  
4" A.G.

COLES EXPRESS  
BK. 10151 PG. 133



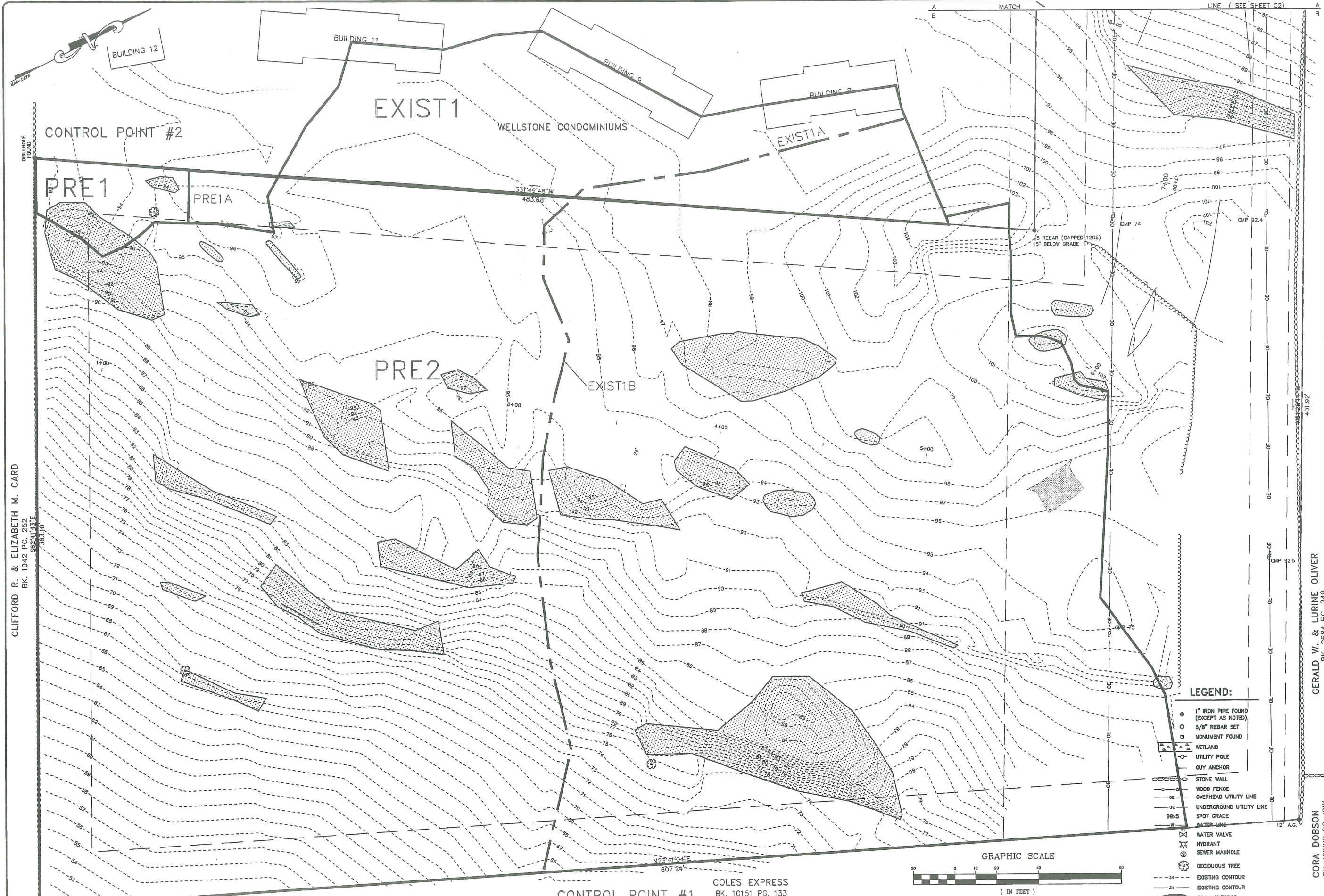
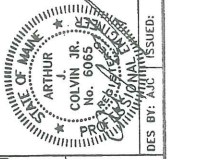
GERALD W. & LURINE OLIVER  
BK. 2684 PG. 249

CORA DOBSON  
BK. XXXX PG. XXX

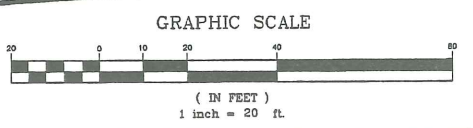
ISSUED:	
DES. BY: AJC	
PROJECT: SEAWARD HEIGHTS OCEAN AVENUE PORTLAND, MAINE	
LANDSCAPE PLAN	
ASSOCIATED DESIGN PARTNERS INC. 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333	FOR: TIMBERLAND DEVELOPMENT
REVISIONS	
DATE :	11/3/98
SCALE :	1"=20'
DRAWN :	AJC
FILE :	98037
SHEET :	L1



J-12



- LEGEND:**
- 1" IRON PIPE FOUND (EXCEPT AS NOTED)
  - 5/8" REBAR SET
  - MONUMENT FOUND
  - ▨ WETLAND
  - UTILITY POLE
  - GUY ANCHOR
  - STONE WALL
  - - - WOOD FENCE
  - - - OVERHEAD UTILITY LINE
  - - - UNDERGROUND UTILITY LINE
  - - - SPOT GRADE
  - - - WATER LINE
  - WATER VALVE
  - HYDRANT
  - SEWER MANHOLE
  - DECIDUOUS TREE
  - - - EXISTING CONTOUR
  - - - EXISTING CONTOUR
  - ROCK OUTCROP



CLIFFORD R. & ELIZABETH M. CARD  
BK. 1942 PG. 252  
562°41'43"E  
363.10'

3/4" PIPE  
4" A.G.

CONTROL POINT #1  
COLES EXPRESS  
BK. 10151 PG. 133  
N2°41'44"E  
607.24'

GERALD W. & LURINE OLIVER  
BK. 2684 PG. 249

CORA DOBSON  
BK. XXXXX PG. XXX

**STORMWATER MANAGEMENT PLAN  
PRE CONDITION DRAINAGE MAP**  
PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
FOR: TIMBERLAND DEVELOPMENT  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

**REVISIONS**


DATE : 7/16/98  
SCALE : 1" = 20'  
DRAWN : AJC  
FILE: 98037  
SHEET: **PRE1**





DES BY: AJC ISSUED:

**STORMWATER MANAGEMENT PLAN  
PRE CONDITION DRAINAGE MAP**

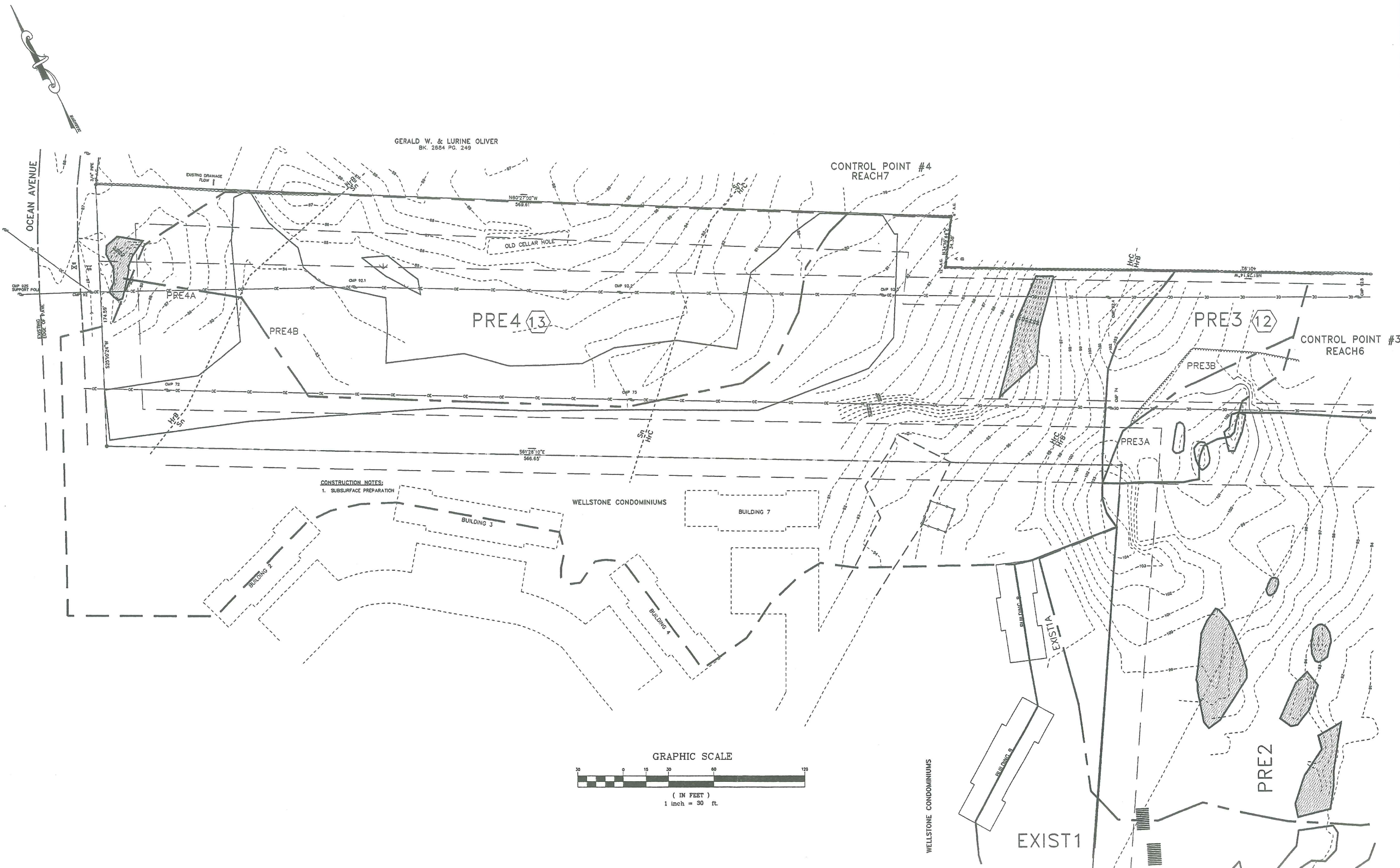
PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333

FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS	

DATE : 7/16/98  
SCALE : 1"=30'  
DRAWN : AJC  
FILE: 98037  
SHEET: **PRE2**

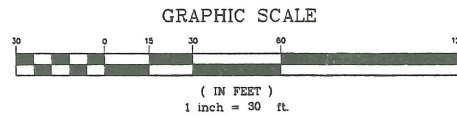


GERALD W. & LURINE OLIVER  
BK. 2854 PG. 249

CONTROL POINT #4  
REACH7

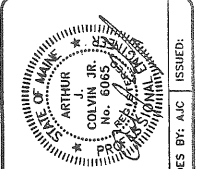
CONTROL POINT #3  
REACH6

CONSTRUCTION NOTES:  
1. SUBSURFACE PREPARATION



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**ASSOCIATED DESIGN PARTNERS INC.**  
**STORMWATER MANAGEMENT PLAN**  
**POST CONDITION DRAINAGE MAP**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

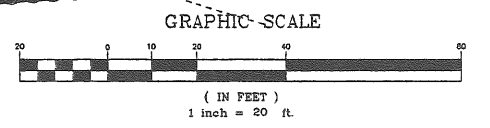
**GERALD W. & LURINE OLIVER**  
 BK. 2684 PG. 249

**REVISIONS**

8/10/98	Water & Sewer to units added.
9/20/98	REMOVE CULDESAC ADD REC. AREA
9/21/98	ADDED 3 UNITS FROM 27 TO 30
10/20/98	REV. ROAD REGRADE SITE

DATE : 11/3/98  
 SCALE : 1" = 20'  
 DRAWN : AJC  
 FILE: 98037  
 SHEET: **POST 1**

- LEGEND:**
- 1" IRON PIPE FOUND (EXCEPT AS NOTED)
  - 5/8" REBAR SET
  - MONUMENT FOUND
  - ▨ WETLAND
  - UTILITY POLE
  - GUY ANCHOR
  - STONE WALL
  - WOOD FENCE
  - OVERHEAD UTILITY LINE
  - UNDERGROUND UTILITY LINE
  - SPOT GRADE
  - WATER LINE
  - ⊗ WATER VALVE
  - ⊕ HYDRANT
  - ⊙ SEWER MANHOLE
  - ⊕ DECIDUOUS TREE
  - - - EXISTING CONTOUR
  - - - EXISTING CONTOUR
  - ⊕ ROCK OUTCROP



CLIFFORD R. & ELIZABETH M. CARD  
 BK. 1942 PG. 252

GERALD W. & LURINE OLIVER  
 BK. 2684 PG. 249

CONTROL POINT #1  
 COLES EXPRESS  
 BK. 10151 PG. 133

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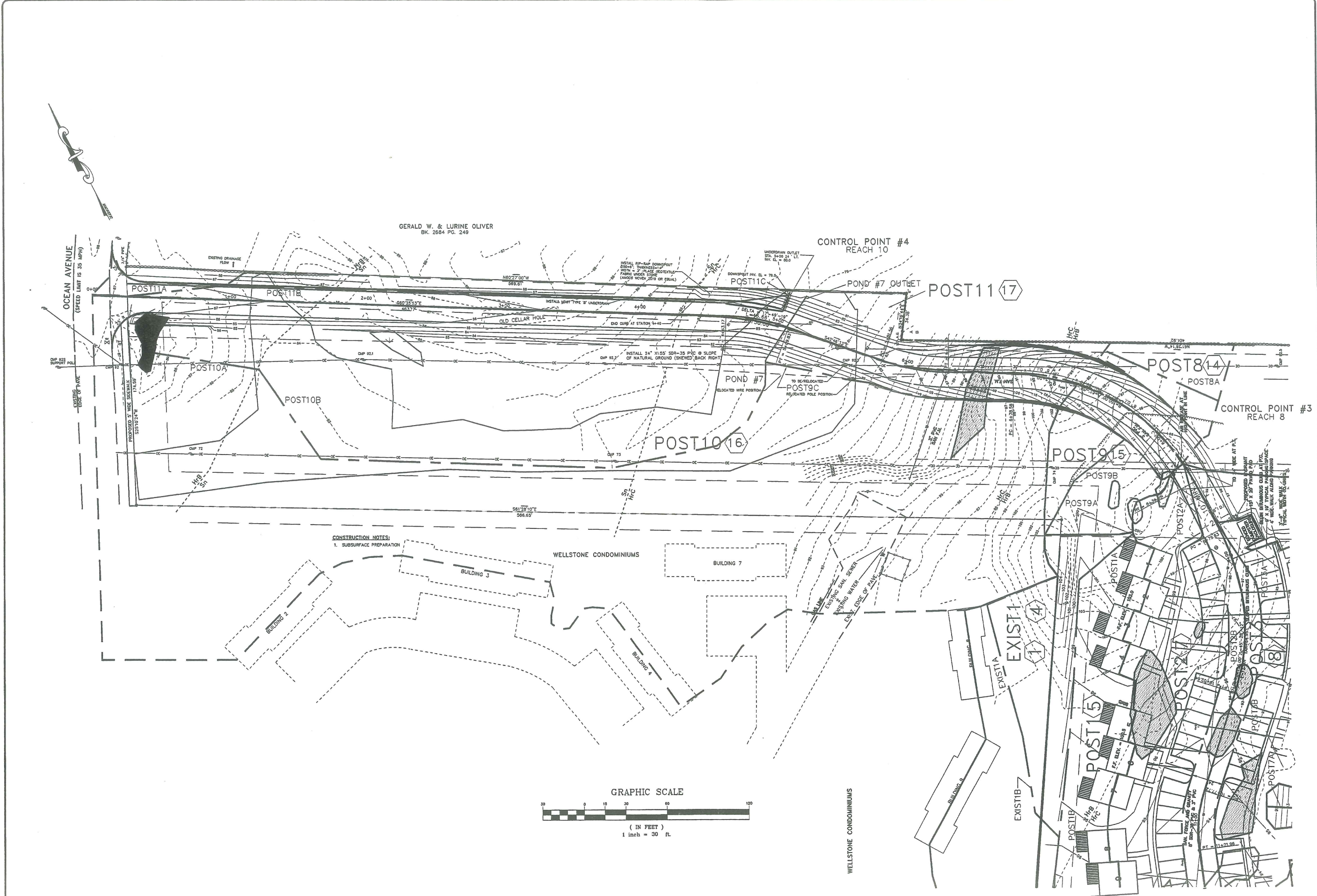


**STORMWATER MANAGEMENT PLAN  
POST CONDITION DRAINAGE MAP**  
PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
FOR:  
**TIMBERLAND DEVELOPMENT**

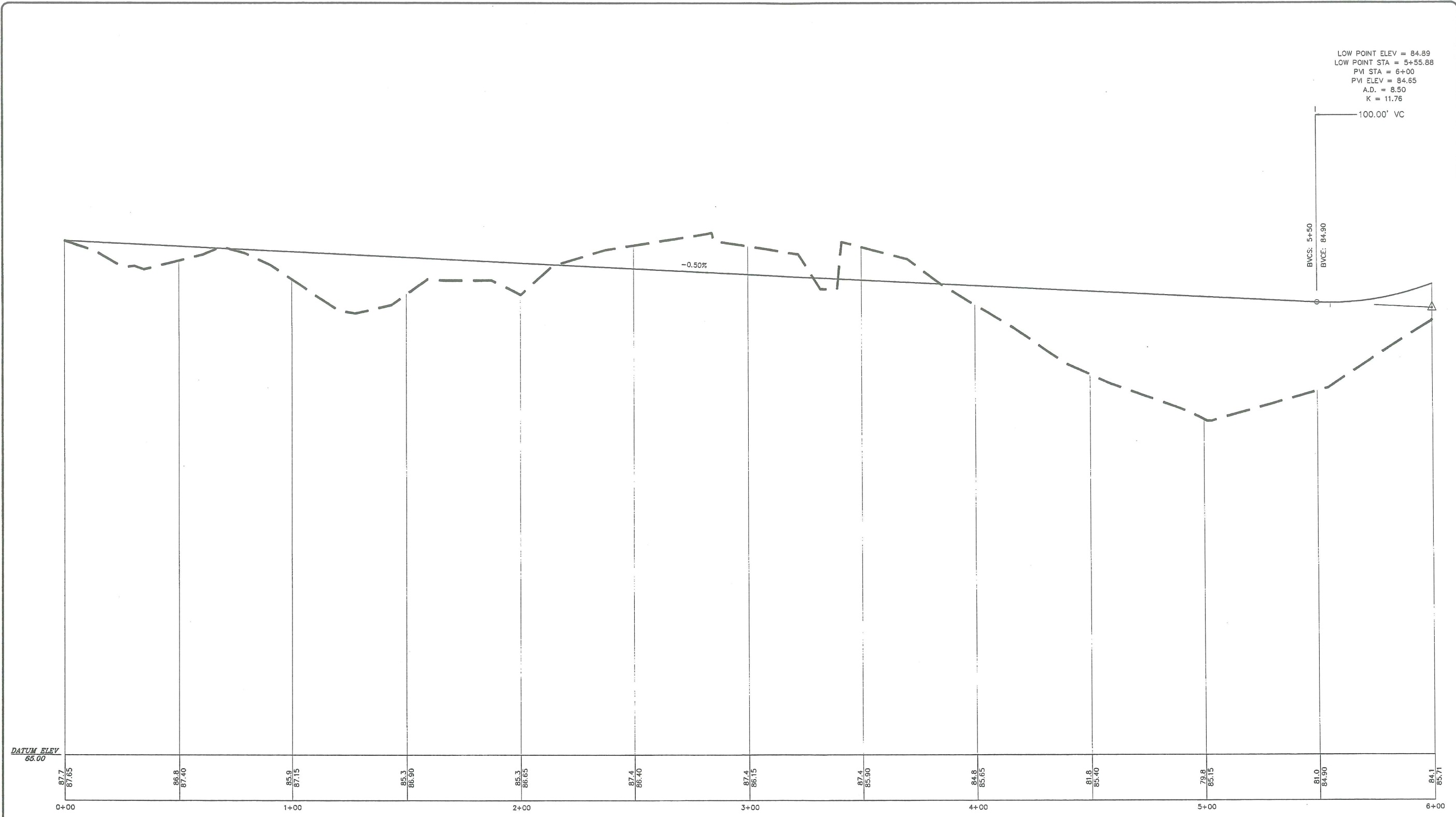
REVISIONS	

DATE : 7/16/98  
SCALE : 1"=30'  
DRAWN : AJC  
FILE: 98037  
SHEET:  
**POST2**

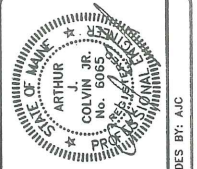




J-16



LOW POINT ELEV = 84.89  
 LOW POINT STA = 5+55.88  
 PVI STA = 6+00  
 PVI ELEV = 84.65  
 A.D. = 8.50  
 K = 11.76



DES BY: AJC

**ROAD PROFILE**

PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333

FOR: TIMBERLAND DEVELOPMENT

REVISIONS	

DATE : 7/16/98  
 SCALE : 1"=20'  
 DRAWN : AJC  
 FILE: 97160  
 SHEET: PR-1

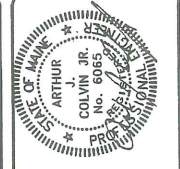
**ROAD PROFILE**

SCALE 1"=20' HORZ.  
 1"=2' VERT.

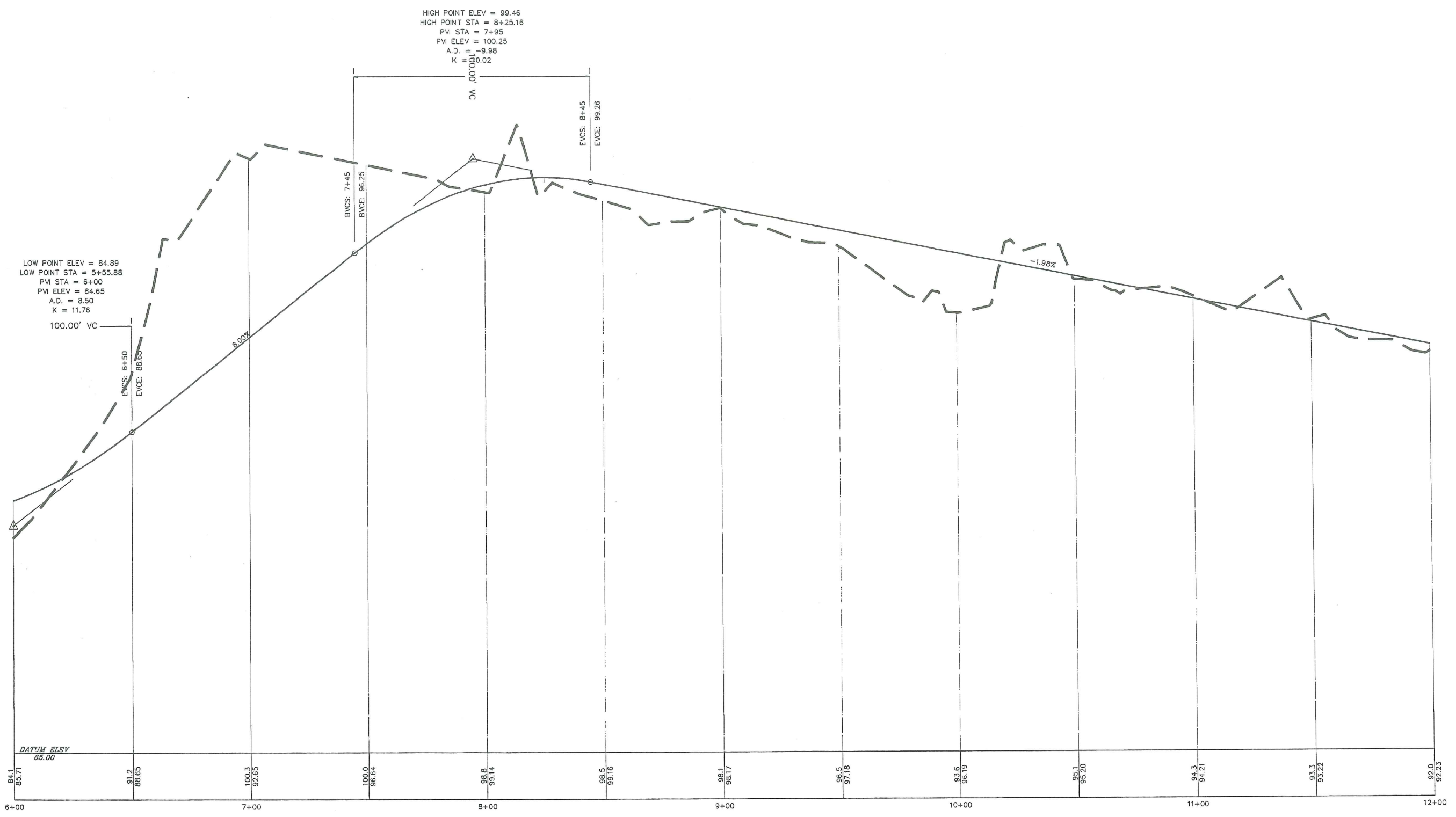
NO.	DATE	DESCRIPTION	BY
2	10/14/98	EDITED PROFILE PER CMP	AJC
1	9/20/98	EDITED PROFILE	AJC



J-17



DES BY: AJC



### ROAD PROFILE

SCALE 1"=20' HORIZ.  
 1"=2' VERT.

NO.	DATE	DESCRIPTION	BY
2	10/14/98	EDITED PROFILE PER CMP	AJC
1	9/20/98	EDITED PROFILE	AJC

### ROAD PROFILE

ASSOCIATED DESIGN PARTNERS INC.  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: TIMBERLAND DEVELOPMENT

PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

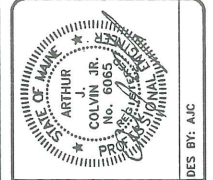
#### REVISIONS

NO.	DATE	DESCRIPTION	BY

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 SCALE : 1"=20'  
 DRAWN : AJC  
 FILE: 97160  
 SHEET: PR-2



J-18



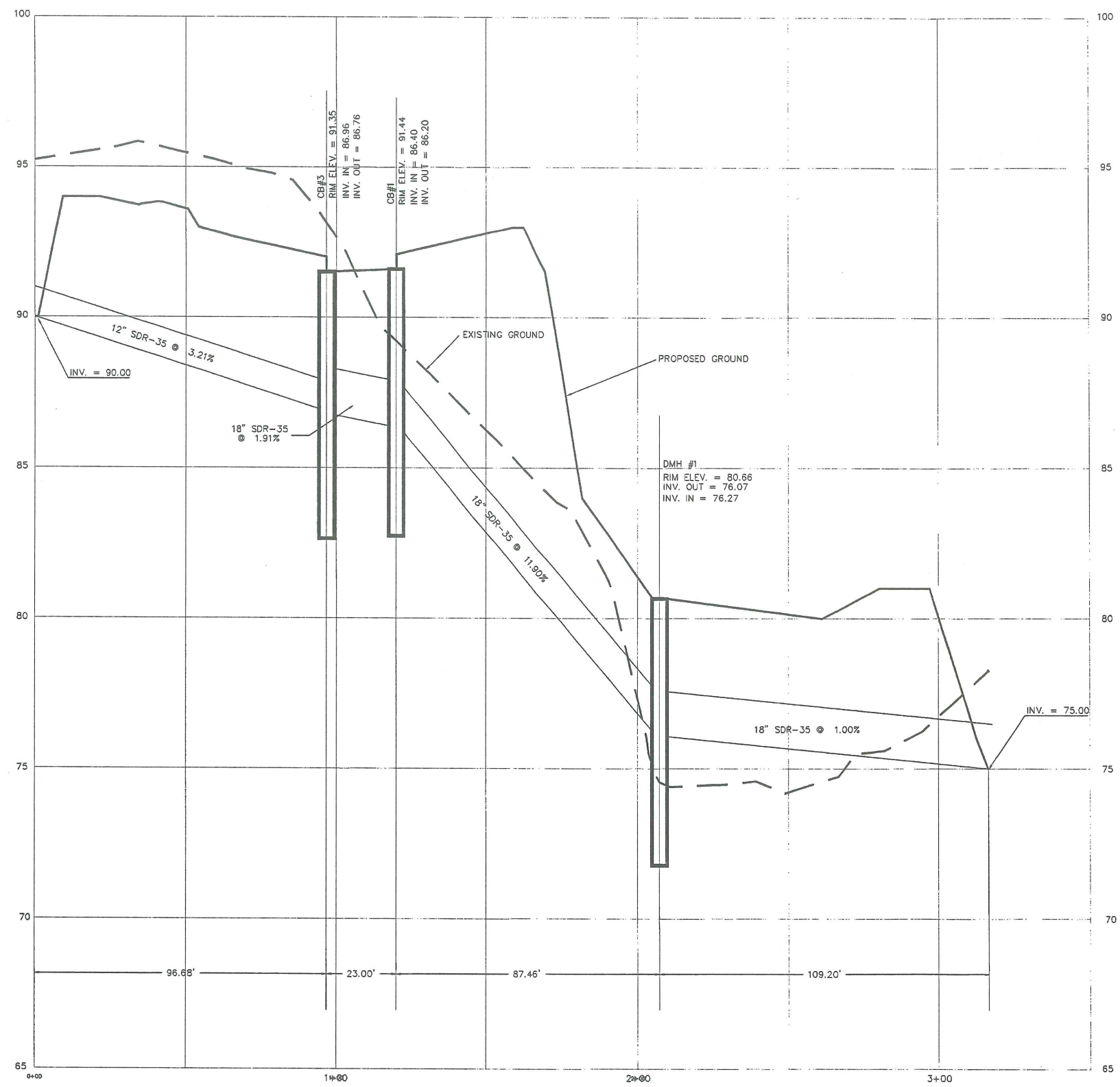
DES. BY: AJC

**STORM DRAIN PROFILES**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

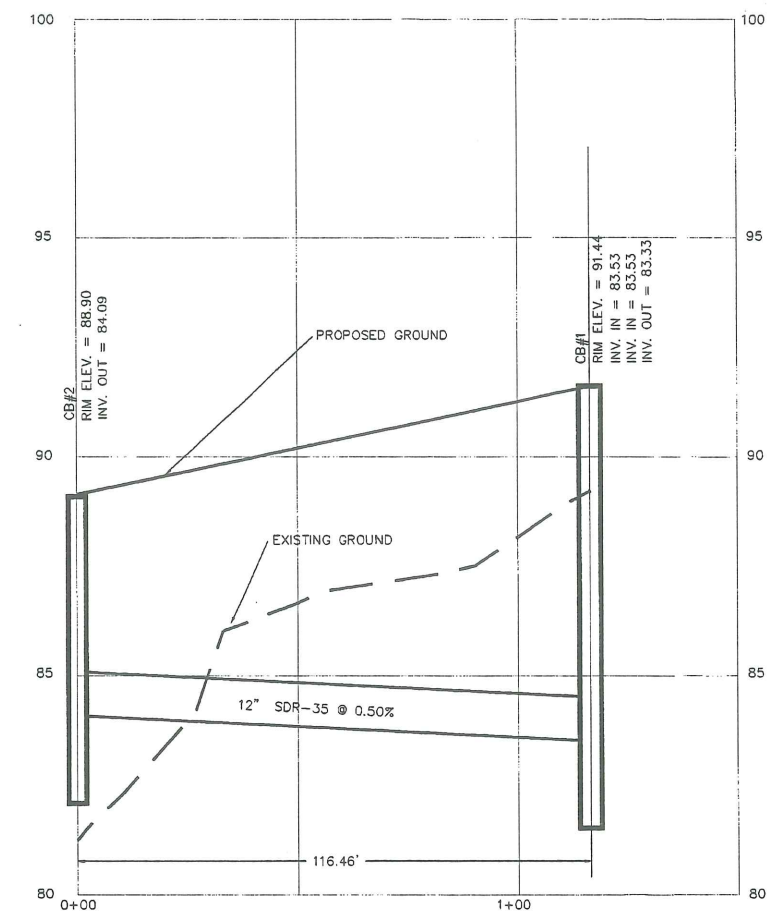
**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

REVISIONS	

DATE : 7/16/98  
 SCALE : 1"=20'  
 DRAWN : AJC  
 FILE: 97160  
 SHEET:  
**DR-1**



**STORM DRAIN PROFILE**  
 SCALE: 1" = 20 HORZ.  
 1" = 2' VERT.



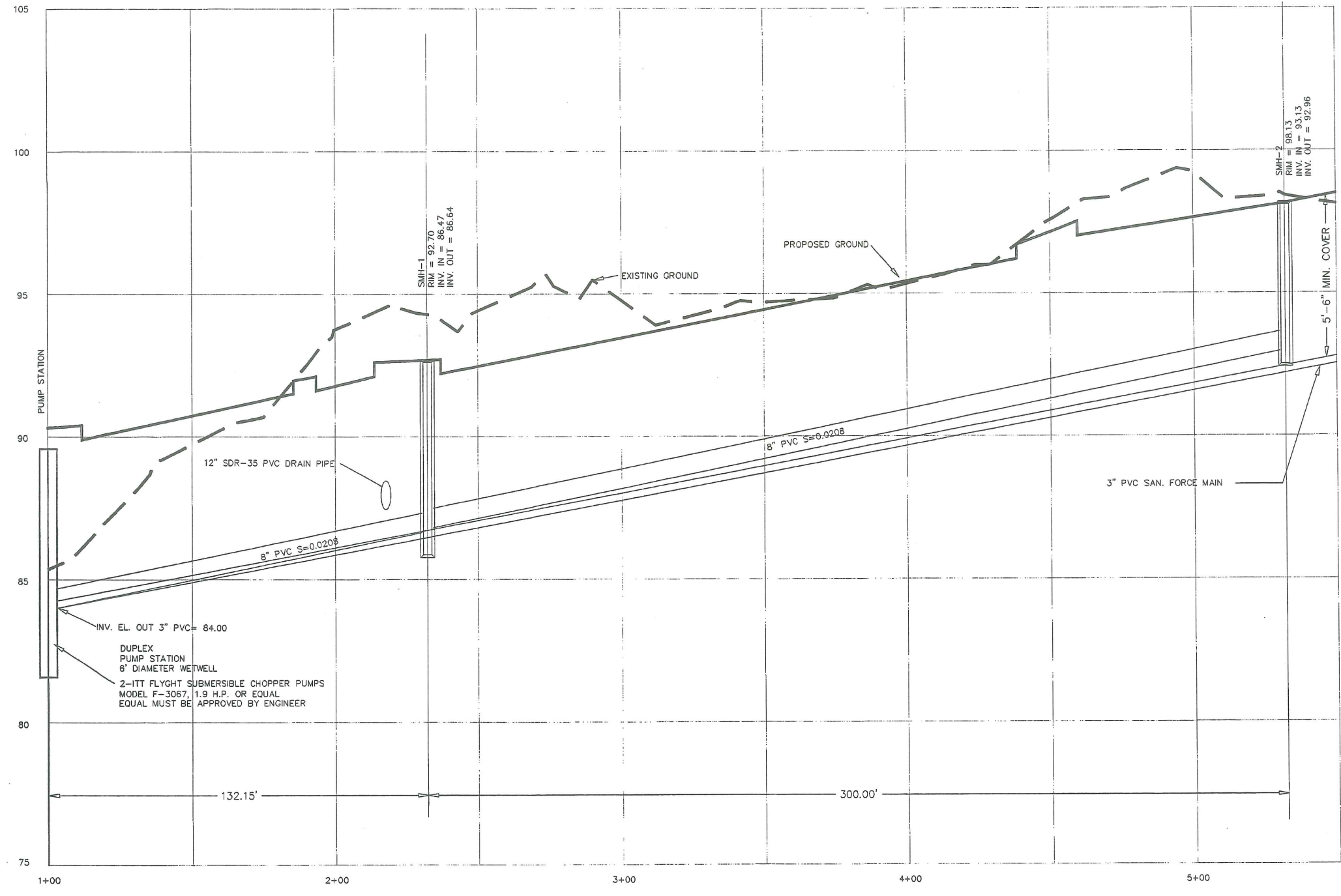
**STORM DRAIN PROFILE**  
 SCALE: 1" = 20 HORZ.  
 1" = 2' VERT.

NO.	DATE	DESCRIPTION	BY
2	11/10/98	REVISED PIPE SIZES	AJC
1	10/21/98	REVISED PER NEW GRADING	AJC

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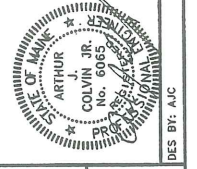
J-19



**SANITARY SEWER PROFILE**

SCALE 1"=20' HORIZ.  
1"=2' VERT.

NO.	DATE	DESCRIPTION	BY
1	10/14/98	REVISED PER ROAD CHANGE	AJC



**SANITARY SEWER PROFILE  
PROFILES**

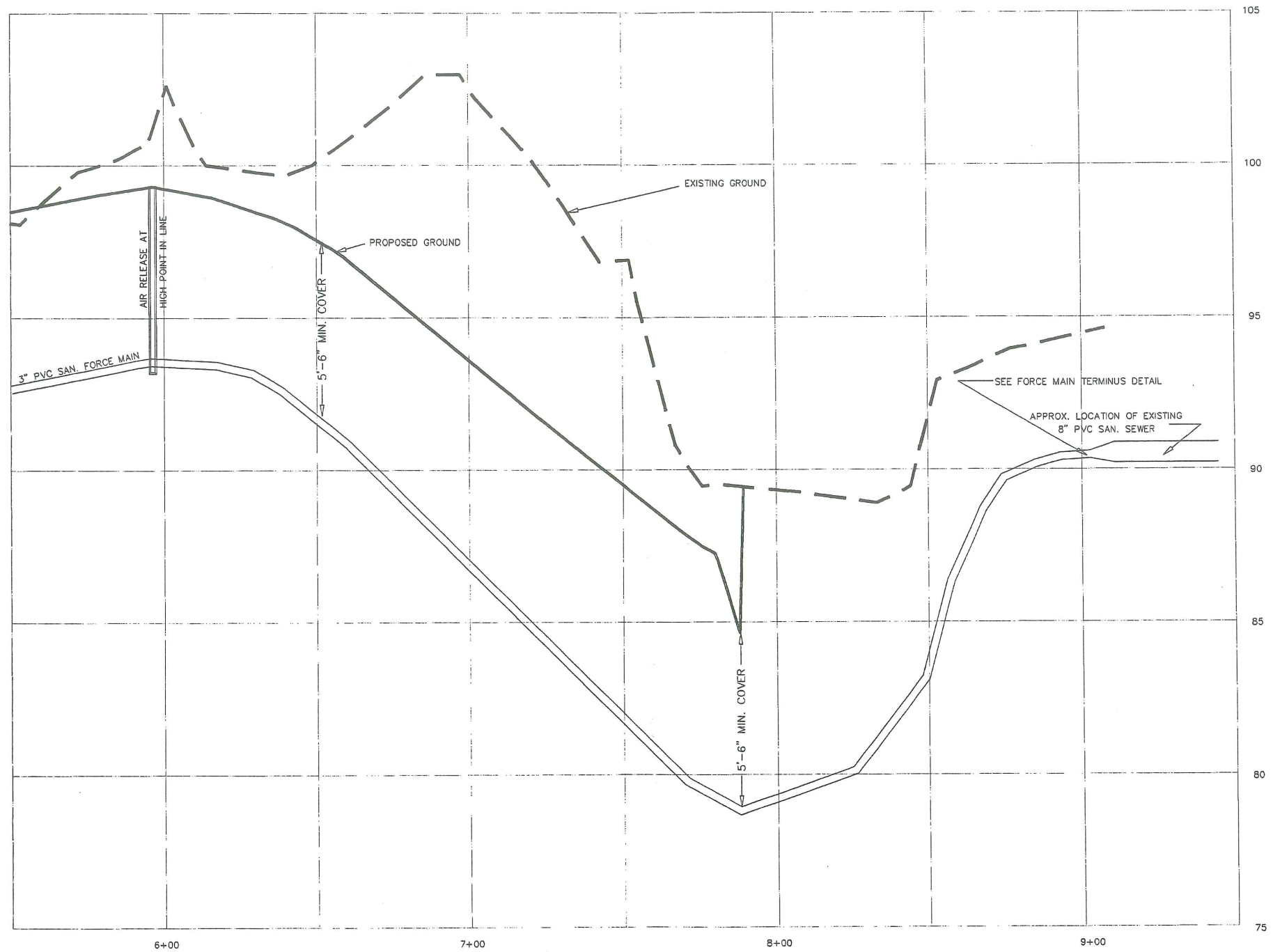
PROJECT: **SEAWARD HEIGHTS**  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
FOR: **TIMBERLAND DEVELOPMENT**

**REVISIONS**

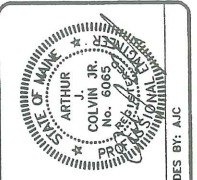
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FILE: 97160  
SHEET:  
**SAN-1**





**SANITARY SEWER PROFILE**  
 SCALE 1"=20' HORZ.  
 1"=2' VERT.

NO.	DATE	DESCRIPTION	BY
1	10/14/98	REVISED PER ROAD CHANGE	AJC



**SANITARY SEWER PROFILE**  
**PROFILES**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

**REVISIONS**


DATE : 7/16/98  
 SCALE : 1"=20'  
 DRAWN : AJC  
 FILE: 98037  
 SHEET:  
**SAN-2**






FRONT ELEVATION



RIGHT SIDE ELEVATION

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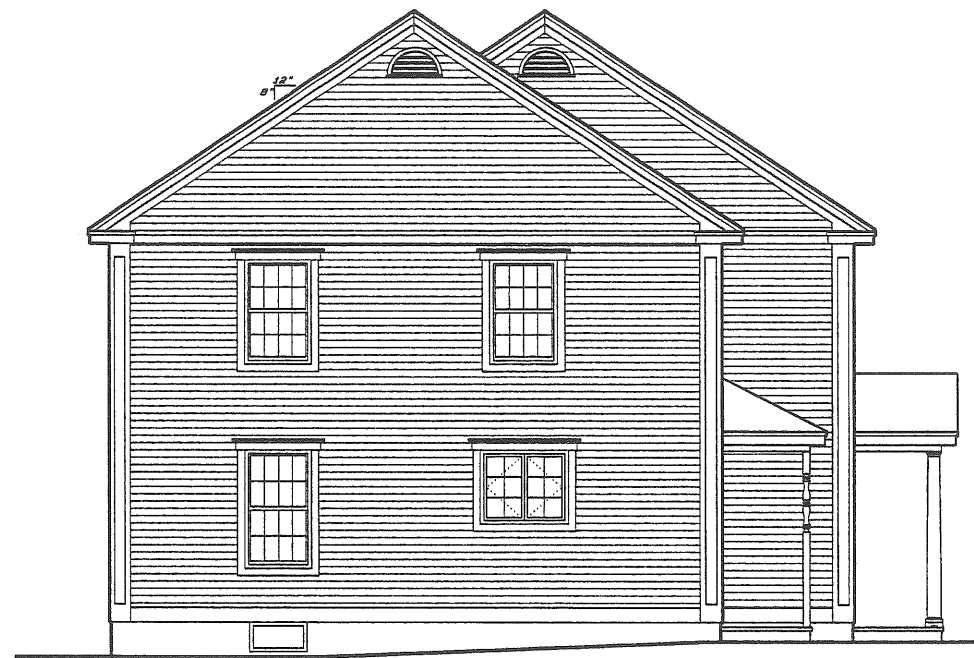
	P.O. Box 359 Yarmouth, Maine 04096 207-848-3749		PROJECT # <b>98013</b>
	BY: M. Meier		SHEET # <b>1 of 6</b>
	SCALE: 1/4" = 1'-0"		DATE: SEPT. 18, 1998

ASTM 98037

**TIMBERLAND DEVELOPMENT CORP.**  
 BUILDINGS F & G  
 SEAWARD HEIGHTS CONDOMINIUMS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ELEVATIONS**





LEFT SIDE ELEVATION



REAR ELEVATION



TIMBERLAND DEVELOPMENT CORP.  
 BUILDINGS F & G  
 SEAWARD HEIGHTS CONDOMINIUMS  
 OCEAN AVENUE  
 PORTLAND, MAINE

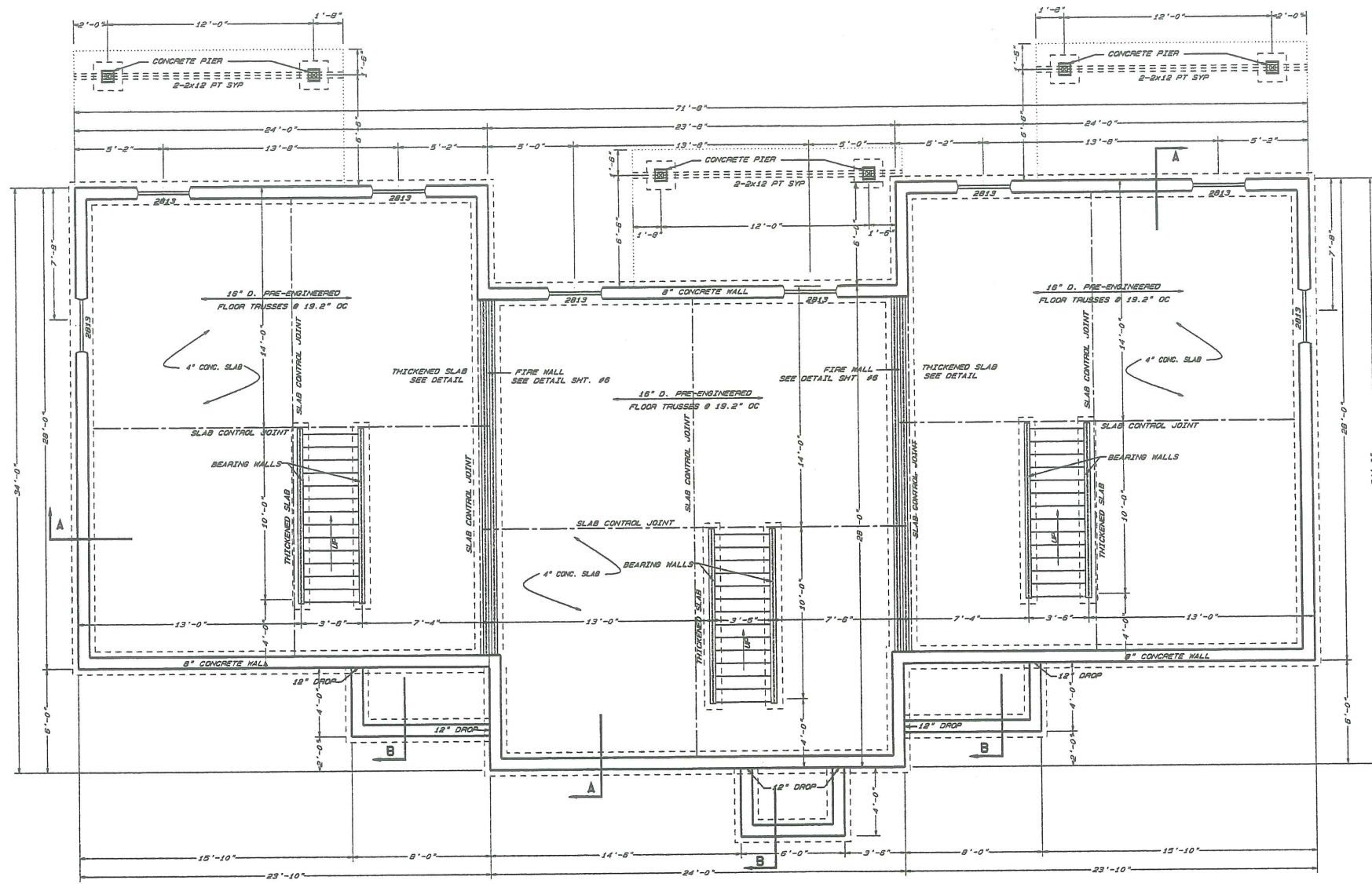
ELEVATIONS

BY: M. Meier	PROJECT # 98013
SCALE: 1/4" = 1'-0"	SHEET #
DATE: SEPT. 18, 1998	2 of 6

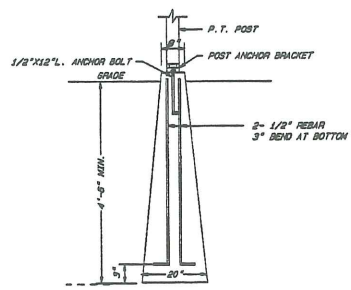
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 207-846-3749

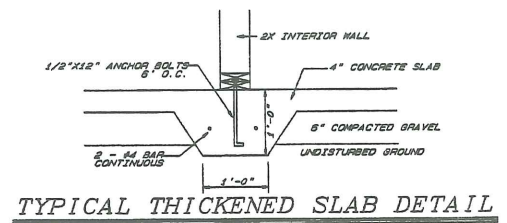




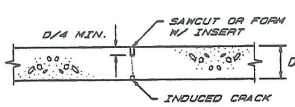
FOUNDATION PLAN



CONCRETE PIER DETAIL  
SCALE: 1/2" = 1'-0"



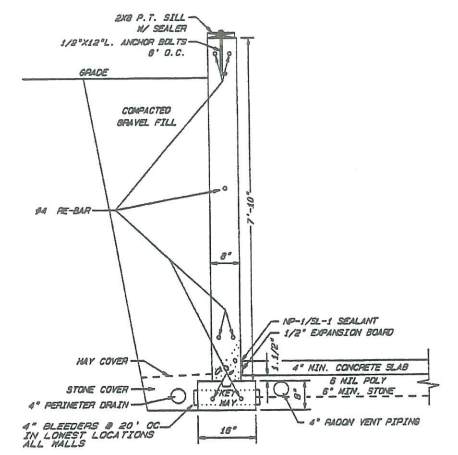
TYPICAL THICKENED SLAB DETAIL



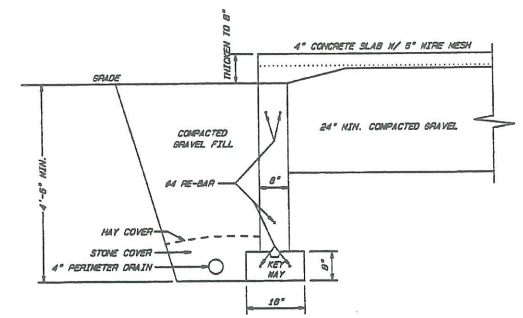
CONTROL JOINT

- CONCRETE NOTES:
1. MIN. 28 DAY COMPRESSIVE STRENGTH: 3000 PSI
  2. DESIGN OF FOOTINGS IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2500 PSF @ 28 DAYS. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY PRIOR TO ANY CONSTRUCTION.
  3. PLACE FOOTINGS ON UNDISTURBED MATERIAL.
  4. REINFORCE ALL SPREAD FOOTINGS W/ #4 REBAR @ 12" O.C. EACH DIRECTION, @ 3" CLEAR FROM BOTTOM.
  5. FROST PROTECTION: 4'-6" MIN.

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8" FOUNDATION WALL SECTION A  
SCALE: 1/2" = 1'-0"

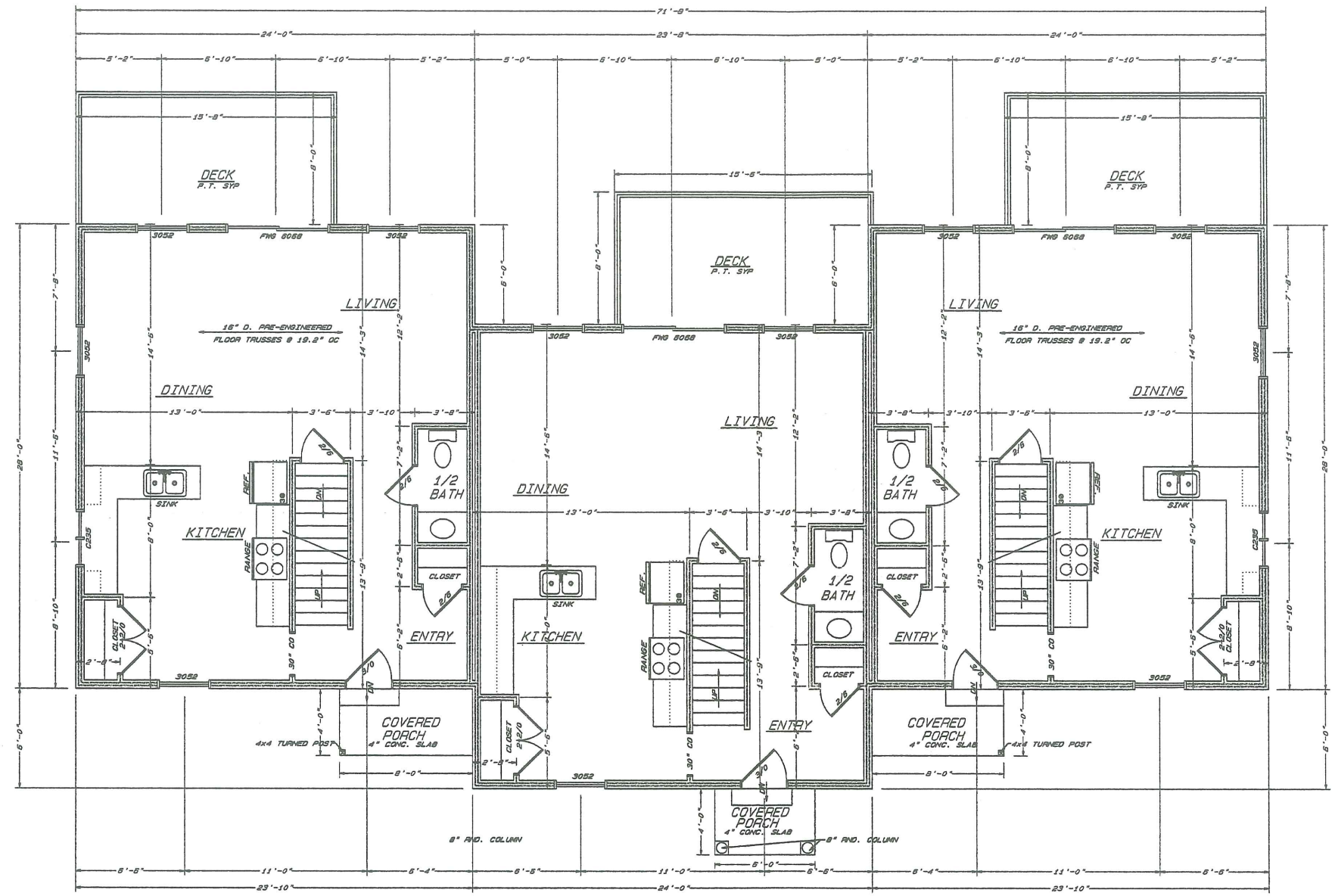


8" FROST WALL SECTION B  
SCALE: 1/2" = 1'-0"

<p>MARTIN MEIER CUSTOM HOME DESIGNER</p>	<p>TIMBERLAND DEVELOPMENT CORP. BUILDINGS B &amp; C SEAWARD HEIGHTS CONDOMINIUMS OCEAN AVENUE PORTLAND, MAINE</p>	
	<p>FOUNDATION PLAN</p>	
<p>BY: M. Meier</p>	<p>PROJECT # 98013</p>	<p>P.O. Box 359 Yarouth, Maine 04096 207-846-3749</p>
<p>SCALE: 1/4" = 1'-0"</p>	<p>DATE: AUG. 10, 1998</p>	<p>SHEET # 3 of 6</p>



K-4



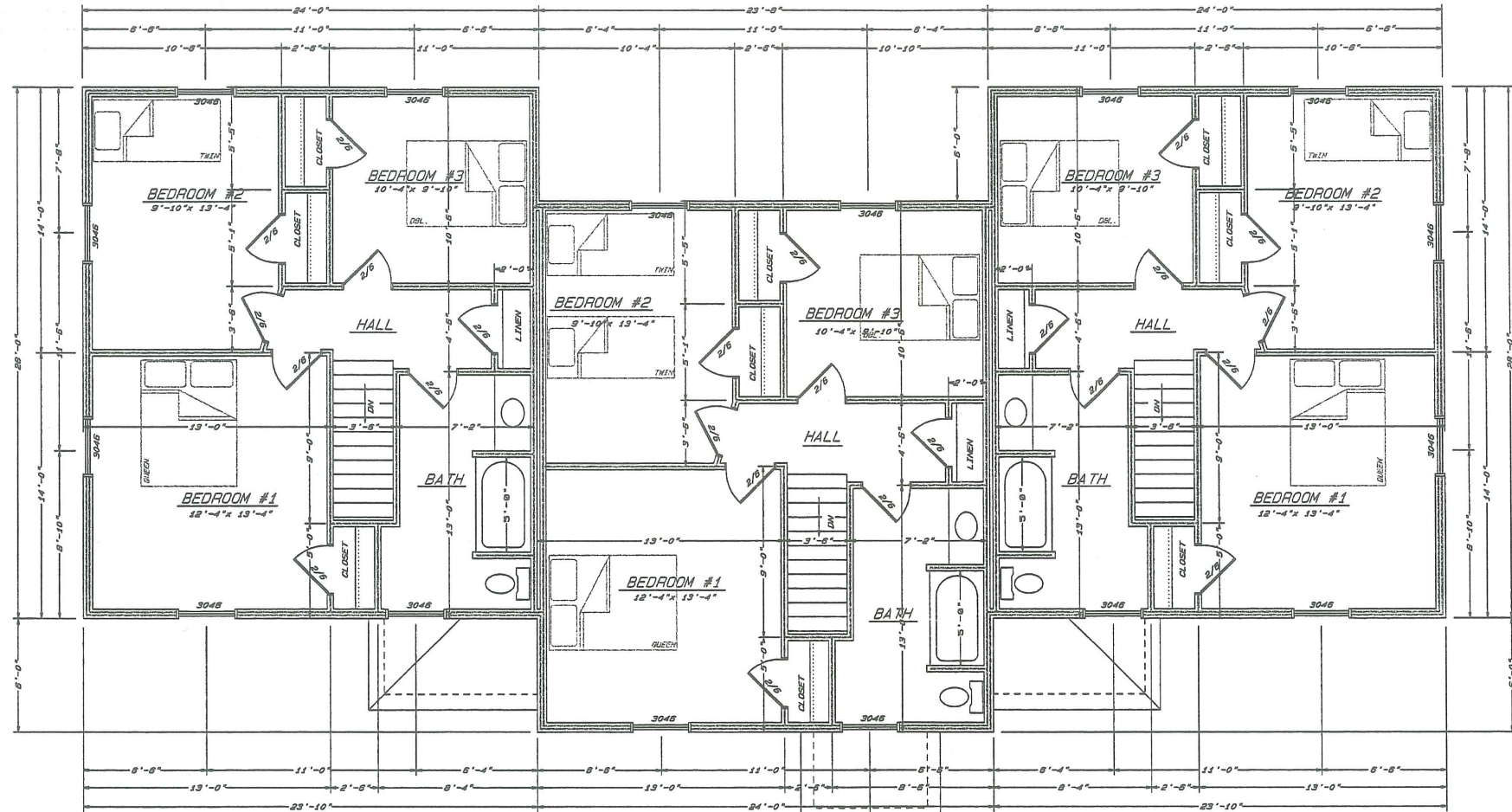
**1ST FLOOR PLAN**  
3 UNIT BUILDING

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	<b>TIMBERLAND DEVELOPMENT CORP.</b> BUILDINGS B & C SEAWARD HEIGHTS CONDOMINIUMS OCEAN AVENUE PORTLAND, MAINE	
	<b>1ST FLOOR PLAN</b>	
	BY: M. Meier	PROJECT # 98013
	SCALE: 1/4" = 1'-0" DATE: AUG. 10, 1998	SHEET # 4 of 6


P.O. Box 359  
Yarmouth, Maine 04096  
207-848-3749





2ND FLOOR PLAN

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 CUSTOM HOME DESIGNER	TIMBERLAND DEVELOPMENT CORP. BUILDINGS B & C SEAWARD HEIGHTS CONDOMINIUMS OCEAN AVENUE PORTLAND, MAINE	
	2ND FLOOR PLAN	
	BY: M. Meier	PROJECT # 98013
	SCALE: 1/4" = 1'-0"	SHEET # 5 of 6
P.O. Box 350 Yarmouth, Maine 04096 207-846-3749		DATE: AUG. 10, 1998



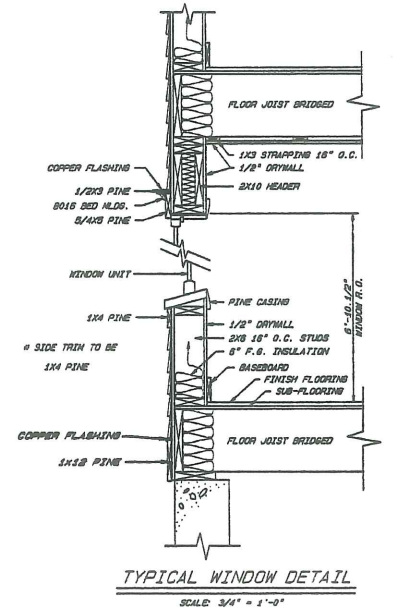
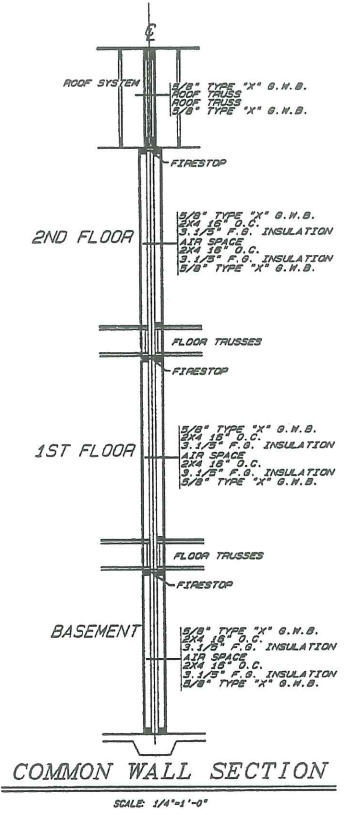
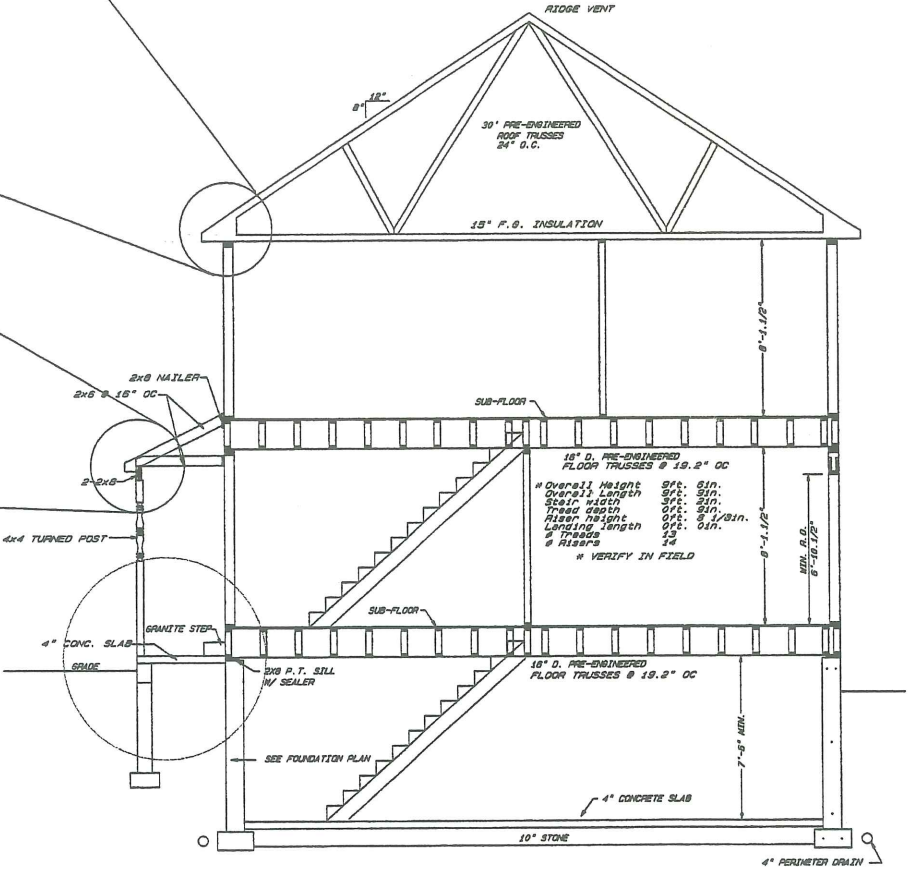
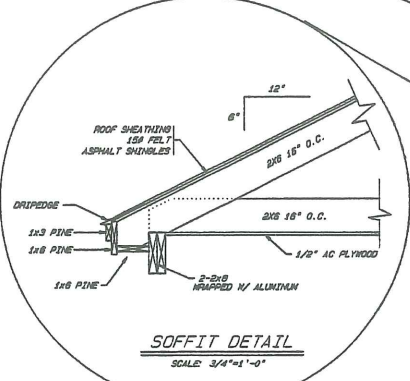
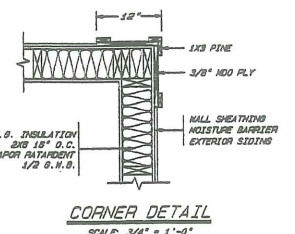
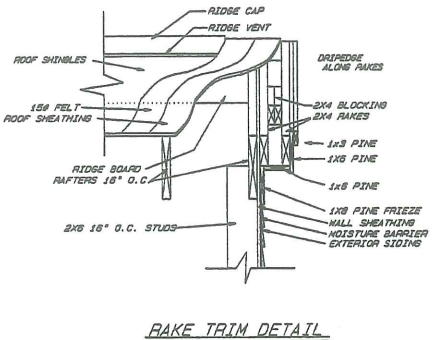
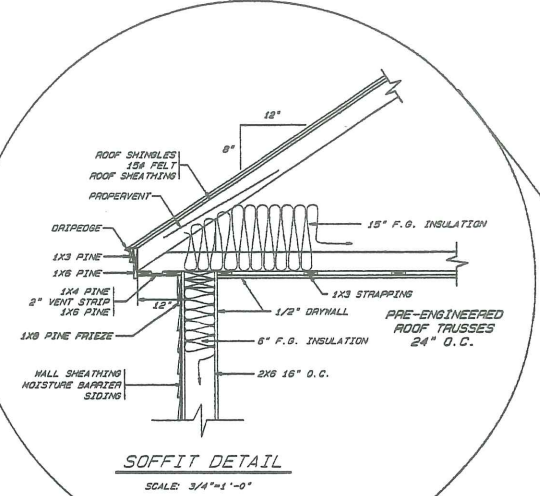
K-Lp

**WOOD FRAMING NOTES:**

- STRUCTURAL LUMBER: NO. 2 SPRUCE, PINE, FIR OR BETTER.
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BASIC BUILDING CODE LATEST EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK AND SHEATHING: PROVIDE 8D NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE.
  - 8" O.C. ALONG ALL PANEL EDGES
  - 8" O.C. ALONG INTERMEDIATE MEMBERS
  - ALL PLYWOOD SUB-FLOORS TO BE GLUED AND NAILED WITH 8D SCREW NAILS.
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP WITH 12D NAILS @ 12" O.C., TOP AND BOTTOM.
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS, IF SIZES ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMPSON LUD10 OR LUD10.
- PROVIDE 3" x 10" HEADERS OVER ALL OPENINGS IN BEARING WALLS, UNLESS SHOWN OTHERWISE.
- PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS. STAGGER TOP PLATE SPLICES IN EXTERIOR WALLS 4'-0" AND PROVIDE AT LEAST 8" 10D NAILS PER SPLICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE MINIMUM OF TWO 2X STUDS AT THE ENDS OF ALL BUILT-UP 2X BEAMS, UNLESS SHOWN OTHERWISE.
- ROOF AND WALL SHEATHING: APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, EXTERIOR.
- ROOF: 5/8" THICK WALLS: 1/2" THICK
- INSULL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- POSTS AT CORNERS OF EXTERIOR WALLS: PROVIDE 6X6 POST OR 3" x 2X6 MINIMUM.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.
- PROVIDE STEEL PLATE NAILS TO ATTACH SIDING AND EXT. TRIM.
- MICRO-LAM BEAMS (LVLs): GLUE LAMINATED VENEER LUMBER OF DOUGLAS FIR AS MANUFACTURED BY TRUS-JOIST OF BOSTON, 100% OR APPROVED EQUAL, F<sub>v</sub> = 285 PSI, F<sub>d</sub> = 2800 PSI, E = 2,000,000 PSI. ALL LVL HEADERS TO HAVE A MINIMUM OF DOUBLE 2X JACKS UNLESS NOTED OTHERWISE ON THE PLANS.
- BOLTS, NUTS & WASHERS: ASTM - A307, HOT DIPPED GALVANIZED CONFORMING TO ASTM - A153.
- NAILS: COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. PROVIDE GALVANIZED NAILS AT EXPOSED FRAMING.
- METAL CONNECTORS: APPROVED ITEMS OF PROPER TYPE & GAUGE AS REQUIRED ON DRAWINGS. HOT DIPPED GALVANIZED.
- ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH BOCA CODE APPENDIX.
- PROVIDE SOLID BRIDGING, SIZED TO MATCH FLOOR JOIST, AT MID-SPAN IN ALL FLOOR SYSTEMS.
- LIVE LOADS FOR FLOOR JOIST SHALL BE PER THE BOCA BASIC BUILDING CODE LATEST EDITION.

**FRAMING MATERIAL SPECIFICATIONS**

FLOOR SHEATHING:	3/4" T&G OSB
WALL SHEATHING:	1/2" OSB
ROOF SHEATHING:	5/8" CDX EXT. PLYWOOD
UNDERLAYMENT:	5/8" AC PLYWOOD
MOISTURE BARRIER:	TYVEK HOUSEWRAP
VAPOR RETARDENT:	8 MILL. POLY
EXTERIOR SIDING:	MAROLINK SIDING
EXTERIOR TRIM:	1/2" PINE TRIMMED IN ALUMINUM
SILLS:	2x6 PRESSURE TREATED
FLOOR JOIST:	K.D. SPRUCE
WALL STUDS:	K.D. SPRUCE
CEILING JOIST:	K.D. SPRUCE
RAFTERS:	K.D. SPRUCE
EAVE VENT:	2" WHT. ALUMINUM
DRIPEDGE:	1/2" BALV
ROOFING SHINGLES:	32 TIMBERLINE 38 YR.
ROOF VENT:	ROLL VENT
1" AIR SPACE MAT.:	PROPERVENT
FOUNDATION INSULATION:	NONE
SILL SEALER:	PER AVAILABILITY
FLOOR BLOCKS & RUNNERS:	18" FIBERGLASS
1ST FLOOR INSULATION:	PER AVAILABILITY
EXTERIOR WALL INSULATION:	6" FIBERGLASS
2ND FLOOR INSULATION:	3 1/2" FIBERGLASS
CEILING INSULATION:	18" FIBERGLASS
COMMON WALLS:	2" 3 1/8" FIBERGLASS



**NOTE 1**

ALL ELEVATION DROPS ARE TO BE DETERMINED AND FIELD VERIFIED ACCORDING TO GRADE AND SITE CONDITIONS. ADJUST DROPS AS REQUIRED.

**NOTE 2**

ALL STRUCTURAL BEAMS AND ROOF SYSTEM ARE TO BE REVIEWED BY A MAINE LICENSED STRUCTURAL ENGINEER. ALL CHANGES TO BE MADE AS REQUIRED.

**NOTE 3**

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE CONNECTIONS BETWEEN ALL STRUCTURAL ELEMENTS. PROVIDE SUITABLE JOIST HANGERS, CLIP ANGLES, LAG BOLTS, ETC., AS REQUIRED TO ADEQUATELY CONNECT MEMBERS.

P.E. STAMP IS PROVIDED TO COVER THE FOLLOWING ITEMS ONLY:

- STRUCTURAL FRAMING MEMBER SIZES AND FOUNDATION DETAILS.
- FLOOR PLAN CONTRIBUTION FOR GENERAL COMPLIANCE WITH NPPA 101 AND ADA REQUIREMENTS.

**GENERAL:**

SHEETS 3, 4, 5 & 6 P.E. SEAL IS PROVIDED TO COVER STRUCTURAL FRAMING MEMBER SIZES AND SPACINGS ONLY. CONTRACTOR IS REQUIRED TO COORDINATE DIMENSIONS AND PROVIDING QUALITY BUILDING MATERIALS AND PRACTICE. PROVIDE CONNECTION NAILING IN ACCORDANCE WITH 1998 BOCA.

**BUILDING DESIGN LOADS:**

<b>SNOW LOADS:</b>		
SLOPED ROOFS	- 5 on 12	70 PSF
	- 12 on 12	85 PSF
<b>FLOOR LOADS:</b>		
LIVE LOAD 1ST & 2ND FLOOR		40 PSF
DEAD LOAD 1ST & 2ND FLOOR		10 PSF

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207-948-3749

**TIMBERLAND DEVELOPMENT CORP.**

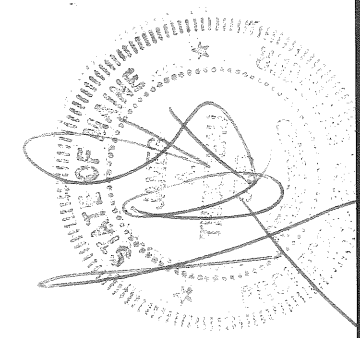
**BUILDINGS F & G**  
SEAWARD HEIGHTS CONDOMINIUMS  
OCEAN AVENUE  
PORTLAND, MAINE

**FRAMING SECTIONS**

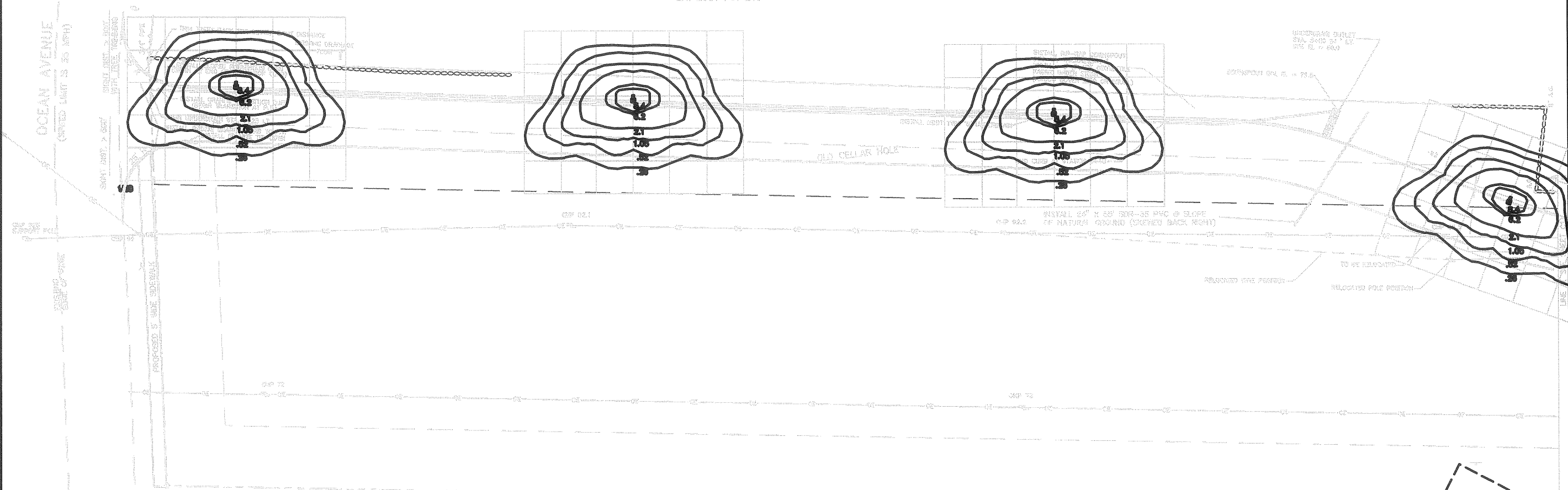
BY:	M. Meier	PROJECT #	98013
SCALE:	1/4" = 1'-0"	SHEET #	6 of 6
DATE:	AUG. 10, 1998		



K-1



GERALD W. & LURINE OLIVER  
BK. 2085 PG. 249



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL IS TIMBERLAND DEVELOPMENT COMPANY. DESCRIPTION OF LAND IS RECORDED IN BOOK 13901 PAGE 170 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.)
2. PROPERTY IS LOCATED IN THE R-1 ZONE.
3. PLAN REFERENCES:
  - a) "STANDARD BOUNDARY SURVEY-WELLSTONE CONDOMINIUM" BY SEBAGO TECHNICS INC. DATED 8/19/88
  - b) "EIGHTH REVISED WELLSTONE CONDOMINIUM PLAN" BY SEBAGO TECHNICS INC. DATED 4/13/86 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS BY PLAN BOOK 173 PAGE 68.
4. THE PERIMETER BOUNDARIES SHOWN ON THIS PLAN ARE BASED SOLELY ON THE PLANS REFERENCED IN NOTES 3A AND 3B. SOME OF THE MONUMENTS DEPICTED ON THESE PLANS WERE LOCATED BY LANDMARK ENGINEERING TO CARRY THE PROJECT TO THE PERIMETER. A STANDARD BOUNDARY SURVEY (B.L.A.R.K.O. DEED RESEARCH AND FIELD WORK TO CONFIRM THE PERIMETER BOUNDARIES HAS NOT BEEN PERFORMED BY LANDMARK ENGINEERING. THE PURPOSE OF PLANS 3A AND THIS PLAN, 02, ARE TO PROVIDE DESIGN INFORMATION TO CONTRACT THE PROJECT.
5. PROJECT PARCEL DEPICTED AS LOT 2 ON THE ABOVE REFERENCED PLANS. PLAN SHOWS PARCEL CONTAINING 7.01 ACRES.
6. PROPERTY IS SUBJECT TO A CERTAIN 136' WIDE EASEMENT GRANTED TO CMP AND IS RECORDED IN BOOK 2173 PAGE 112 IN THE C.C.R.D.
7. PROPERTY IS SUBJECT TO AND TOGETHER WITH THE BENEFIT OF THE "EASEMENT ACCESS DRIVE AS MORE FULLY DESCRIBED IN BOOK 0834 PAGE 203 IN THE C.C.R.D.
8. TIMBERLAND DEVELOPMENT HAS CERTAIN RIGHTS WITH REGARD TO THE 24' DRIVE THROUGH WELLSTONE CONDOMINIUM AS WELL AS A DRAINAGE EASEMENT TO THE SUBJECT PARCEL. SEE DEED (BOOK 13901 PAGE 170) FOR MORE DETAILS.
9. TOTAL WETLAND IMPACT = 4.650 S.F.
10. ACCESS ROAD TO PROJECT IS TO REMAIN PRIVATE. THE SEWARD HEIGHTS CONDOMINIUM ASSOCIATION WILL BE RESPONSIBLE FOR ROAD MAINTENANCE.
11. DESIGN WAIVER REQUESTED FOR SIDEWALK ALONG OCEAN AVENUE.

**CONSTRUCTION NOTES:**

1. SUBSURFACE PREPARATION

WELLSTONE CONDOMINIUMS

BUILDING 7

NO.	DATE	DESCRIPTION	BY

**SITE LIGHTING**

**ASSOCIATED DESIGN PARTNERS INC.**

**REVISIONS**

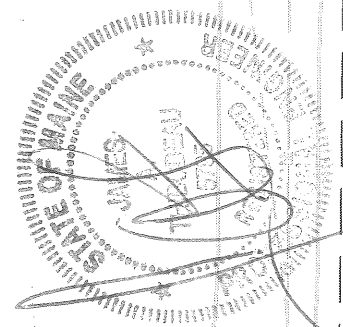
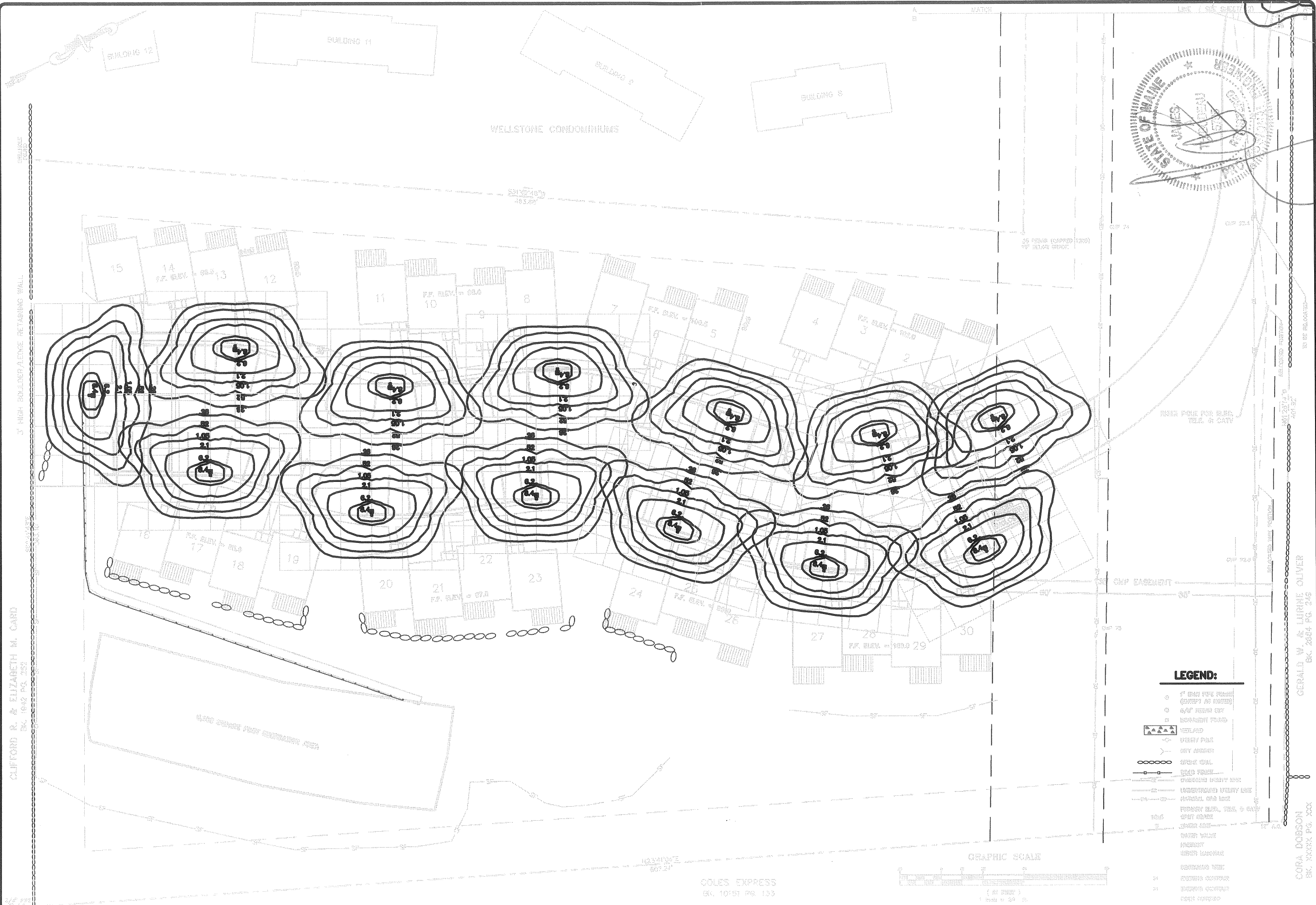
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 FILE: 98037  
 SHEET: **C12**

**SEWARD HEIGHTS**

**FOR TIMBERLAND DEVELOPMENT**

71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333





**SITE LIGHTING**  
 PROJECT: SEAWARD HEIGHTS  
 CLIENT: ASSOCIATED DESIGN PARTNERS INC.

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME 04101 (207) 871-8333  
 FOR: TIMBERLAND DEVELOPMENT

REVISIONS	
NO.	DESCRIPTION

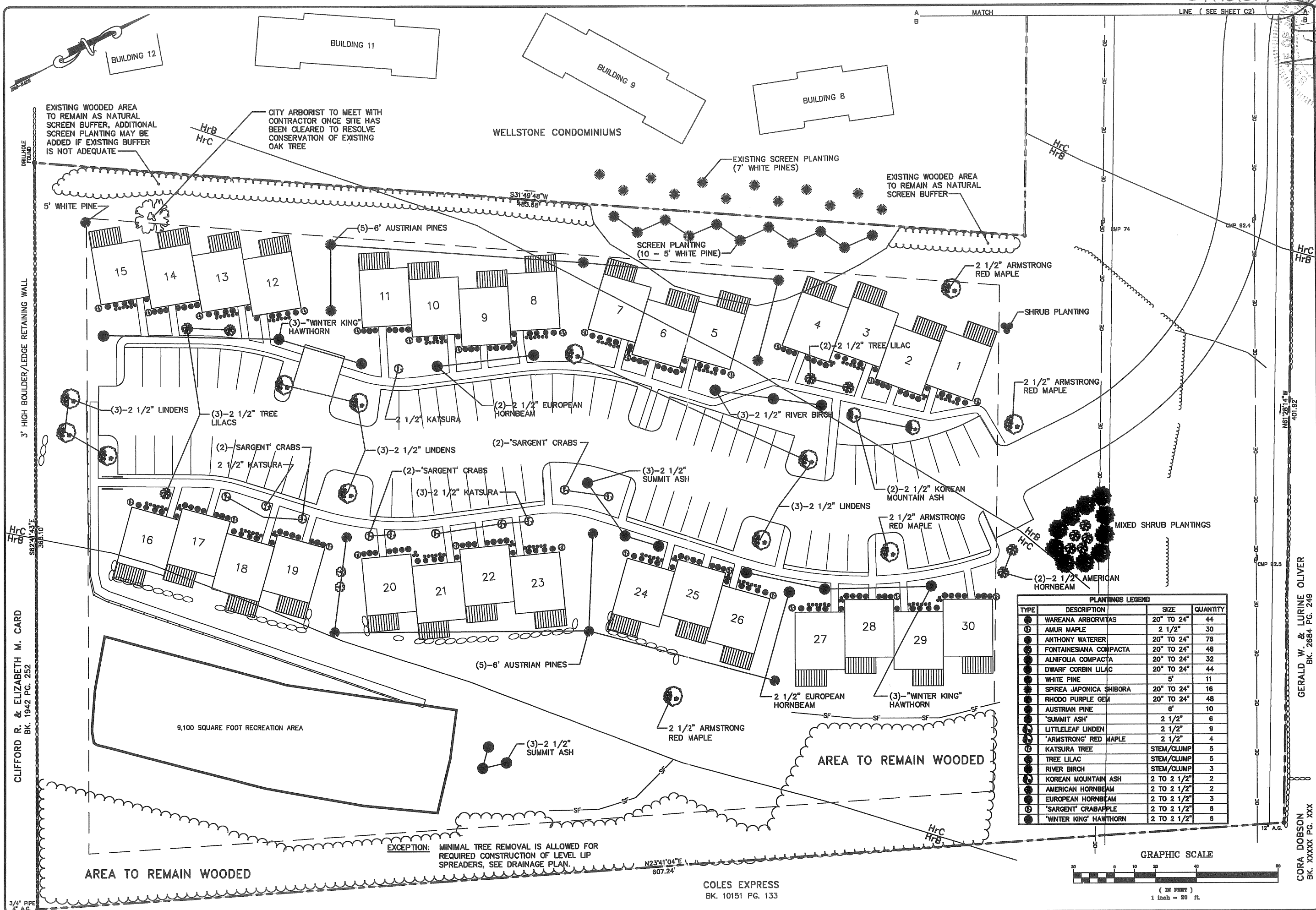
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 FILE: 98037  
 SHEET: C13

CLIFFORD R. & ELIZABETH M. CARD  
 REG. 1042 PG. 359

GERALD W. & LURINE OLIVER  
 BK. 2004 PG. 249

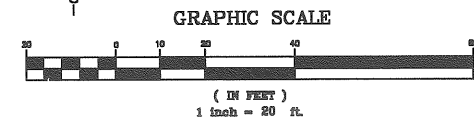
CORA DOBSON  
 BK. XXXX PG. XXX





**PLANTINGS LEGEND**

TYPE	DESCRIPTION	SIZE	QUANTITY
●	WAREANA ARBORVITAS	20" TO 24"	44
⊕	AMUR MAPLE	2 1/2"	30
●	ANTHONY WATERER	20" TO 24"	76
●	FONTAINEIANA COMPACTA	20" TO 24"	48
●	ALNFOLIA COMPACTA	20" TO 24"	32
●	DWARF CORBIN LILAC	20" TO 24"	44
●	WHITE PINE	5'	11
●	SPIREA JAPONICA SHIBORA	20" TO 24"	16
●	RHODO PURPLE GEM	20" TO 24"	48
●	AUSTRIAN PINE	6'	10
●	'SUMMIT ASH'	2 1/2"	6
●	LITTLELEAF LINDEN	2 1/2"	9
●	'ARMSTRONG' RED MAPLE	2 1/2"	4
⊕	KATSURA TREE	STEM/CLUMP	5
●	TREE LILAC	STEM/CLUMP	5
●	RIVER BIRCH	STEM/CLUMP	3
●	KOREAN MOUNTAIN ASH	2 TO 2 1/2"	2
●	AMERICAN HORNBEAM	2 TO 2 1/2"	2
●	EUROPEAN HORNBEAM	2 TO 2 1/2"	3
⊕	'SARGENT' CRABAPPLE	2 TO 2 1/2"	6
●	'WINTER KING' HAWTHORN	2 TO 2 1/2"	6



**LANDSCAPE PLAN**

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

**REVISIONS**


**DATE :** 12/23/98

**SCALE :** 1"=20'

**DRAWN :** ED/AJC

**FILE:** 98037

**SHEET:** 1

**PROJECT: SEAWARD HEIGHTS**  
 OCEAN AVENUE  
 PORTLAND, MAINE

**FOR: TIMBERLAND DEVELOPMENT**

GERALD W. & LURINE OLIVER  
 BK. 2684 PG. 249

CORA DOBSON  
 BK. XXXX PG. XXX

COLES EXPRESS  
 BK. 10151 PG. 133

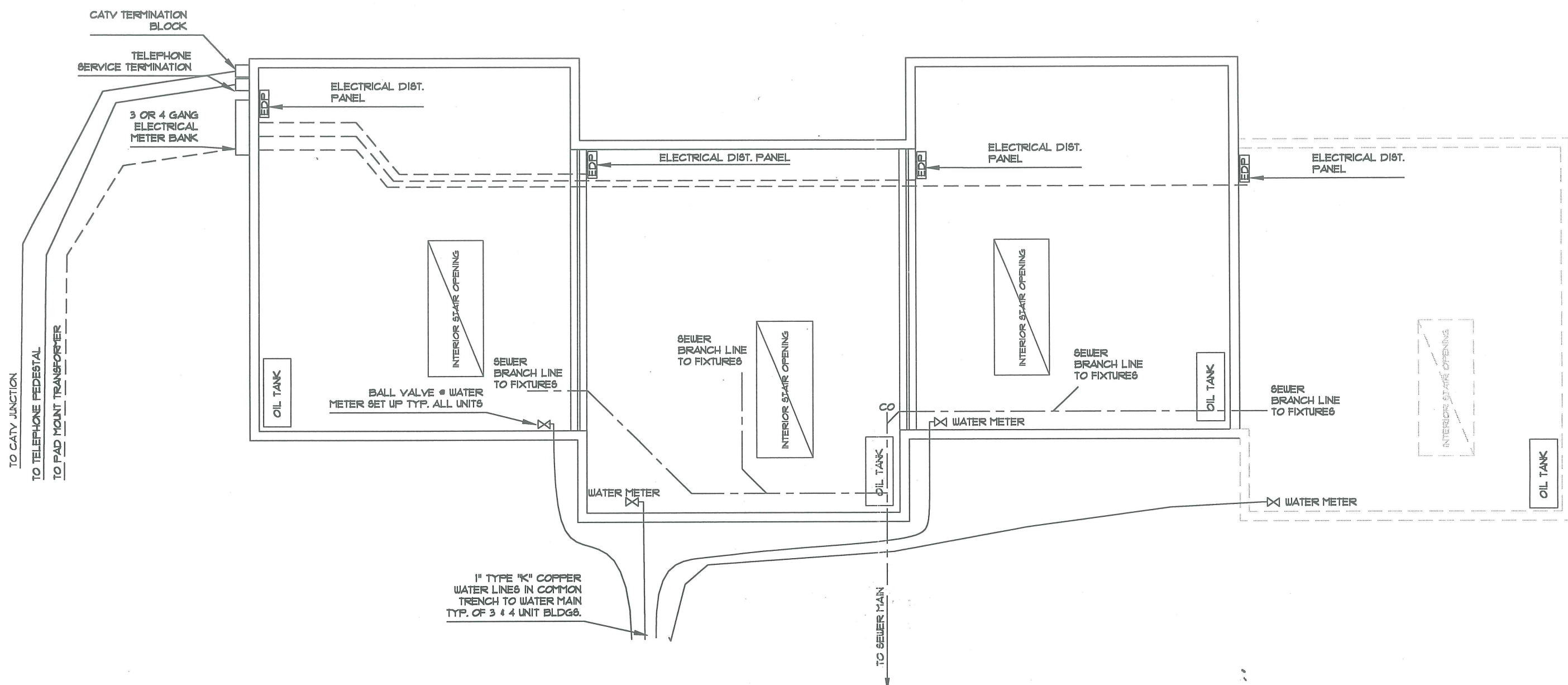
CLIFFORD R. & ELIZABETH M. CARD  
 BK. 1942 PG. 252

3/4" PIPE  
 4" A.C.

1/5/98



7a



**THREE AND FOUR UNIT  
UTILITY ENTRANCE PLAN**

SCALE: 1/8"=1'-0"

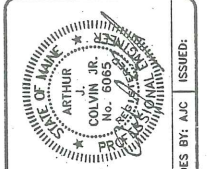
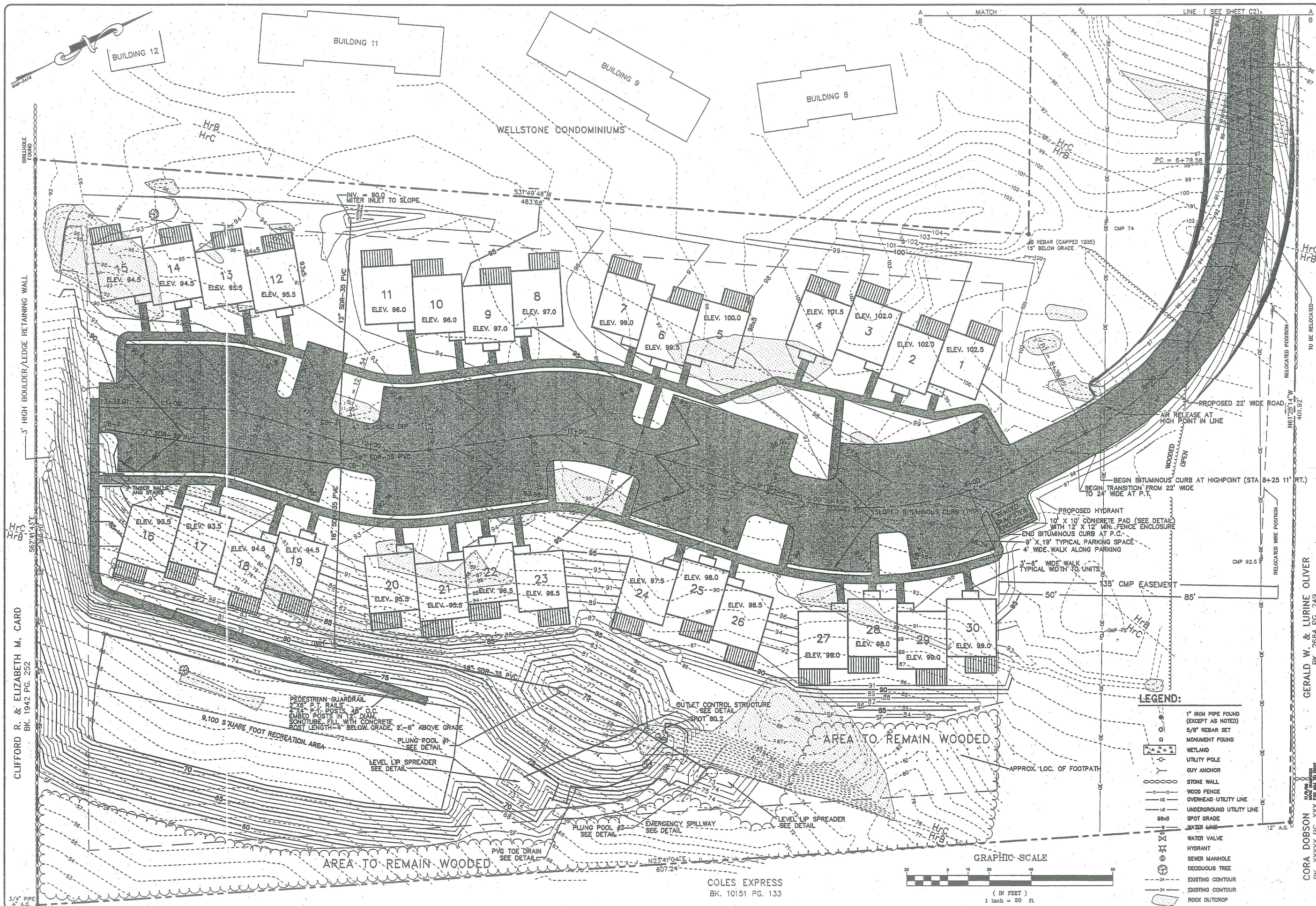
**ASSOCIATED DESIGN  
PARTNERS INC.**  
Office: 607.871.4333  
Fax: 607.871.1480  
E-Mail: tbs@janetel.com  
71 Federal Street  
Portland, Maine 04101

**TIMERLAND DEVELOPMENT CO.**  
SEAWARD HEIGHTS  
OCEAN AVENUE, PORTLAND, MAINE  
PROJECT:  
SHEET TITLE  
UTILITY ENTRANCE INTO BUILDING

DATE:	12/28/98
SCALE:	AS NOTED
DRAWN BY:	DTL
FILE No.	98075BLDNG
PROJECT NUMBER:	98037
SHEET:	OF <b>SK 1</b>



7b



**GRADING, DRAINAGE, EROSION & STORMWATER CONTROL PLAN**  
**PROJECT: SEAWARD HEIGHTS**  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
**FOR: TIMBERLAND DEVELOPMENT**

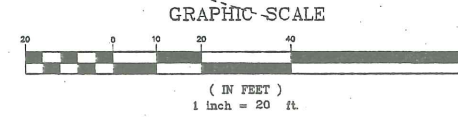
REVISIONS	
9/20/98	REMOVE CULDESAC ADD REC. AREA
9/21/98	ADDED 3 UNITS FROM 27 TO 30
10/20/98	REV. ROAD REGRADE SITE
12/28/98	ADDED ADDITIONAL LEVEL LIP SPREAD

DATE : 12/28/98  
 SCALE : 1"=20'  
 DRAWN : A.J.C.  
 FILE: 98037  
 SHEET: C1

CLIFFORD R. & ELIZABETH M. CARD  
 BK. 1942 PG. 252

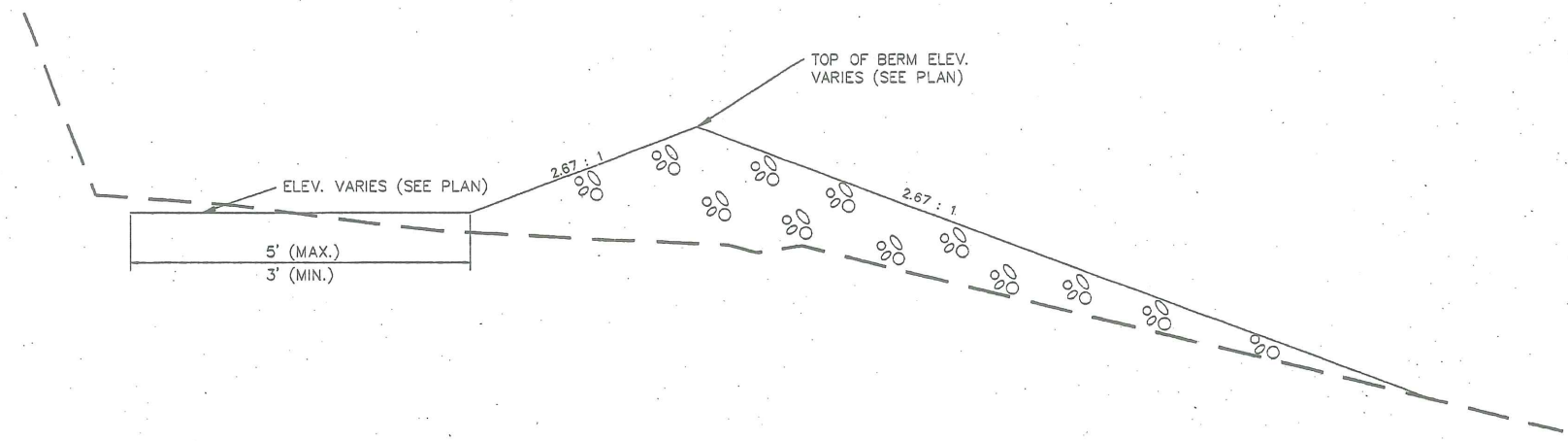
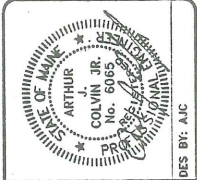
GERALD W. & LURINE OLIVER  
 BK. 2684 PG. 249

COLES EXPRESS  
 BK. 10151 PG. 133



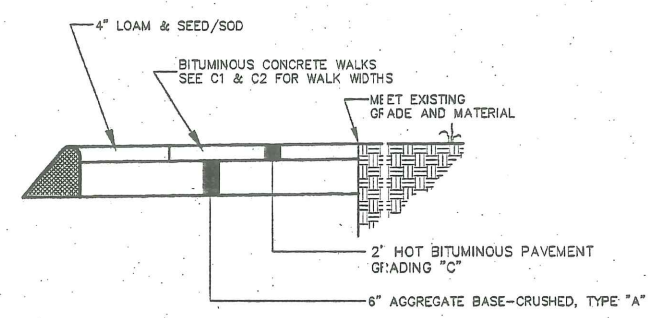


7c

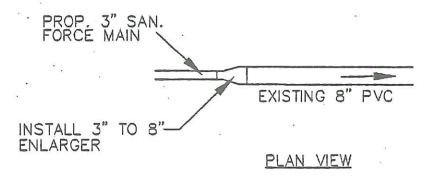


- NOTES**
1. THE BOTTOM OF THE LEVEL LIP SPREADER DIMENSION IS 8' X 33'.
  2. ROCK BERM STONE SIZE: D50 = 3"-4", MIN D5 = 1/2".

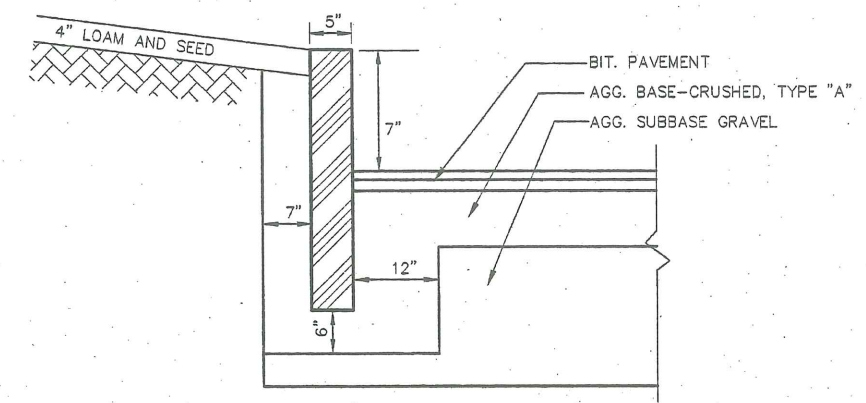
**LEVEL LIP SPREADER SECTION**  
SCALE: 1/2" = 1'



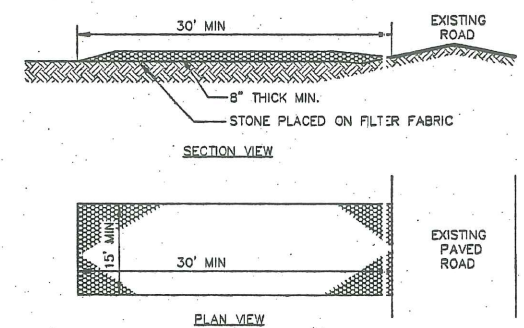
**TYPICAL WALKWAY**  
N.T.S.



**FORCE MAIN TERMINUS DETAIL**  
N.T.S.

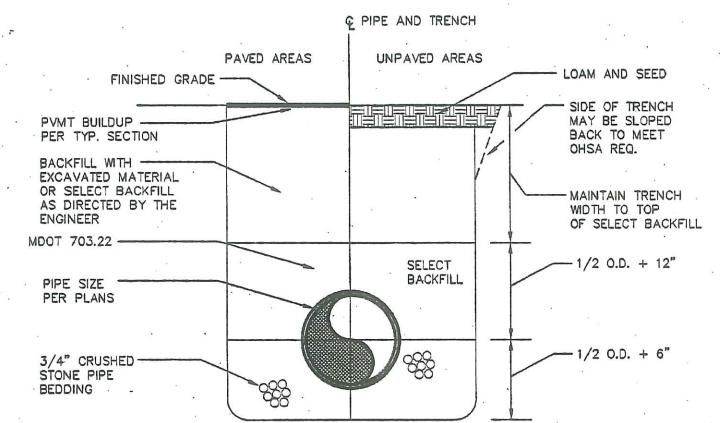


**TYPICAL GRANITE CURB**  
N.T.S.

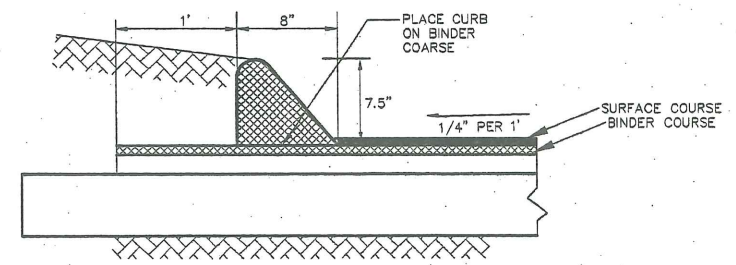


- NOTES**
1. STONE SIZE: 2 1/2" TO 1 1/2" USE CRUSHED STONE.
  2. THICKNESS: MINIMUM OF 8".
  3. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC TRAVELED WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE.

**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**TYPICAL STORM AND SANITARY TRENCH DETAIL**  
N.T.S.



**TYPICAL SLOPED BITUMINOUS CURB (MDOT TYPE 3-MOLD 2)**  
N.T.S.

NO.	DATE	DESCRIPTION	BY
3	12/28/98	REVISED LEVEL LIP SPREADER SECTION	E.DURE
2	11/10/98	ADDED MDOT TYPE 3-MOLD 2 CURB	AJC
1	11/10/98	ADDED CURB TO SIDEWALK DETAIL	AJC

**SITE DETAILS**

**PROJECT: SEAWARD HEIGHTS**  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

**FOR: TIMBERLAND DEVELOPMENT**

**REVISIONS**

**DATE : 12/28/98**

**SCALE :AS SHOWN**

**DRAWN : AJC**

**FILE: 98037**

**SHEET: C6**



7d



DES. BY: A.J.C. ISSUED: 12-28-98

**SITE UTILITIES PLAN  
WATER AND SEWER**

PROJECT: SEAWARD HEIGHTS  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**

71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

FOR: **TIMBERLAND DEVELOPMENT**

**REVISIONS**

1	ELIMINATED GAS LINE
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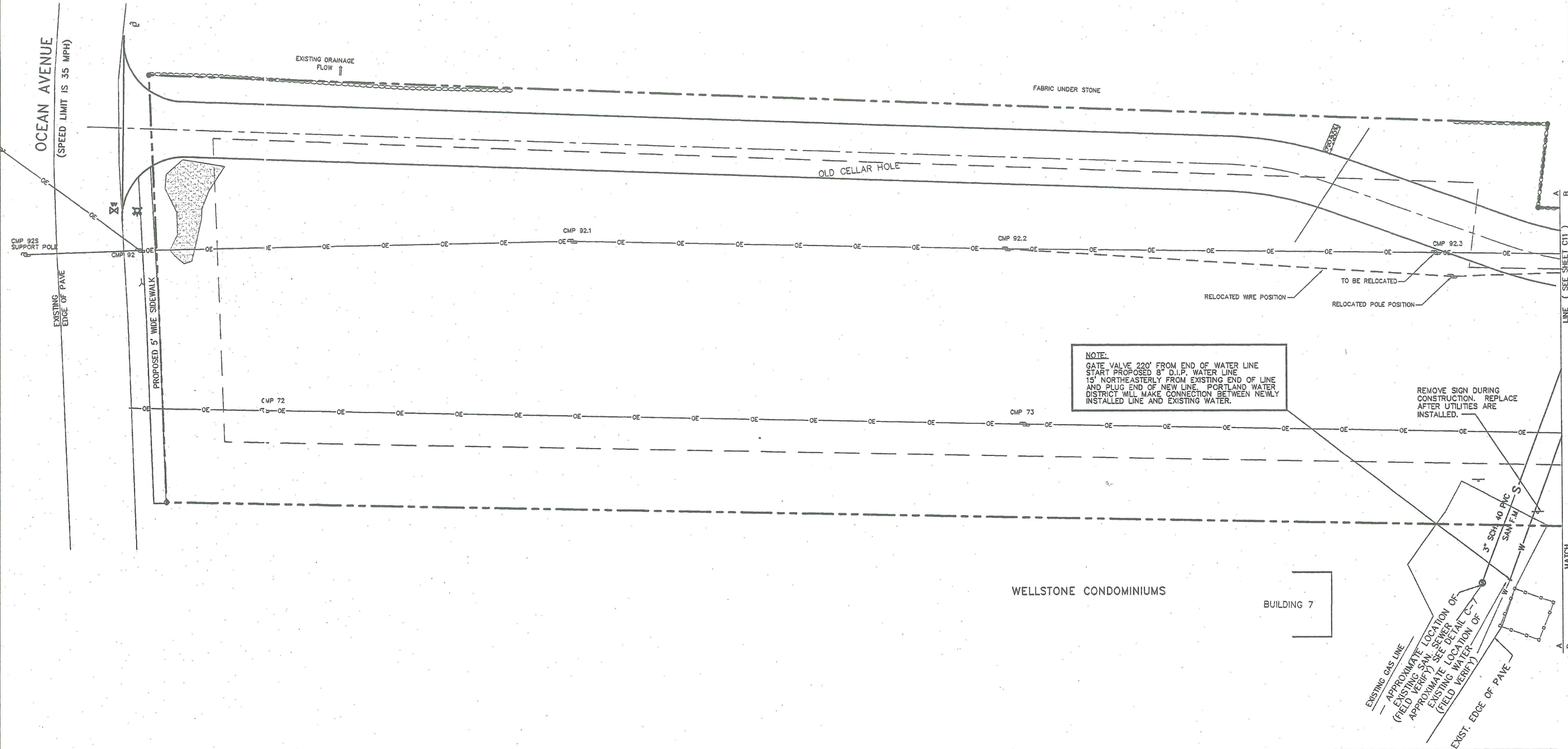
DATE : 12/28/98

SCALE : 1"=20'

DRAWN : A.J.C./D.M.L.

FILE: 98037

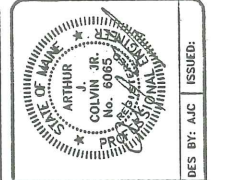
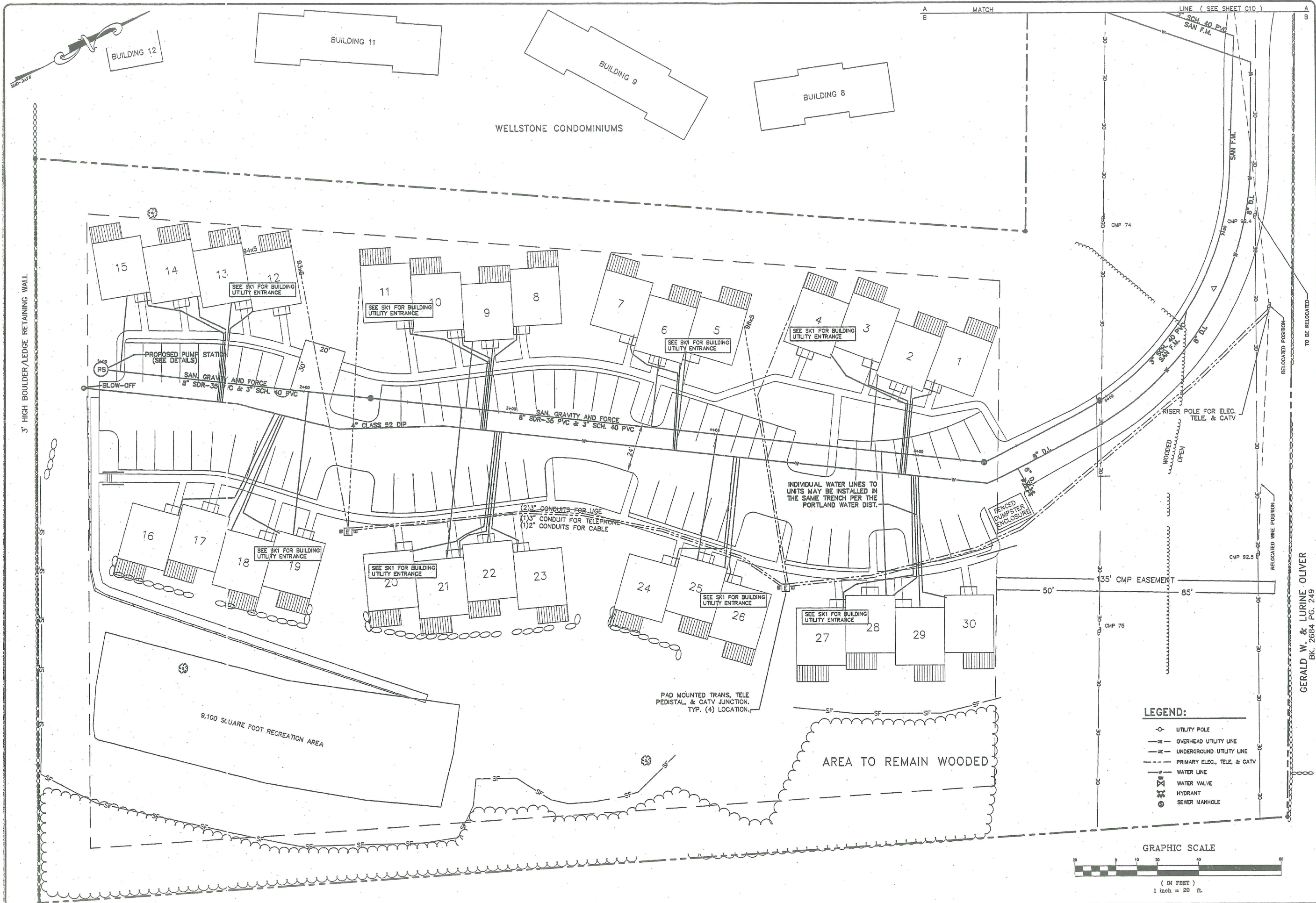
SHEET: **C10**



NO.	DATE	DESCRIPTION	BY
1	12-28-98	ELIMINATED GAS LINE	E.DUBE



7e



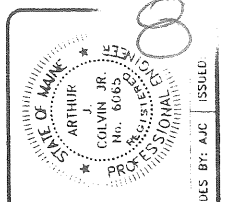
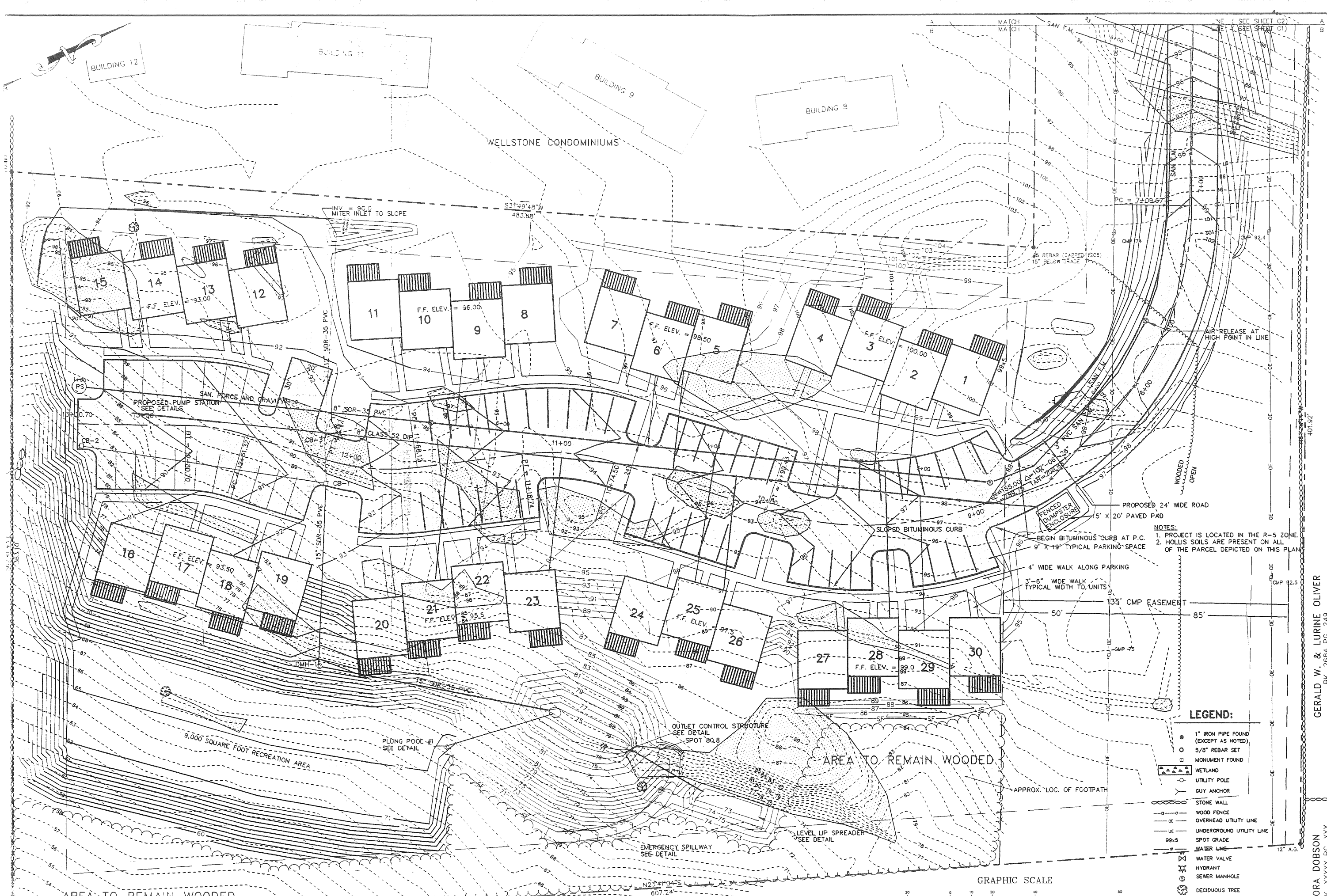
**SITE UTILITES PLAN  
 WATER, SEWER, ELEC. TELE., & CATV**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

GERALD W. & LURINE OLIVER  
 BK. 2684 PG. 249

DATE : 12/28/98  
 SCALE : 1"=20'  
 DRAWN : AJC/DML  
 FILE: 98037  
 SHEET: **C11**





**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
**FOR: TIMBERLAND DEVELOPMENT**

**GRADING, DRAINAGE, UTILITY & EROSION CONTROL PLAN**  
**PROJECT: SEAWARD HEIGHTS**  
 OCEAN AVENUE  
 PORTLAND, MAINE

**GERALD W. & LURINE OLIVER**  
 BK. 2684 PG. 249

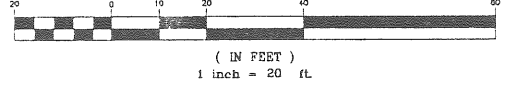
**CORA DOBSON**  
 BK. XXXX PG. XXX

- NOTES:**
1. PROJECT IS LOCATED IN THE R-5 ZONE.
  2. HOLLIS SOILS ARE PRESENT ON ALL OF THE PARCEL DEPICTED ON THIS PLAN.

**LEGEND:**

- 1" IRON PIPE FOUND (EXCEPT AS NOTED)
- 5/8" REBAR SET
- MONUMENT FOUND
- ▨ WETLAND
- UTILITY POLE
- GUY ANCHOR
- STONE WALL
- WOOD FENCE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- SPOT GRADE
- WATER LINE
- WATER VALVE
- HYDRANT
- SEWER MANHOLE
- DECIDUOUS TREE
- EXISTING CONTOUR
- EXISTING CONTOUR
- ROCK OUTCROP

**GRAPHIC SCALE**

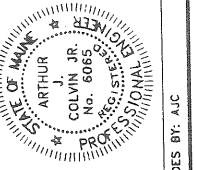


COLES EXPRESS  
 BK. 10151 PG. 133

REVISIONS	
8/10/98	Water & Sewer to units added.
9/20/98	ADDED 3 UNITS TO 27 TO 30 FROM 27 TO 30 UNITS TOTAL
9/21/98	ADDED 3 UNITS FROM 27 TO 30 UNITS TOTAL

**DATE :** 9/16/98  
**SCALE :** 1"=20'  
**DRAWN :** AJC  
**FILE:** 98037  
**SHEET:** C1

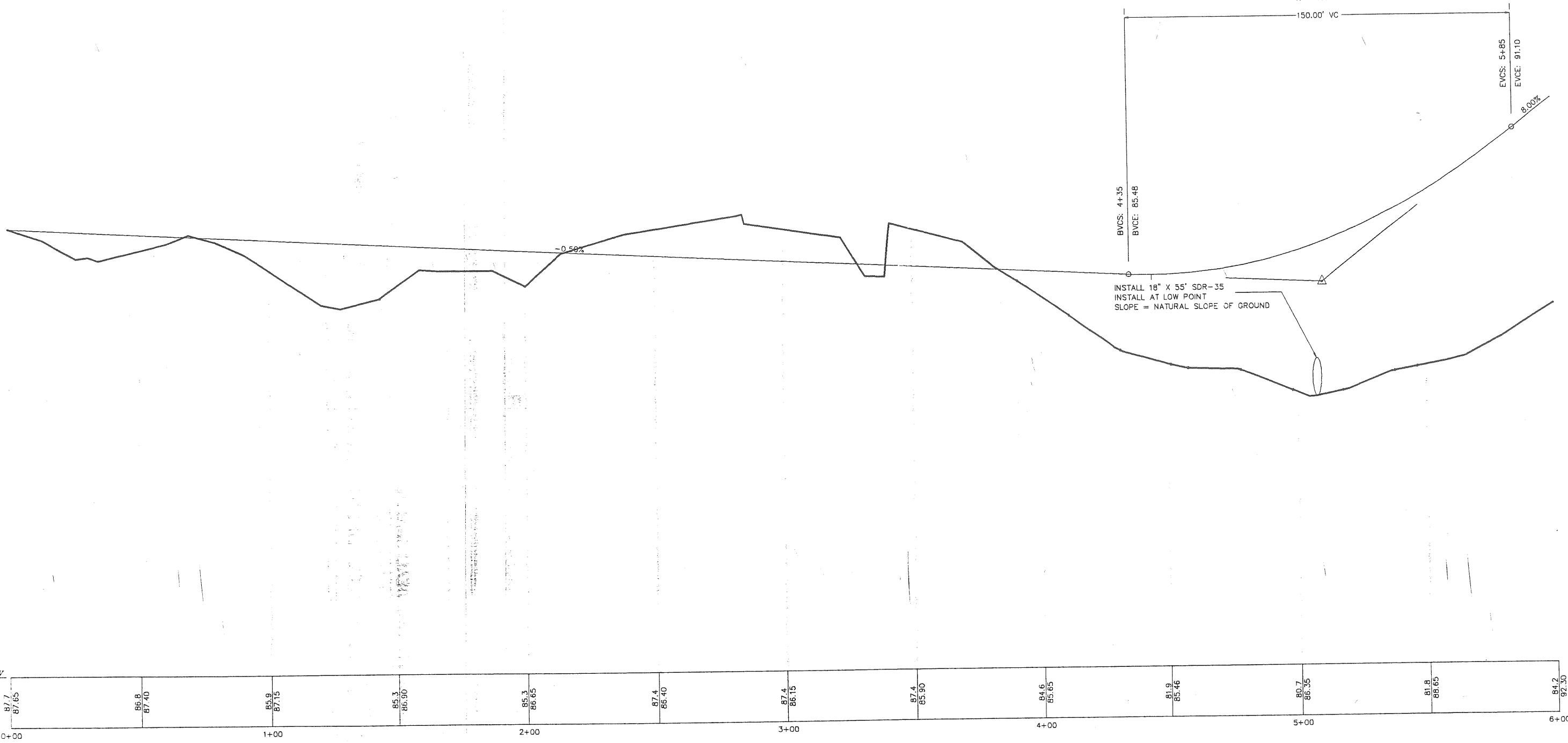




DES BY: AJC

86

LOW POINT ELEV = 85.45  
 LOW POINT STA = 4+43.82  
 PVI STA = 5+10  
 PVI ELEV = 85.10  
 A.D. = 8.50  
 K = 17.65



0+00	87.7 87.65	86.8 87.40	85.9 87.15	85.3 86.90	85.3 86.65	87.4 86.40	87.4 86.15	87.4 85.90	84.6 85.65	81.9 85.46	80.7 86.35	81.8 86.65	84.2 87.30	6+00
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### ROAD PROFILE

SCALE 1"=20' HORZ.  
 1"=2' VERT.

NO.	DATE	DESCRIPTION	BY
1	9/20/98	EDITED PROFILE	AJC

**ROAD PROFILE**  
 PROJECT: SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333  
 FOR: **TIMBERLAND DEVELOPMENT**

**REVISIONS**


DATE : 9/16/98

SCALE : 1"=20'

DRAWN : AJC

FILE: 98037

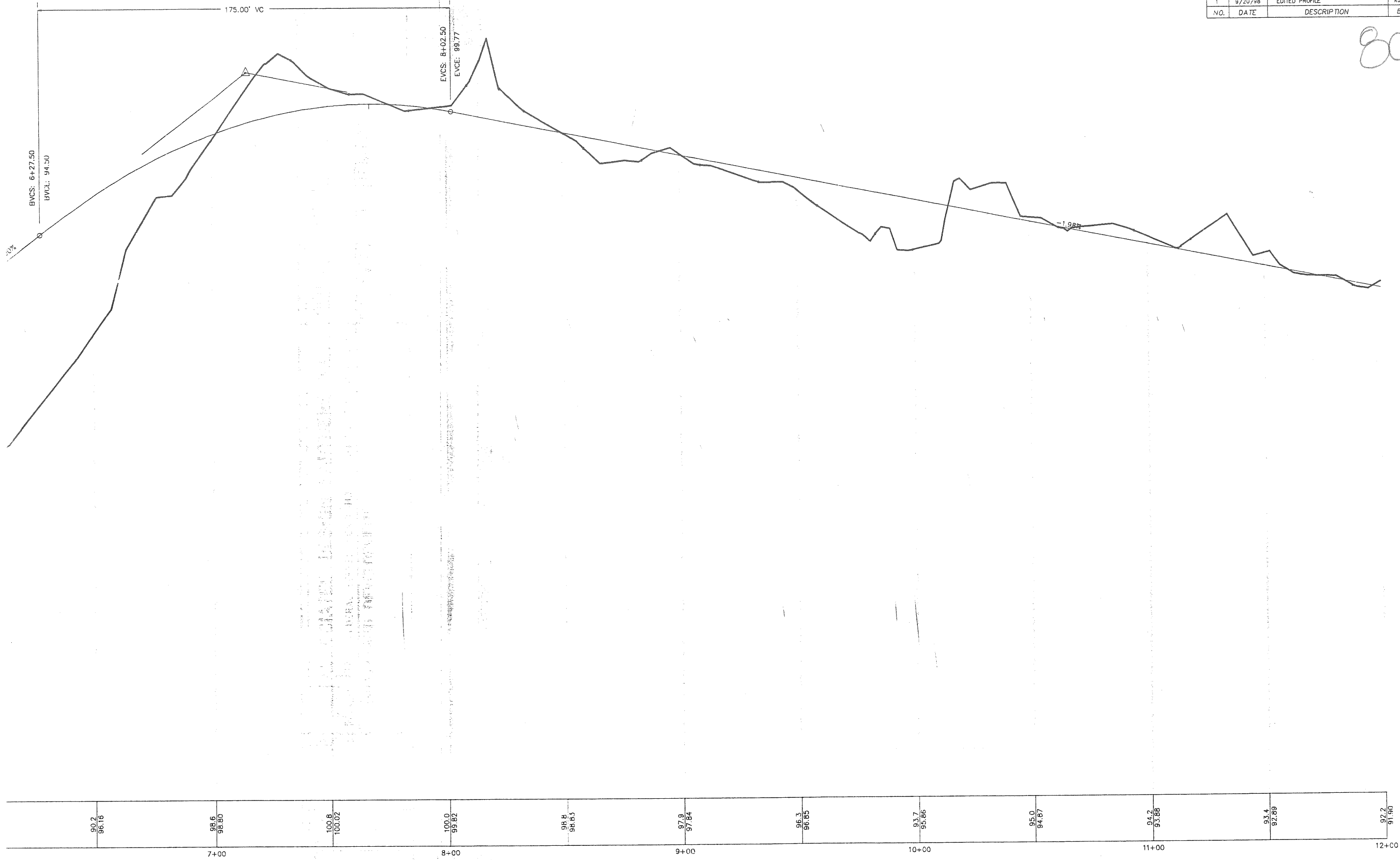
SHEET: PR-1



HIGH POINT ELEV = 100.11  
 HIGH POINT STA = 7+67.79  
 PVI STA = 7+15  
 PM ELEV = 101.50  
 A.C. = -9.98  
 K = 17.54

1	9/20/98	EDITED PROFILE	AJC
NO.	DATE	DESCRIPTION	BY

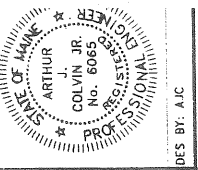
ec



90.2 96.16	98.6 98.80	100.8 100.02	100.0 99.82	98.8 98.63	97.9 97.84	96.3 96.85	93.7 95.66	95.0 94.87	94.2 93.88	93.4 92.89	92.2 91.90
7+00	8+00	9+00	10+00	11+00	12+00						

### ROAD PROFILE

SCALE 1"=20' HORZ.  
 1"=2' VERT.



DES BY: AJC

### ROAD PROFILE

PROJECT SEAWARD HEIGHTS  
 OCEAN AVENUE  
 PORTLAND, MAINE

ASSOCIATED DESIGN PARTNERS INC.  
 71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

FOR: TIMBERLAND DEVELOPMENT

#### REVISIONS


DATE : 9/16/98

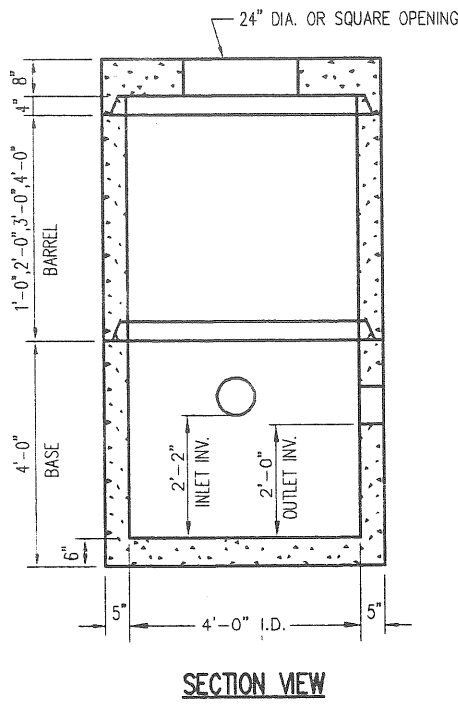
SCALE : 1"=20'

DRAWN : AJC

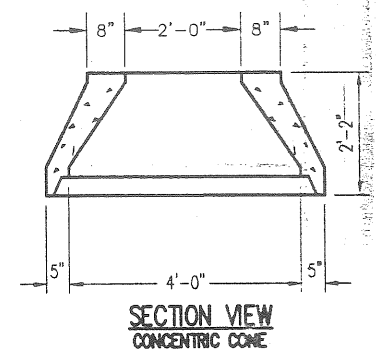
FILE: 98037

SHEET: PR-2

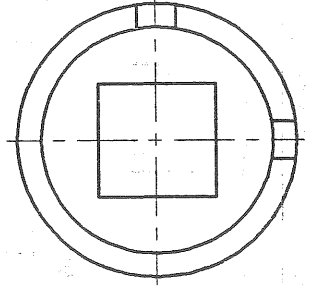




CATCH BASIN DETAIL

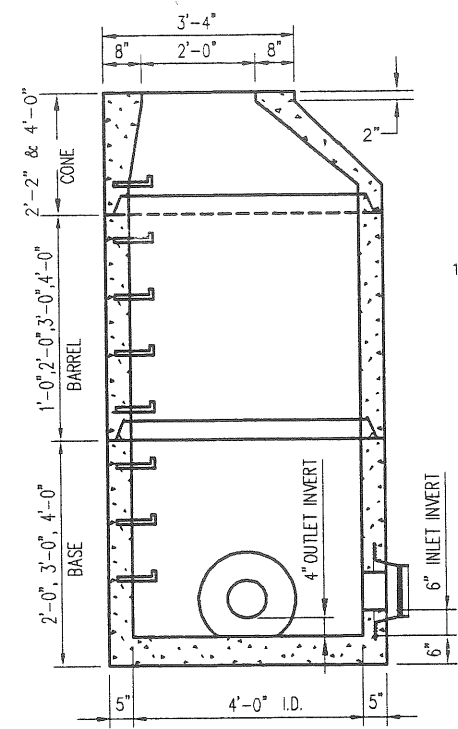
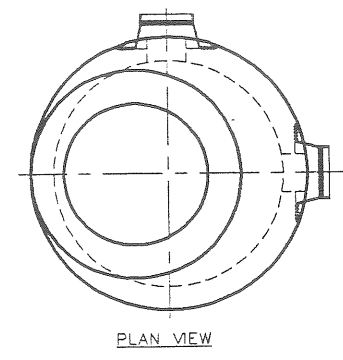


- NOTES:**
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
  2. REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
  3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
  4. EACH CASTING TO HAVE LIFTING PINS CAST IN.
  5. EACH SECTION TO BE LABELED AS NOTED.
  6. PIPE OPENINGS CAST IN AS REQUIRED.



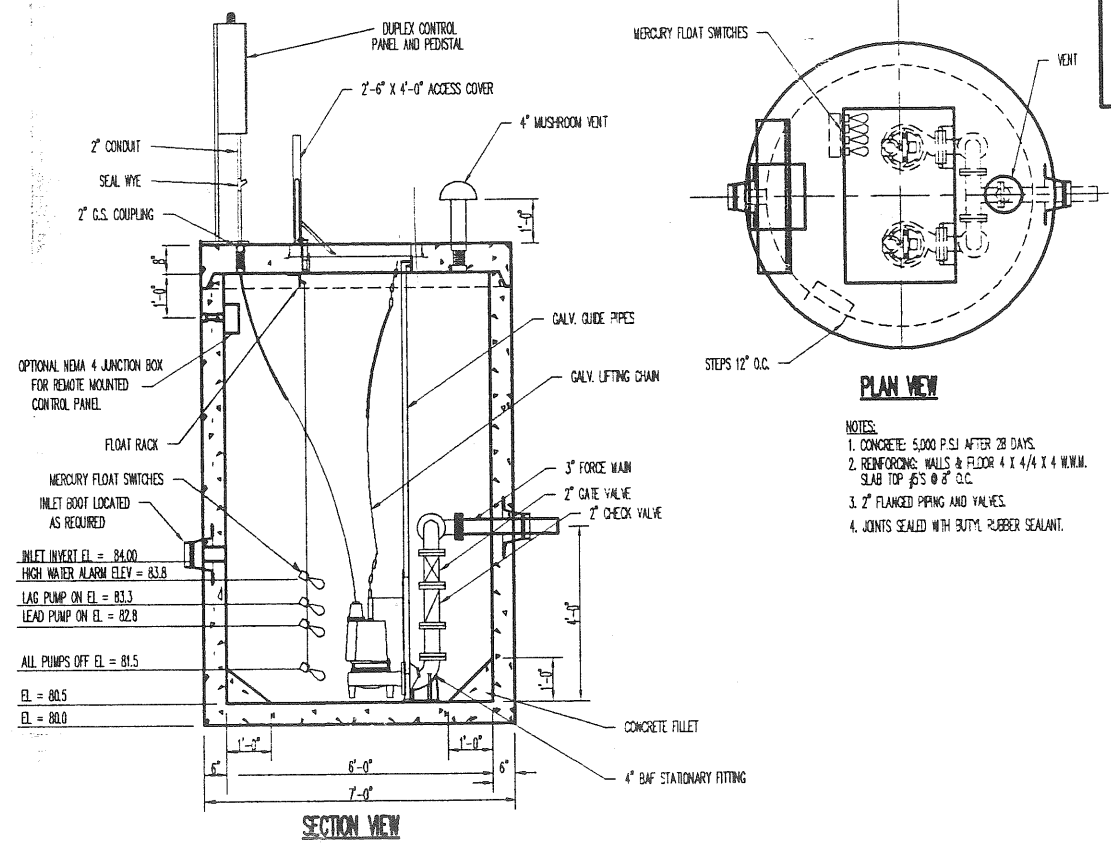
**MANHOLE AND CATCH BASIN GENERAL NOTES**

1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 lbs. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478--67
3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET. PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



SANITARY MANHOLE DETAIL

- NOTES:**
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
  2. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
  3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
  4. EXTERIOR ASPHALT COATED.
  5. LOCK JOINT FLEXIBLE PIPE SLEEVES, CAST IN.
  6. EACH CASTING TO HAVE LIFTING PINS CAST IN.
  7. EACH SECTION TO BE LABELED AS NOTED.
  8. MANHOLE STEPS @ 12" O.C.
  9. 2" LIP AT TOP OF CONE PROVIDED TO ACCOMODATE VACUUM TESTING.
  10. EARTH BELOW STRUCTURE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY METHOD SHALL BE THE ASTM D-1557 "MODIFIED PROCTOR".



PUMP STATION & AIR RELEASE VALVE DETAILS

- NOTE:**
- AIR RELEASE VALVE SHALL BE INSTALLED WITHIN A TYPICAL SANITARY MANHOLE WITH ACCESS COVER AND STEPS. INLET AND OUTLET SHALL BE MODIFIED TO ACCEPT 3" FORCE MAIN. AIR RELEASE VALVE SHALL BE ADEQUATELY SUPPORTED AND RESTRAINED WITHIN THE MANHOLE STRUCTURE.

- NOTES:**
1. CONCRETE: 5,000 P.S.I AFTER 28 DAYS.
  2. REINFORCING: WALLS & FLOOR 4 X 4/4 X 4 W.W.M. SLAB TOP 5'S @ 8" O.C.
  3. 2" FLANGED PIPING AND VALVES.
  4. JOINTS SEALED WITH BUTYL RUBBER SEALANT.

SITE DETAILS

ASSOCIATED DESIGN PARTNERS INC.



71 FEDERAL STREET; PORTLAND, ME. 04101 (207) 871-8333

FOR: TIMBERLAND DEVELOPMENT

PROJECT: SEAWARD HEIGHTS

OCEAN AVENUE  
PORTLAND, MAINE

REVISIONS

DATE : 9/16/98

SCALE :AS SHOWN

DRAWN : AJC

FILE: 98037

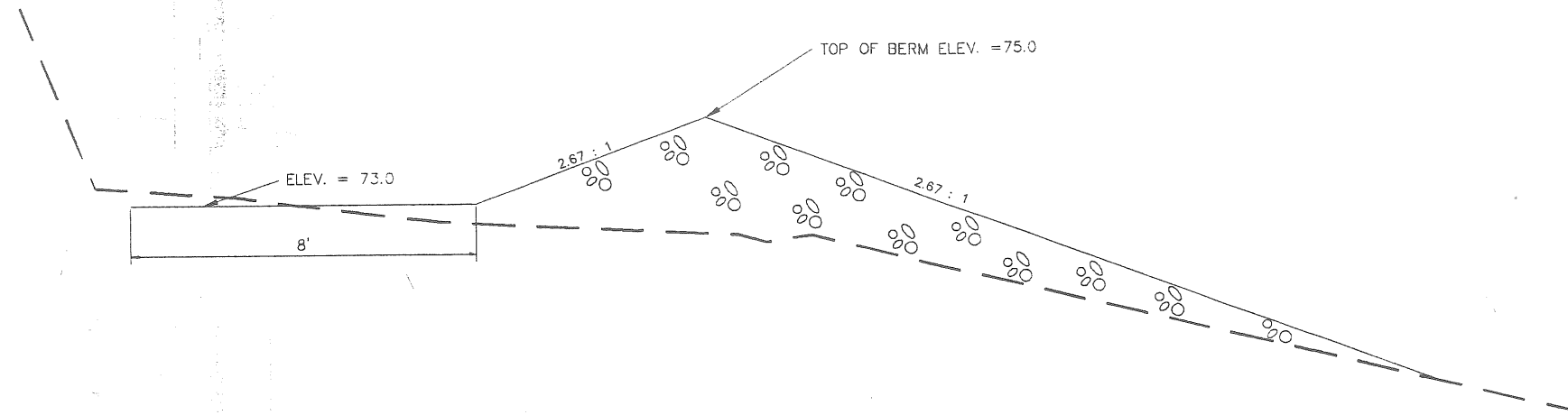
SHEET: D2

NO.	DATE	DESCRIPTION	BY
2	8/24/98	ADDED AIR RELEASE DETAIL	AJC
1	8/24/98	ADDED PUMP STATION	AJC

DATE: 8/24/98



8e

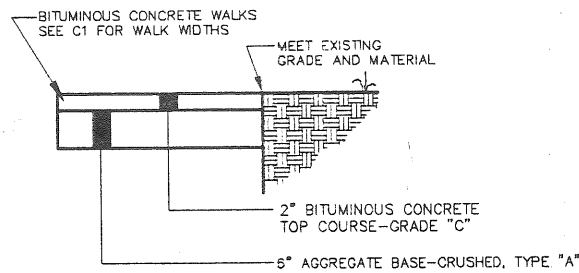


**LEVEL LIP SPREADER SECTION**

SCALE: 1/2" = 1'-0"

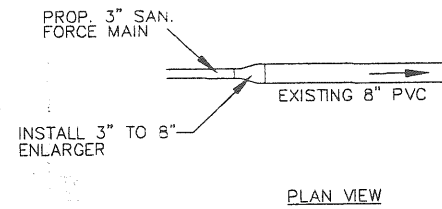
**NOTES**

1. THE BOTTOM OF THE LEVEL LIP SPREADER DIMENSION IS 8' X 33'.
2. ROCK BERM STONE SIZE: D50 = 3"- 4", MIN D5 = 1/2".



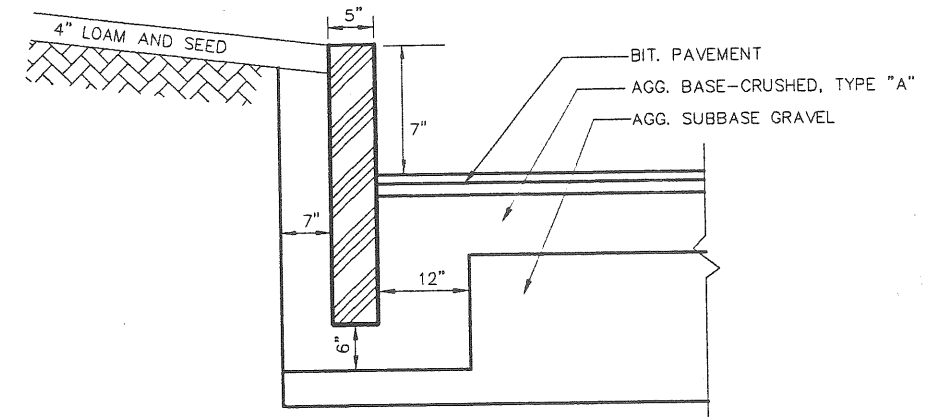
**TYPICAL WALKWAY**

N.T.S.

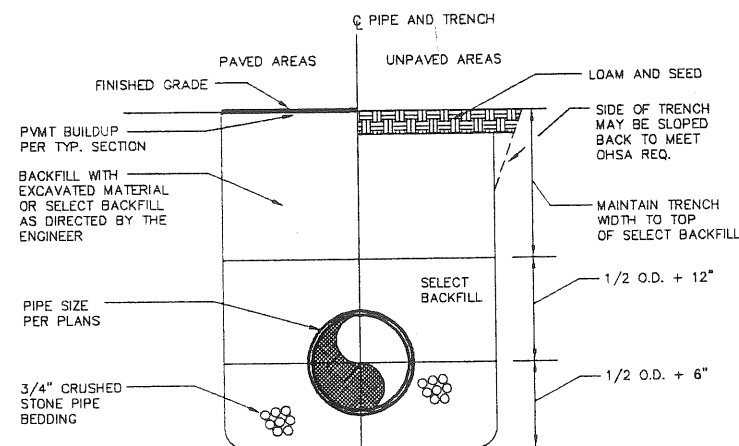


**FORCE MAIN TERMINUS DETAIL**

N.T.S.

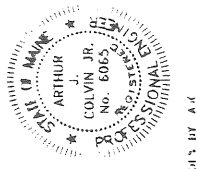


**TYPICAL GRANITE CURB**



**TYPICAL PIPE TRENCH SECTION**

N.T.S.



**SITE DETAILS**

**PROJECT SEAWARD HEIGHTS**  
OCEAN AVENUE  
PORTLAND, MAINE

**ASSOCIATED DESIGN PARTNERS INC.**  
71 FEDERAL STREET, PORTLAND, ME. 04101 (207) 871-8333  
FOR: **TIMBERLAND DEVELOPMENT**

**REVISIONS**


DATE : 9/16/98

SCALE : AS SHOWN

DRAWN : AJC

FILE: 98037

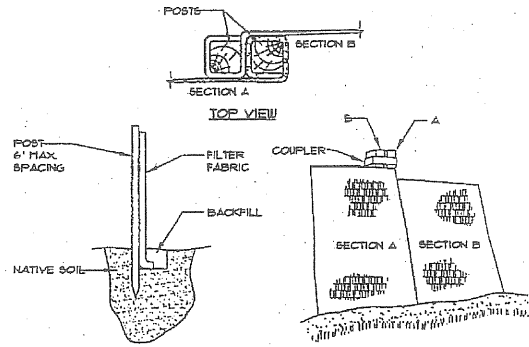
SHEET:

**D4**



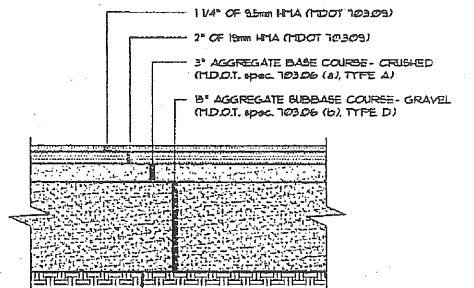






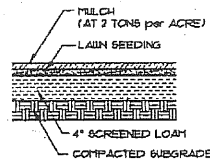
- INSTALLATION:**
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOP-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOP-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI BILT FENCE OR EQUAL.

**FILTER BARRIER**  
NOT TO SCALE

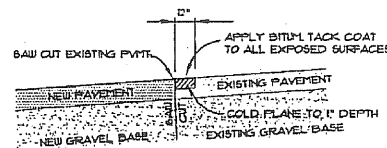


- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 90% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

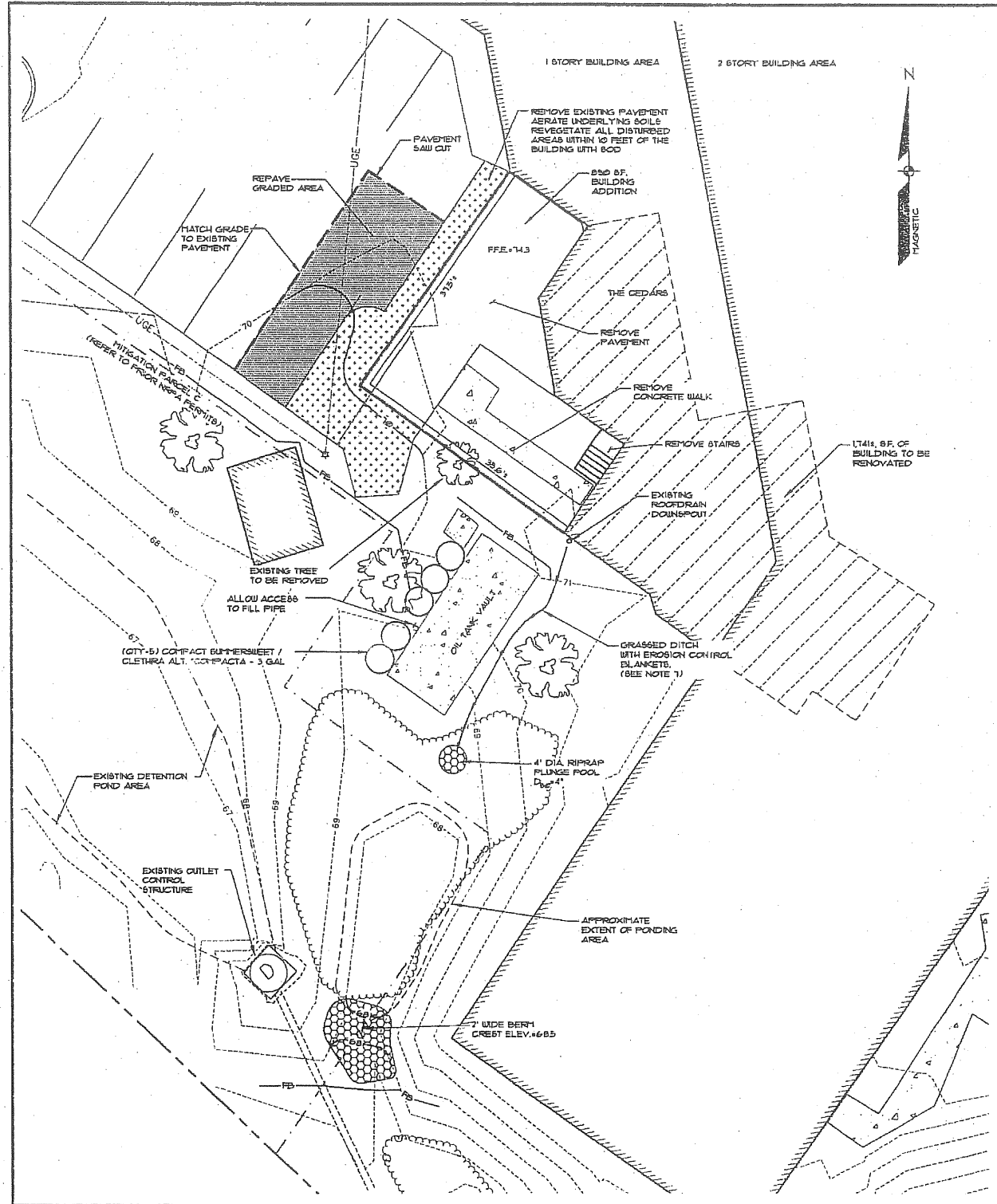
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



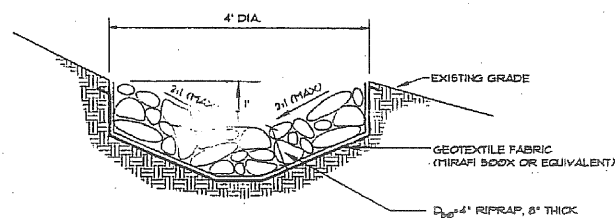
**LOAM AND SEED**  
NOT TO SCALE



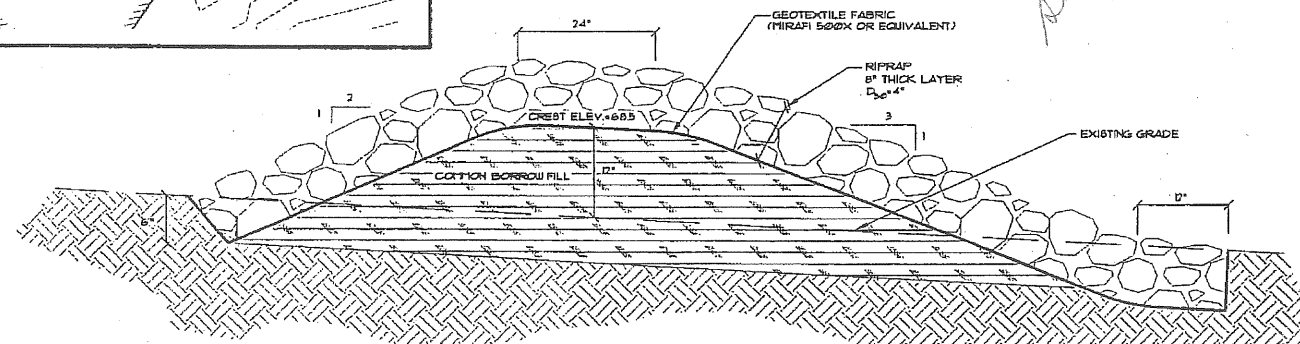
**PAVEMENT SAW CUT**  
NOT TO SCALE



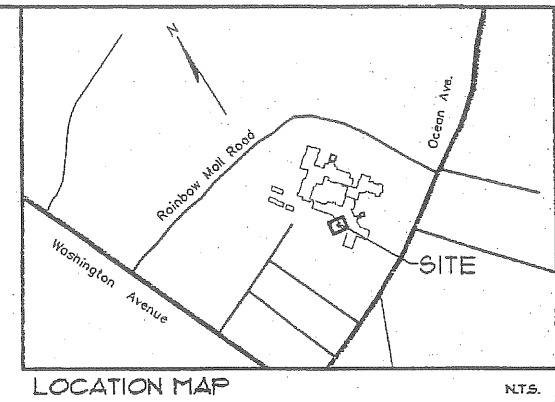
**PLAN VIEW**  
SCALE: 1"=10'



**PLUNGE POOL**  
NOT TO SCALE



**BERM DETAIL**  
NOT TO SCALE



**LOCATION MAP** N.T.S.

**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS CEDARS NURSING CARE CENTER, INC. AND JHA PROPERTIES, INC. BY DEED DATED JUNE 30, 2006 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24129 PAGE 287.
2. THE PROPERTY IS SHOWN AS LOT A013 ON THE CITY OF PORTLAND TAX MAP 174
3. SPACE AND BULK CRITERIA:
 

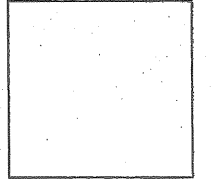
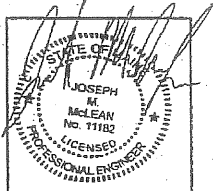
	REQUIRED	PROPOSED
R-3 RESIDENTIAL ZONE		
MAX. LOT COVERAGE:	.35%	16.9%
MIN. LOT SIZE:	2 AC*	10.57 AC.
MIN. LOT WIDTH:	65 FT.	<65 FT.
MIN. STREET FRONTAGE:	50 FT.	477 FT.
MIN. FRONT YARD:	25 FT.	<25 FT.
MIN. SIDE YARD:	14 FT.**	<14 FT.
MIN. REAR YARD:	25 FT.	<25 FT.
MAX. BUILDING HEIGHT:	.35 FT.	>35 FT.
PARKING REQUIREMENT:	149 SP***	186 SP

\*FOR LONG TERM, EXTENDED, OR INTERMEDIATE CARE FACILITIES  
\*\*FOR 2 STORY STRUCTURES  
\*\*\*REFER TO PARKING REQUIREMENT STUDY DATED 3-22-05 PREPARED BY LAND USE CONSULTANTS.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.57 ACRES (460,350 S.F.).
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY TITCOMB ASSOCIATES, INC.
6. PLAN REFERENCES:  
A. CEDARS CONDOMINIUMS - CONDOMINIUM PLAN - ALTA/ACSM LAND TITLE SURVEY PREPARED BY TITCOMB ASSOCIATES, INC. DATED 6-30-06
7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ALONG THE DITCH CENTERLINE PER MANUFACTURER'S INSTRUCTIONS AND SHALL BE "CURLEX 1" AS MANUFACTURED BY AMERICAN EXCELSIOR Co. OR APPROVED EQUIVALENT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	CONTOURS	---
---	UNDER GROUND ELEC. & TEL	---
---	FILTER BARRIER	FB

*Supercalled*



REV.	BY:	DATE:	STATUS:
E	JMM	10-01-08	REVISED CITY SUBMISSION
D	JMM	9-28-08	RELEASED TO ARCHITECT
C	JMM	9-18-08	ADDED BERM / POND
B	JMM	9-20-08	CITY OF PORTLAND APPLICATIONS
A	JMM	8-15-08	MDEP STORMWATER APPLICATION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

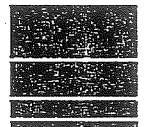
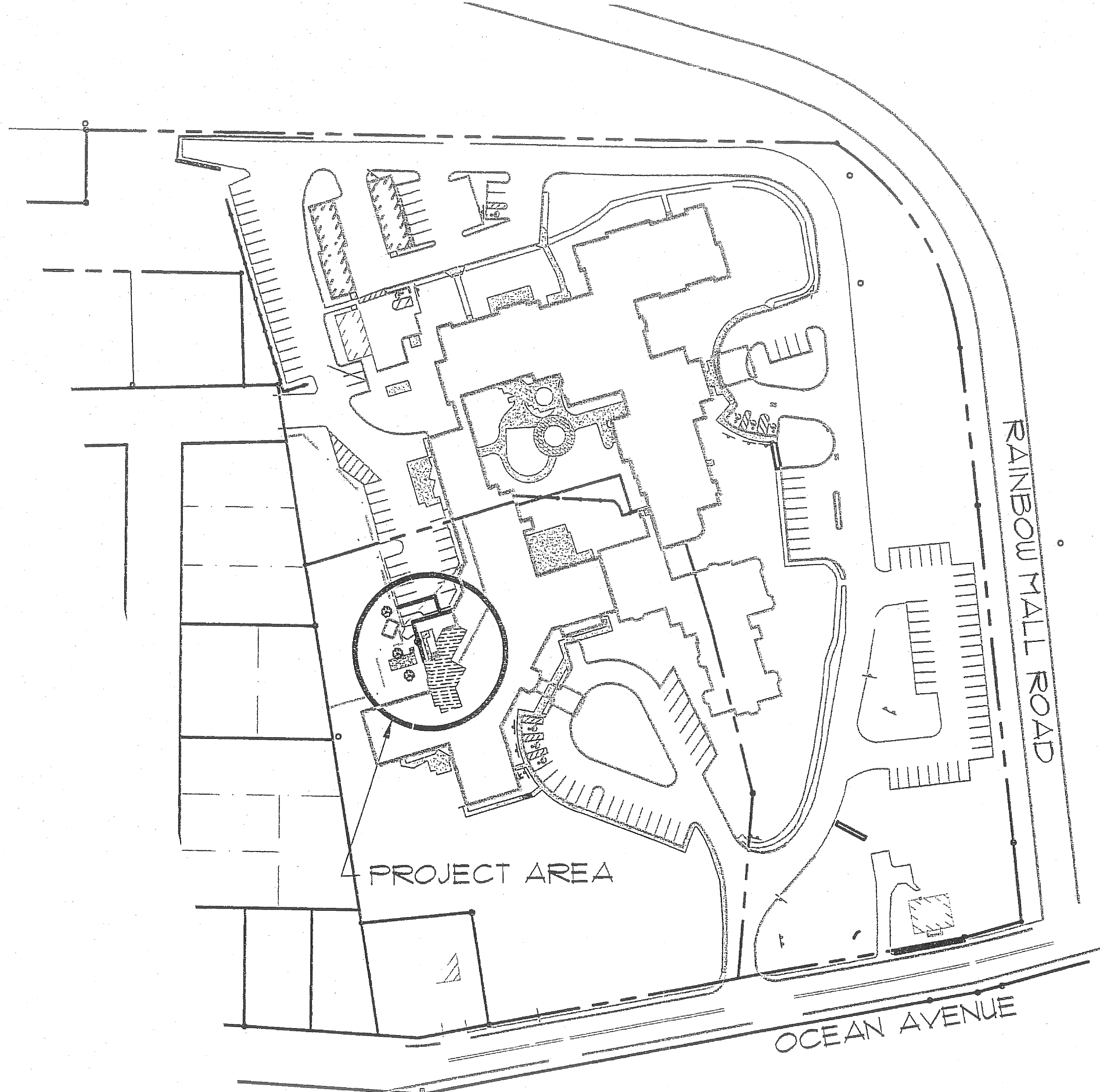
**Sebago Technics**  
Engineering Expertise You Can Build On  
250 Jackson Road, Suite B  
Portland, Maine 04249  
Tel: (207)783-5656

PROJECT NO: FIELD BOOK DESIGN CHKD DRANN  
08318 JMM JBW PLS

**SITE PLAN**  
OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR:  
**CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103





**Sebago Technics**

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250 Goddard Road, Suite B  
Lewiston, Maine 04240  
Tel (207)783-5656

**PROJECT LOCATION MAP**  
OF:  
**CEDARS REHABILITATION CENTER ADDITION**  
630 OCEAN AVENUE  
PORTLAND, ME 04103

FOR:  
**CEDARS HEALTH CARE**  
630 OCEAN AVENUE  
PORTLAND, MAINE 04103

DESIGN BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	PLS
DATE:	9-16-08
SCALE:	1"=100'
FIELD BK:	N/A
PROJ. NO:	08318
DRAWING:	08318LOC

**SHEET 1 OF 1**