

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that UNIVERSITY OF NEW ENG. Located At 172 BISHOP ST

Job ID: 2012-08-4860-CH OF USE

CBL: 281- A-003-001

has permission to Build 17'x18' bus shelter on exst. foundation
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

A handwritten signature in black ink, appearing to read "Jamie Bouke".

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

12-4-12 GF CLOSE IN OK

12-4-12 OK BKL CLOSE IN

12-12-12 - ELEC NOT READY
FMG. OK

NO HVAC PERMIT
TITAN MECHANICAL
878-5223

L.P. TANK
NO PROTECTION

THENCE North 52 1/2° East by said Kenney's lot 49 Rods 2 Links to the Portland Terminal Company railroad land, formerly of the Portland & Rochester Railroad;

THENCE southeasterly by said Portland Terminal Company location 70 Rods to the first mentioned bounds or place of beginning.

EXCEPTING, however, from the above described premises two certain pieces or parcels of land, that first being 200 feet in length by 28 feet in width and lying parallel with the above-mentioned railroad, said parcel being conveyed by F.O.J. Bodge to Boston & Maine Railroad by warranty deed November 20, 1907, and recorded in the Cumberland County Registry of Deeds in Book 817, Page 29; and the second being a strip along a portion of the southeasterly and southwesterly side thereof, being conveyed by Lewis Lumber Co. to Central Maine Power Company by deed dated November 23, 1951, and recorded in said Registry in Book 2067, Page 107.

Both tracts are conveyed subject to the rights acquired for a sewer by the City of Portland by taking dated May 26, 1944, and recorded in the office of the City Clerk of the City of Portland, Maine, in Vol. 66, Page 263.

Also excepting the land described in the deed from Tilcon Minerals, Inc. to the City of Portland dated November 22, 1996, recorded in the Cumberland County Registry of Deeds in Book 12886, Page 212.

The premises are conveyed subject to the following rights and easements:

1. Rights and easements granted by Warren Bros. Roads Co. to Central Maine Power Company by instrument dated June 19, 1952, and recorded in the Cumberland County Registry of Deeds in Book 2097, Page 221.
2. Rights and easements granted by Warren Brothers Roads Company to Central Maine Power Company and New England Telephone and Telegraph Company by instrument dated January 27, 1967, and recorded in the Cumberland County Registry of Deeds in Book 2996, Page 102.
3. Rights and easements granted by Warren Brothers Co. to Portland Water District by instrument dated December 15, 1977, and recorded in the Cumberland County Registry of Deeds in Book 4150, Page 72.
4. Rights and easements granted by Warren Bros., a Div. of Ashland-Warren Inc. to Central Maine Power Company and New England Telephone and Telegraph Company by instrument dated January 31, 1978, and recorded in the Cumberland County Registry of Deeds in Book 4239, Page 326.
5. Rights and easements granted by Tilcon Minerals, Inc. to the City of Portland by deed dated November 22, 1996, and recorded in the Cumberland County Registry of Deeds in Book 12886, Page 214.

STATE OF MAINE
CUMBERLAND, ss.

February 28, 2012

Then personally appeared the above named Brian J. Donovan, its Authorized Agent, of Pike Industries, Inc. who acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Pike Industries, Inc.

Before me,

Peter J. Van Hemel

Notary Public / Maine Attorney-at-Law

Name Printed: Peter J. Van Hemel

My Commission Expires: _____



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- NA Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- NA Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- NA Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- NA Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- NA Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- NA A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Brad Saucier - Re: 172 Bishop Street

From: Philip DiPierro
To: Saucier, Brad
Date: 10/16/2012 9:09 AM
Subject: Re: 172 Bishop Street

That's correct.

Thanks.

Phil

>>> Brad Saucier 10/16/2012 9:05 AM >>>

So this means I'm waiting on you to notify me to actually "issue" the permit and send it out?!

Brad Saucier

Administrative Assistant
Inspections Division
City of Portland
(207) 874-8703

>>> Philip DiPierro 10/16/2012 9:03 AM >>>

Hi Brad, I can't sign off on it yet. The applicant still needs to submit final site plans so they can be stamped "approved" and distributed to the various departments.

I'll let you know when they come in.

Thanks.

Phil

>>> Brad Saucier 10/15/2012 2:53 PM >>>

Hi Phil, apparently you (Planning/Historical) is the last hold out before issuing this permit. Can you tell me when I can issue it/what stage of the process it's in?

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, that **PIKE INDUSTRIES, INC.**, a Delaware corporation with a place of business and mailing address at 58 Main Street, Westbrook, Maine 04092 ("Grantor"), for consideration paid, hereby grants to **UNIVERSITY OF NEW ENGLAND**, a Maine non-profit corporation with a mailing address of 11 Hills Beach Road, Biddeford, Maine 04005 ("Grantee"), with **WARRANTY COVENANTS**, those certain lots or parcels of land, together with any buildings and improvements thereon, situated in Portland, Cumberland County, Maine, being more particularly described on **Exhibit A** attached hereto and incorporated herein by reference (the "Premises").

The following restrictions shall run with the land, shall inure to the benefit of the Grantor, and its successors and assigns, and shall be binding upon the Grantee, and its successors and assigns:

1. The Grantee covenants and agrees that the Premises shall not be used for excavation of earth materials, crushing of rock and other materials, production of hot-mix asphalt or other similar products (e.g., cement, ready mix concrete, etc.), storage of earth materials and/or hot-mix, cement or ready-mix products or the sale (retail or wholesale) and distribution of such materials from the Premises or the use of such material or existing processed material unless such excavation and/or use of such materials is for the benefit of the Grantee on the Premises or on contiguous land in common ownership of the Grantee.
2. In the event of a violation of any or all of this restrictive covenant, the Grantor, in addition to all other remedies available to it, may obtain an injunction against the Grantee issued by a court of competent jurisdiction enjoining such breach and shall be entitled to recover its costs and expenses, including, but not limited to, reasonable attorney's fees in the enforcement or defense of the restrictions or any of them.

Being parcels 2 and 3 in the deed of Oldcastle Materials, Inc. to Pike Industries, Inc. dated March 20, 2002, and recorded in the Cumberland County Registry of Deeds in Book 17835, Page 301.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be signed and sealed this 28th day of February, 2012.

WITNESS:

PIKE INDUSTRIES, INC.

By: Brian J. Donovan
 Print/type name: Brian J. Donovan
 Its: Authorized Agent

MAINE REAL ESTATE TAX PAID

EXHIBIT A

TRACT I

A certain lot or parcel of land in the Morrill's Corner region of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Commencing at a point or stake standing on the old southerly line of the Portland & Rochester Railroad, now the Portland Terminal Company, and at a point where the same intersects with land formerly of Franklin M. Purington,

THENCE South $65 \frac{3}{4}^{\circ}$ West 108 Rods 15 Links, more or less, to land now owned by the City of Portland;

THENCE North $24 \frac{1}{4}^{\circ}$ West 5 Rods 16 Links, more or less, to a stake;

THENCE South $65 \frac{3}{4}^{\circ}$ West 34 Rods 9 Links, more or less, to a stake standing on land owned by said City;

THENCE North 11° West 11 Rods 7 Links, more or less, to a stake, standing on land formerly owned by Hiram Sawyer;

THENCE North $61 \frac{1}{2}^{\circ}$ East 107 Rods, more or less, to line of said location of Portland & Rochester Railroad;

THENCE by the line of said Railroad on its southerly side as aforesaid $83 \frac{1}{4}^{\circ}$ East 38 $\frac{1}{2}$ Rods, more or less, to the place of beginning.

EXCEPTING from the above described premises, the premises conveyed by Adam W. Wilson to City of Portland by deed dated March 25, 1889, and recorded in the Cumberland County Registry of Deeds in Book 556, Page 132; and the premises conveyed by Adam W. Wilson to Boston & Maine Railroad by deed dated April 4, 1907, and recorded in said Registry in Book 803, Page 232, and by deed dated August 5, 1910, and recorded in said Registry in Book 863, Page 137.

TRACT II

Another certain lot or parcel of land situated near Morrill's Corner in that part of Portland that was formerly Deering, in the County of Cumberland and State of Maine, lying adjacent to and lying northwesterly of the above described premises, being bounded and described as follows:

Beginning at the northwesterly corner of land formerly of one Smith, on the southerly side of land formerly of Portland & Rochester Railroad, now the Portland Terminal Company, and running South 62° West 106 Rods to land of Portland Cemetery;

THENCE northwesterly by said Cemetery lot 30 Rods to the Old Kenney lot;

6. Rights and easements granted by Lewis Lumber Company to Central Maine Power Company by instrument dated November 23, 1951, and recorded in the Cumberland County Registry of Deeds in Book 2067, Page 106.
7. Rights, easements, and exceptions set forth in deed from Rosa Lewis to Warren Brothers Roads Company dated May 26, 1962, recorded in said Registry of Deeds in Book 2676, Page 74.

H:\DOCS\RATTEY\Pike\UNE 39662\EXHIBIT A.docx

Received
Recorded Register of Deeds
Mar 02, 2012 11:36:47A
Cumberland County
Pamela E. Lovley

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Jeff Levine

Job ID: 2012-08-4860-CH OF USE

Located At: 172 BISHOP ST

CBL: 281- A-003-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Planning:

1. The applicant shall submit the survey and final plans for the intermodal transportation facility for review and approval by the Planning Authority within six (6) months of approval and the parking area must be ready for use prior to the issuance of certificate of occupancy for the Patient Care Center. The parking lot plan shall include the installation of the Bishop Street sidewalk and the connector road shall be improved to be designated as a fire lane and capable of supporting emergency vehicle traffic.
2. The applicant shall address Capt. Pirone's memorandum dated June 20, 2012.

Fire

1. All installation and construction shall comply with City Code Chapter 10.
2. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
3. Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations.
4. Fire extinguishers are required per NFPA 1.
5. Any cutting and welding done will require a Hot Work Permit from Fire Department.
6. Any manual gates shall have Knox padlocks (part number 3770) and electrical gates shall have Knox key switches (part number 3502).

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4860-CH OF USE	Date Applied: 8/31/2012	CBL: 281- A-003-001	
Location of Construction: 172 BISHOP ST	Owner Name: UNIVERSITY OF NEW ENGLAND	Owner Address: 11 HILLIS BEACH ROAD BIDDEFORD, ME 04005	Phone: 283-0170
Business Name:	Contractor Name: Gorham Sand and Gravel	Contractor Address: 939 Parker Farm Road, Buxton Me 04093	Phone: 839-2442
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: I-M & I-H
Past Use: Asphalt manufacturing (Pike Industries)	Proposed Use: Change of Use from asphalt manufacturing to intermodal transportation facility with 300 parking spaces & new bus shelter	Cost of Work: \$117,000.00	CEO District:
		Fire Dept: 10/12/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: SB MURBECLOF
		Signature: <i>[Signature]</i> (58)	Signature: <i>[Signature]</i>
Proposed Project Description:		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2012-403</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions</i> <i>9/14/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 172 Bishop Street		
Total Square Footage of Proposed Structure/Area 306sf	Square Footage of Lot 836352sf	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# 291 Block# A Lot# F 291 A 003	Applicant : (must be owner, lessee or buyer) Name University Of New England Address 11 Hills Beach Road City, State & Zip Biddeford, ME 04005	Telephone: 283-0170
Lessee/DBA RECEIVED AUG 31 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$117,000 C of O Fee: \$ 75.00 Historic Review: \$ Planning Amin.: \$ Total Fee: \$ 1190
Current legal use (i.e. single family) Vacant _____ Number of Residential Units 0 _____ If vacant, what was the previous use? Asphalt manufacturing _____ Proposed Specific use: Intermodal transit _____ Is property part of a subdivision? No _____ Project description: Construct a bus _____ Construct sidewalk along a section of _____ or parking area.		
Contractor's name: Gorham Sand and Gravel Address: 939 Parker Farm Road City, State & Zip Buxton, ME 04009 Who should we contact when the contractor is called? Mailing address: University of New England		

Ready
No Issue

Please submit all of the information required so we will receive your application.

ist. Failure to

In order to be sure the City fully understands your application, please provide additional information prior to the issuance of a permit. For more information on applications visit the Inspections Division on-line at www.portlandmaine.gov, City Hall or call 874-8703.

The Inspections Department may request copies of this form and other documents from the Inspections Division office, room 315.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Allyson Stewart Date: 08/21/12

This is not a permit; you may not commence ANY work until the permit is issued

Plan Review Maintenance

Home Plan Review Maintenance

New Save Delete Refresh Full Plan Review Partial Plan Review Review Agencies Attachments Images Location Job Structure Comment Create Document Required Inspections Notes Conditions of Approval

Job: 2012-08-4860-CH OF USE - UNE Intermodal Transportation Commercial - 172 Bishop Street (172 BISHOP ST) - InReview

Sequence Number	Type Code
0	Common - Common

General Information

Plan Review Type Code: Common - Common Status Code: SDRCA - Issue Pending Site/DRC Hist

Plan Review

Zoning - AWC - Approved With Conditions	Status Code	Copies of Plans
Submission Date: 8/31/2012 Estimated Comp. Date: 9/7/2012 Actual Comp. Date: 9/14/2012 Last Action Date/Time: 9/14/2012 12:49:46 PM	AWC - Approved With Conditions	

Building - AWC - Approved With Conditions	Estimated Comp. Date	Revised Comp. Date
Submission Date: 9/14/2012 Estimated Comp. Date: 9/28/2012 Actual Comp. Date: 10/2/2012 Last Action Date/Time: 10/5/2012	09/07/2012	

Last Action Date/Time: 09/14/2012 Last Action By: Schmuckel, Marge

Type	Title
Conditions of Approval	zoning

Ready Record: Synchronized Collection: No Data Production Environment

Brad Saucier
 Administrative Assistant
 Inspections Division
 City of Portland
 (207) 874-8703



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: UNE, Check Number: 270445

Tender Amount: 75.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 8/31/2012

Receipt Number: 47749

Receipt Details:

Referance ID:	7865	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-08-4860-CH OF USE -			
Additional Comments: 172 Bishop St., UNE			

Thank You for your Payment!



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: UNE, Check Number: 330957

Tender Amount: 1190.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 8/31/2012

Receipt Number: 47750

Receipt Details:

Referance ID:	7867	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	1190.00	Charge Amount:	1190.00
Job ID: Job ID: 2012-08-4860-CH OF USE -			
Additional Comments: 172 Bishop St., UNE			

Thank You for your Payment!

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, that **PIKE INDUSTRIES, INC.**, a Delaware corporation with a place of business and mailing address at 58 Main Street, Westbrook, Maine 04092 ("Grantor"), for consideration paid, hereby grants to **UNIVERSITY OF NEW ENGLAND**, a Maine non-profit corporation with a mailing address of 11 Hills Beach Road, Biddeford, Maine 04005 ("Grantee"), with **WARRANTY COVENANTS**, those certain lots or parcels of land, together with any buildings and improvements thereon, situated in Portland, Cumberland County, Maine, being more particularly described on **Exhibit A** attached hereto and incorporated herein by reference (the "Premises").

The following restrictions shall run with the land, shall inure to the benefit of the Grantor, and its successors and assigns, and shall be binding upon the Grantee, and its successors and assigns:

1. The Grantee covenants and agrees that the Premises shall not be used for excavation of earth materials, crushing of rock and other materials, production of hot-mix asphalt or other similar products (e.g., cement, ready mix concrete, etc.), storage of earth materials and/or hot-mix, cement or ready-mix products or the sale (retail or wholesale) and distribution of such materials from the Premises or the use of such material or existing processed material unless such excavation and/or use of such materials is for the benefit of the Grantee on the Premises or on contiguous land in common ownership of the Grantee.
2. In the event of a violation of any or all of this restrictive covenant, the Grantor, in addition to all other remedies available to it, may obtain an injunction against the Grantee issued by a court of competent jurisdiction enjoining such breach and shall be entitled to recover its costs and expenses, including, but not limited to, reasonable attorney's fees in the enforcement or defense of the restrictions or any of them.

Being parcels 2 and 3 in the deed of Oldcastle Materials, Inc. to Pike Industries, Inc. dated March 20, 2002, and recorded in the Cumberland County Registry of Deeds in Book 17835, Page 301.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be signed and sealed this 28th day of February, 2012.

WITNESS:

PIKE INDUSTRIES, INC.

_____ By: Brian J. Donovan
 Print/type name: Brian J. Donovan
 Its: Authorized Agent

MAINE REAL ESTATE TAX PAID

Applicant: University of New England Date: 9/14/12

Address: Bishop St C-B-L: 281-A-3
291-A-1

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Already Dev.

Zone Location - I-M; I-H zone

Interior or corner lot - end of Bishop St

Pike Industries
↑

Proposed Use/Work - to change the use from an Asphalt plant
to an Intermodal facility with 300 capacity
and 17' x 18' bus shelter

Sewage Disposal -

Lot Street Frontage -

Front Yard - 1' for each 1' of height - well over 11'

Rear Yard - 1' for each 1' of height - well over 11'

Side Yard - 1' for each 1' of height - well over 11'

Projections -

Width of Lot -

Height - Bus shelter scaled to ~ 11' high

Lot Area - 806,264 sq ft per assessors

asked for info - Lot Coverage (Impervious Surface) - 75% in I-M zone west street

Area per Family - N/A

Off-street Parking - 300 spaces shown

Loading Bays - N/A

Site Plan - #2012-183 - Shukria

Shoreland Zoning/Stream Protection - N/A

Flood Plains -

asked for info ← 10' pavement set back

NO zoning manual under 1 Sol - 9/14/12 -
 comments - used e-mails - 9/14/12

**City of Portland
 Development Review Application
 Planning Division Transmittal form**

Application Number: 2012-483 **Application Date:** 4/17/2012 12:00:00
CBL: 145-B-24 AM
Project Name: Patient Care Center
Address: 1 College Avenue

Project Description:
Zoning: R-5
Other Reviews Required: Conditional Use
Review Type: Level III Site Plan w/Conditional Use

8/15/12 on e-plan
 intermodal lot
 Bishop St: 281-A-3
 291-A-1
 University of New England 806, 264th

Distribution List:

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): August 22, 2012

I will be on vacation next week but please do email me your comments so I have them. The applicant is very anxious to get the intermodal transportation facility approved. I have uploaded the Intermodal Transportation Facility Operating Plan into eplan; this plan explained the details of the shuttle service and the parking lot.

Marge Schmuckal - UNE Intermodal facility

From: Marge Schmuckal
To: Shukria Wiar
Date: 9/14/2012 12:04 PM
Subject: UNE Intermodal facility

there is no zoning modual to input my comments within One Solution, so I am reverting to e-mail again.

1 College Avenue - Intermodal Facility on Bishop Street
2012-483 - 281-A-3 & 291-A-1
I-M & I-H Zones - 9/14/2012

The intermodal facility located off Bishop Street is located within the I-M and I-H zones. Both zones list as a permitted use, intermodal facilities. There will be a new bus shelter approximately 17' x 18' for bus pick-up and drop-off. The plans show 300 student parking spaces. The new bus shelter is meeting the setback requirements of both the I-M & I-H zones. I have not seen any impervious calculations. the most restrictive zone is the I-M zone that allows a maximum of 75% impervious. I have also not been able to determine whether pavement setback requirements are being met. There may be a case that this was an existing lot with existing legal nonconformities for impervious and pavement setbacks. However, I would like to see the applicant make what ever case for each of these zoning requirements.

Separate permits will be required for any new signage.

Marge Schmuckal
Zoning Administrator



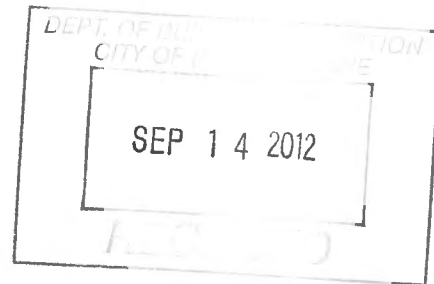
UNIVERSITY OF NEW ENGLAND

Biddeford Campus
11 Hills Beach Road
Biddeford, ME 04005
(207) 283-0171

Portland Campus
716 Stevens Avenue
Portland, ME 04103
(207) 797-7261

September 14, 2012

Ms. Shukria Wiar
Planner
Planning Division
389 Congress St., Fourth Floor
Portland, ME 04101



**RE: University of New England – Patient Care Center
Application #2012-483; CBL 145-B-024
Intermodal Transportation Facility at 172 Bishop Street**

Dear Shukria,

The University of New England is pleased to provide you with the following supplemental information related to the creation of the Intermodal Transportation Facility in support of our Patient Care Center. We appreciate the Planning Board authorization of allowing staff the final review of this information.

Enclosed please find the following full sized documents:

C-101 Site Layout and Utility Plan, revised 09/11/12.
C-301 Site Details, revised 9/12/12.
PH.01 Photometry, revised 9/6/12.

Please note that the only revisions to the drawings previously submitted, were on these plans.

In response to the comments received from staff, we offer the following responses;

Tom Errico, 08/13/12

The parking stall and aisle dimensions are as per city regulations and are noted on the C-101 Site Layout and Utility Plan, revised 09/11/12.

The requested center line and stop bar are noted on the C-101 Site Layout and Utility Plan, revised 09/11/12.

A painted walk is noted on the C-101 Site Layout and Utility Plan, revised 09/11/12, as requested.



UNIVERSITY OF NEW ENGLAND

Biddeford Campus
11 Hills Beach Road
Biddeford, ME 04005
(207) 283-0171

Portland Campus
716 Stevens Avenue
Portland, ME 04103
(207) 797-7261

In support of this application we have also included the review of the turning radius required for the bus to turn around at the shelter locations. Maine Traffic Resources has determined that there is adequate space for the turning movements, and the upper parking spaces will be blacked out accordingly to allow for this.

Doug Roncarati, 08/15/12

Snow will not be stored near or pushed into Capisic Brook. It should be noted that there is a substantial vegetated buffer between the site and Capisic Brook.

Additionally, there are existing sediment basins and berms which were installed by Pike in fulfillment of the requirements of the DEP and EPA under the Multi Sector General Permit for Stormwater Discharges. The basins will be maintained by UNE and serve to provide treatment of runoff from the site.

Chris Pirone, 08/16/12

We acknowledge the PFD has approved of the ability of the service road to support emergency vehicular traffic, and wanted to confirm that the gates will comply with the PFD knock box requirements.

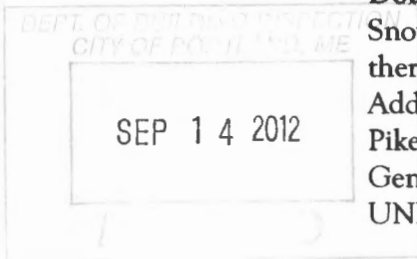
Barbara Barhydt, 08/17/12

The proposed solution to previously required Urban Impaired Stream Mitigation is best illustrated on the C-102 Grading, Drainage & Erosion Control Plan, 08/07/12. We are planning on removing the impervious surface and loaming and seeding 7600sf at the rear edge of the site. This is adjacent to the wetlands, and we believe it is a good, viable solution.

Details of the gates are attached. The gate at the Bishop Street site has been moved back into the site, and will remain open during normal business hours, so there will be no stacking in the street. The gate at the Bishop Street end of the access road has been located well into the site, and will remain closed. The shuttle bus and the UNE Security vehicles will have remote control operators to open the gate well before they arrive in order that they can drive through without stopping. This feature will also be incorporated in the design of the gate at the College Street end of the access road, which will also remain closed.

The parking stalls will be painted on the ground

Elevation drawings of the Terminal structure are attached as requested.





UNIVERSITY OF NEW ENGLAND

Biddeford Campus
11 Hills Beach Road
Biddeford, ME 04005
(207) 283-0171

Portland Campus
716 Stevens Avenue
Portland, ME 04103
(207) 797-7261

We have review the suggestion of adding street trees along the new section of the Bishop Street sidewalk, but do not think it would be wise to plant these as they would be directly beneath the overhead power lines. The existing power lines are hard to see on the drawing as they run along the edge of the sidewalk.

Shukria Wiar, 08/17/12

Attached are the cut sheets on the light fixtures and poles. The 150.8 watt LED, Full Cutoff, fixtures will be mounted at 20' above grade. The lighting will be control by photocells and a timer. The timer will be used to reduce, the lighting levels, by 50% or more, at approximately 11:30pm, which is about ½ hour after the majority of the academic buildings close for the night.

The University acknowledges that the lighting layout photometrics exceeds the city standard for maximum illumination levels. With the remote nature of the Intermodal Transportation Facility and the fact that it will be utilized at night, the University respectfully requests a waiver to the 12.2.3 Illumination Levels standard, at this location. Please see the revised PH.01 Photometry Plan, dated 09/06/12.

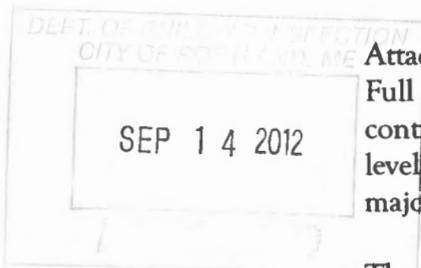
The University acknowledges that the lighting layout photometrics has a small area of light trespass that exceeds the city standard. This small area is in an Industrial Zone, at the intersection of Bishop Street and Bishop Street Extension, and is directly beneath a street light. With the remote nature of the Intermodal Transportation Facility, the University respectfully requests a waiver to the 12.2.5 Light Trespass standard, at this specific location. Please see the revised PH.01 Photometry Plan, dated 09/06/12.

David Margolis-Pineo, 08/23/12 and 08/29/12

The context plan was not stamped, and is only provided to better illustrate the proximity of the different portions of the project to the campus. All other plans utilized for the permitting process are stamped by a licensed engineer.

The stamped site survey plan was previously provided in the site plan review process for the Patient Care Center.

The locations of the light poles have been adjusted to keep them out of the CMP Easement corridor. Please reference the C-101 Site Layout and Utility Plan, revised 09/11/12. No structures are planned in the Sewer Right of Way. Parking in these areas is not in conflict with the CMP easement as it does not impede CMP's access to the power lines, nor does it impede access to the sewer lines.





UNIVERSITY OF NEW ENGLAND

Biddeford Campus
11 Hills Beach Road
Biddeford, ME 04005
(207) 283-0171

Portland Campus
716 Stevens Avenue
Portland, ME 04103
(207) 797-7261

Concrete curbing will be installed/replace in kind as indicated on the plans.

All gates noted on the plans are to be installed by UNE.

As we are not developing the access road at this point, we were thinking it made more sense to connect the sidewalk to the CMP section when the road is developed. This would insure we do not have to demolish what would be installed now. We do not have a final design for the road at this point in time, but envision that it would be internal instead of connecting to Bishop St. (We would turn the road, parallel to Bishop, and enter the Bishop Street parcel site without going onto Bishop Street...) At that point the radius curb would not be needed, as we would probably only have a footpath connecting to Bishop Street.

SEP 14 2012

We have reviewed the City regulation in regards to bike parking. The Intermodal Transportation Facility will increase our parking capacity by 300 spaces. Based on the City Standard, we will look to incorporate bike storage for an additional 30 bikes on the main campus.

matches my numbers

Woodard & Curran, 08/27/12

We have revised drawing C-301 Site Details, to include the City Standard Details for work within the City Right of Way.

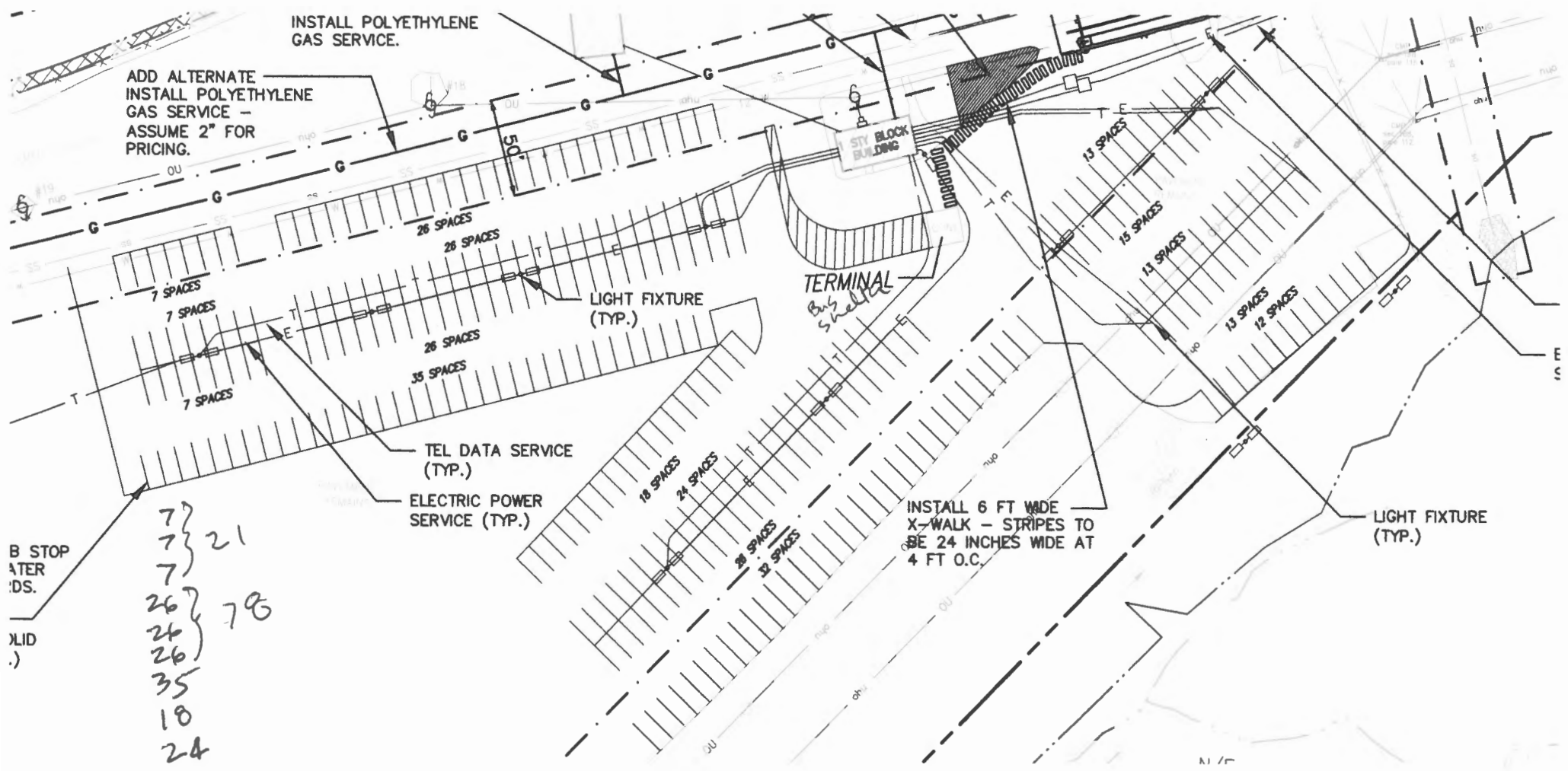
We trust that we have adequately responded to the comments from staff and look forward to initiating this work. We have submitted an application for a building permit and are ready to begin the work as soon as you can notify the codes office of your approval. Thank you for your assistance in moving this project forward.

Sincerely,

Alan Thibeault, Assistant Vice President for Planning

CC Tom Saucier, Site Design Associates

9/14/12



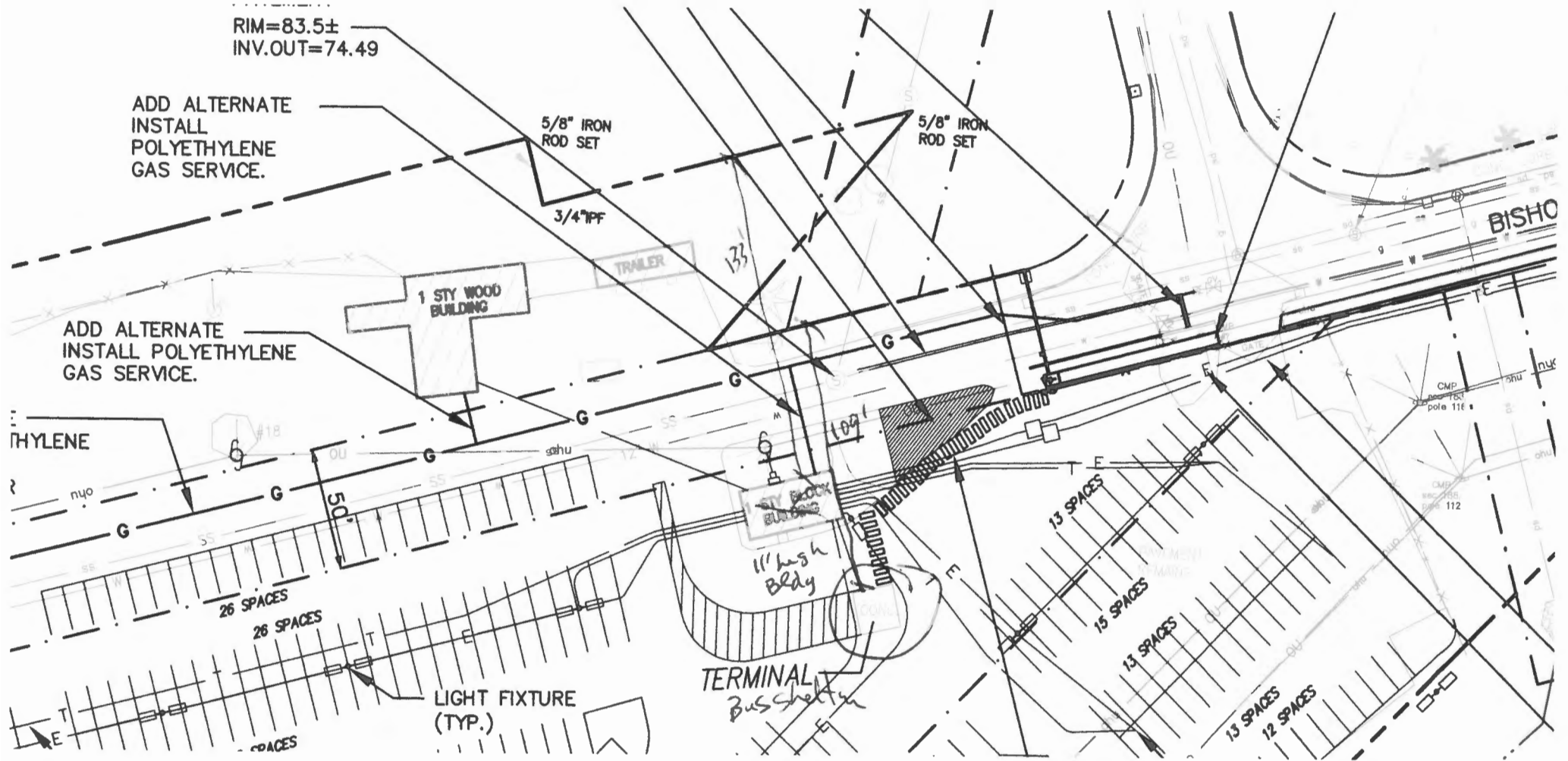
B STOP
ATER
DS.
OLID
)

7 }
 7 } 21
 7 }
 26 } 78
 26 }
 26 }
 35
 18
 24
 26
 32
 13
 15
 13 } 26
 13 }
 12

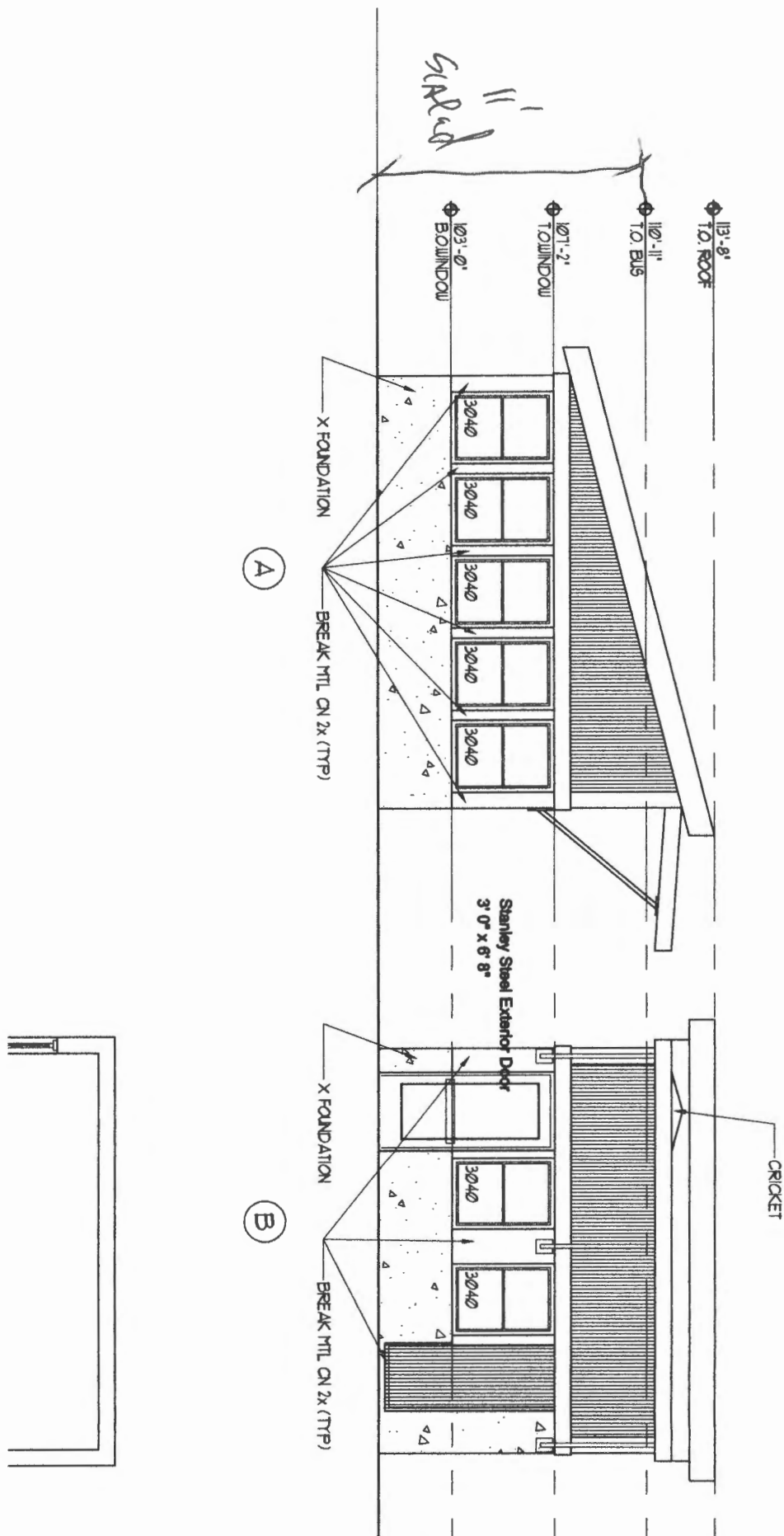
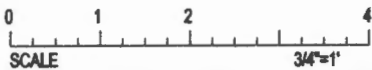
300 PKG SPACES

I-m & I-H

9/14/12

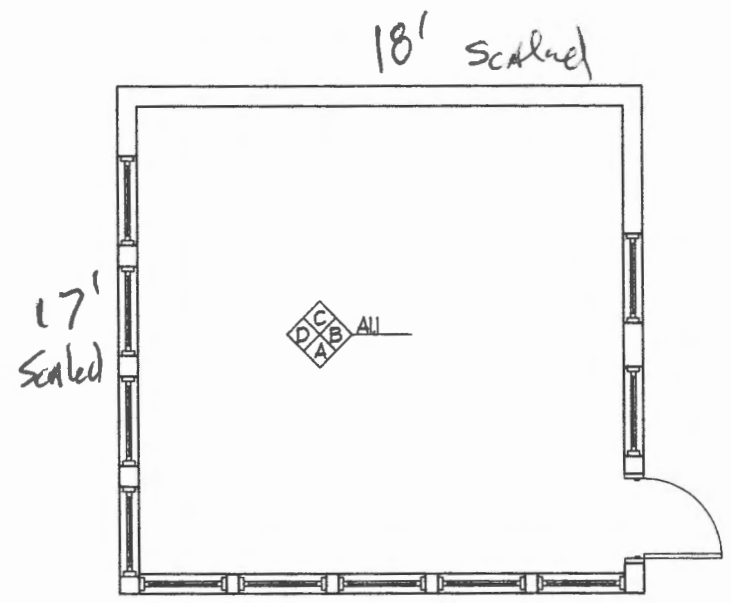
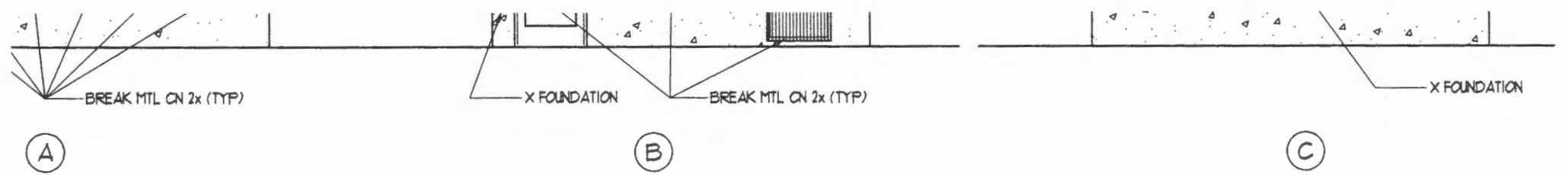


GLY



9/14/12

a/14/12



SOFFIT TO MATCH
BREAK MTL

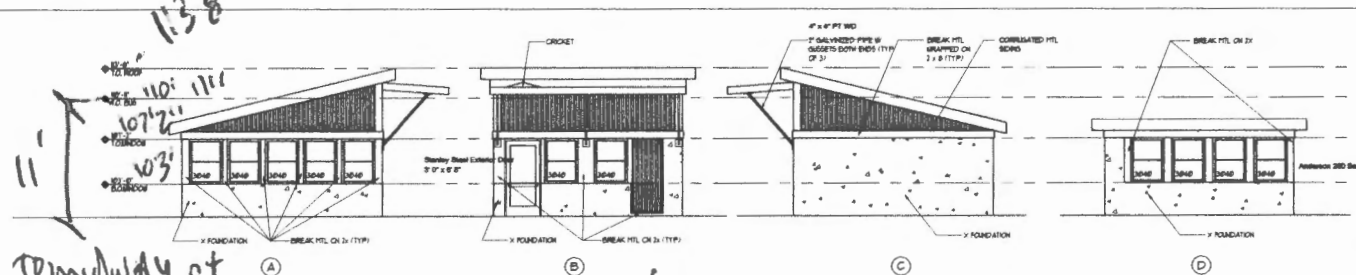
CANOPY
CORRUGATED MTL
3/8" PLYWD - PTD
2x 11D - PTD (2" x 6" WD)

BUILDING
FOR R...

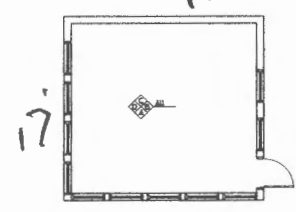
SEP 14 2012

REVL

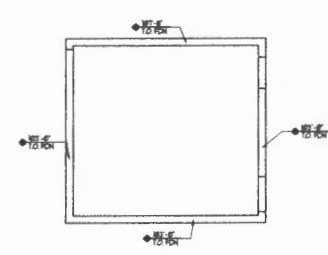
11'3" 8"
11'
10' 11"
10' 7 1/2"
10' 3"
TO MIDWAY PT.



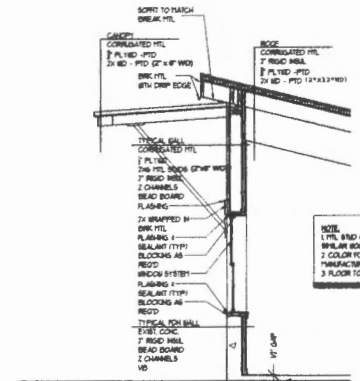
2 ELEVATIONS SCALE: 1/4" = 1'-0"



4 FLOOR PLAN SCALE: 1/4" = 1'-0"



3 X FOUNDATION SCALE: 1/4" = 1'-0"



1 WALL SECTION SCALE: 1/4" = 1'-0"

NOTE:
1. METAL SIDING CAN BE REPLACED WITH
SIMILAR WOOD SIDING
2. COLOR FOR BREAK TO BE SELECTED FROM
MANUFACTURER'S FINISHING COLORS
3. FLOOR TO BE DETERMINED



66 NEWBURY STREET
PORTLAND, ME 04103
707.791.9000
info@unew.edu
WWW.PORTYARD.COM

REVISIONS table with columns for Date, Description, and Rev.

UNIVERSITY OF
NEW ENGLAND
PORTLAND, MAINE

BUS SHELTER

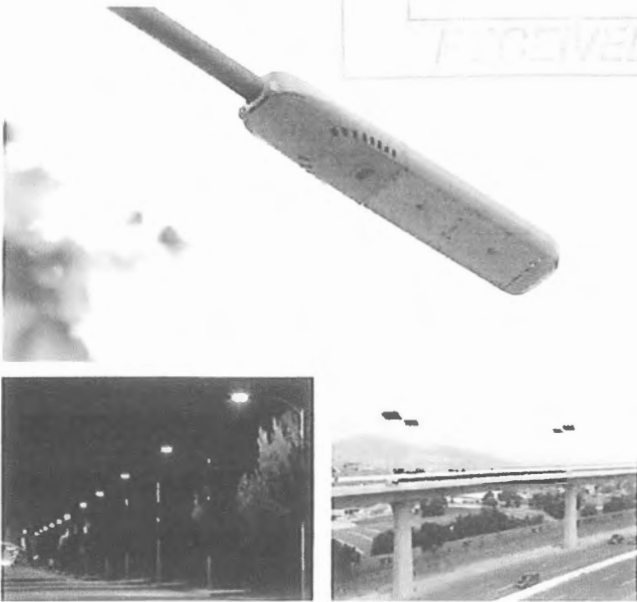
Project Number: 1330
Date: AUGUST 20, 2012
Drawing:
Scale: A1.1

IF THIS SHEET IS NOT IN A PLOT OR A PRINTED SCALE PRINT - SCALE ACCORDINGLY

SEP 14 2012

RECEIVED

PROLIFIC[™] Roadway



Features ¹	LSR1	LSR2	LSR3	LSR4
Lumen Output (at operating temperature)	4354	5890	9365	11716
Input Power (Watts)	50	75	100	150
Efficacy (lm/w)	87	79	92	87
Color Temperature (CCT)	4000K, 5000K			
Color Rendering Index (CRI)	70 (4000k) and 65 (5000k)			
Rated Life L70	60,000			
Housing	Die Cast and Extruded Aluminum			
Finish	Grey, Black, Bronze			
Optical Distribution	Type II, Type III, Type II Streetside Optimized, Type III Streetside Optimized, Type V			
Mounting Options	Fits standard 1 1/4" to 2" Mast Arm; 4-Bolt Internal			
EPA	LSR1, LSR2 LSR3, LSR4	.77 1.0		
Dimensions	LSR1, LSR2	28.10" x 8.0" x 4.3" 714mm x 203mm x 109mm		
	LSR3, LSR4	37.10" x 8.0" x 4.3" 942mm x 203mm x 109mm		
Operating Temperature Range ⁴	-40°C to +50°C (-40°F to +122°F)			
Voltage	120-277 VAC @ 50-60 Hz, DCV ²			
Weight	LSR1, LSR2	22lbs		
	LSR3, LSR4	25lbs		
Warranty	5 Year Limited			
Certification				
Environment	IP66 Optics			

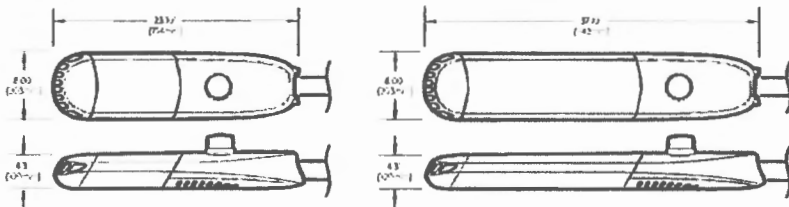
Benefits

- Sustainable Design:
- Custom arrayed optics to reduce the use of plastics.
- No tertiary optical losses.
- Use of recycled and recyclable corrosion resistant materials.
- Full cutoff optics meet Dark Sky requirements
- Holistic Thermal Design:
- Underdriving LEDs to improve efficiency and system life.
- Use of premium grade alloys for enhanced thermal conduction.
- Electronics are isolated and sealed from the optical chamber.
- Fits standard 1 1/4" to 2" mast arm.

Typical Applications Include:

- Roadways
- City Streets
- Campuses
- Residential Streets
- Parking Lots

Dimensions



¹ All values are nominal. Values based on 5000CCT at 25°C unless noted. Consult website for complete IES & LM-79 data
² DCV available with LSR1 & LSR2 only
³ 4-Bolt mounting required for 3G vibration rating
⁴ Outdoor Applications Only

CAT# LSR4 NW R2 M VOLT 2B
PCR PC BZ

LSR

PRODUCT ORDERING INFORMATION

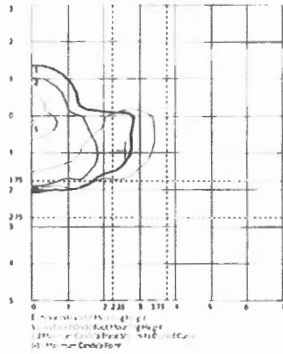
EXAMPLE: LSR1 CW R2 2B PCR PC HS BK

Product	Color Temp.	Optical Distribution	Voltage	Mounting	Receptacle	Options	Accessories	Finish
LSR1 (50W)	CW White 5000K	R2 Type II	MVOLT	2B 2-Bolt (standard)	PCR Photocontrol Receptacle (standard)	PC Twist-Lock Photocontrol	HS House Side Shield	GR Gray (standard)
LSR2 (75W)	NW White 4000K	R3 Type III		4B 4-Bolt Internal ¹	NR No Photocontrol Receptacle	SH Shorting Cap		BK Black
LSR3 (100W)		R2S5 Type II Streetside Optimized						BZ Bronze
LSR4 (150W)		R3S5 Type III Streetside Optimized						
		R4 Type IV						
		R5 Type V						

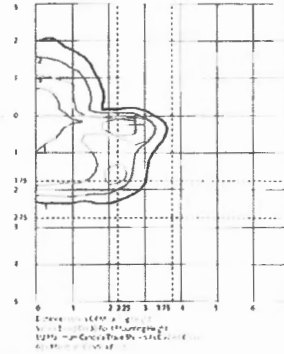
¹ Required for 3G Vibration Rating
All mounting hardware included with each unit

POLAR GRAPH

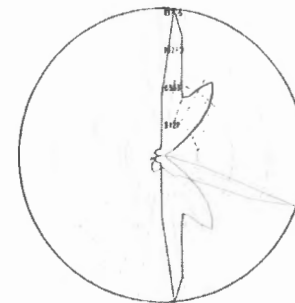
TYPE II



TYPE III



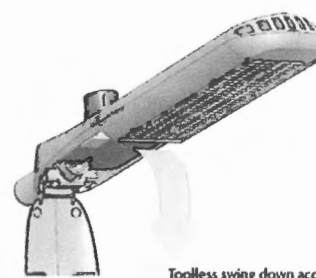
TYPE III



Maximum Cd's = 10705 M Located at Horizontal Angle = 85, Vertical Angle = 70
Vertical Plane: 1100 g, Horizontal Plane: 2650 (1100 g Max Cd) BUL
Horizontal Plane: 1100 g, Vertical Plane: 2650 (1100 g Max Cd) BUL

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
FL 0-30	634	5.9
FM 30-60	3,100	28.7
FH 60-80	3,585	33.1
FVH 80-90	110	1.0
BL 0-30	655	6.1
BM 30-60	1,771	16.4
BH 60-80	844	7.8
BVH 80-90	115	1.0
UL 90-100	0	0
UH 100-180	0	0



Toolless swing down access door.

North America • Australia • Asia • Europe

Performance Specifications are typical values and may change without notification.
Copyright © Lighting Science Group Corporation 2011. All rights reserved.

Lighting Science

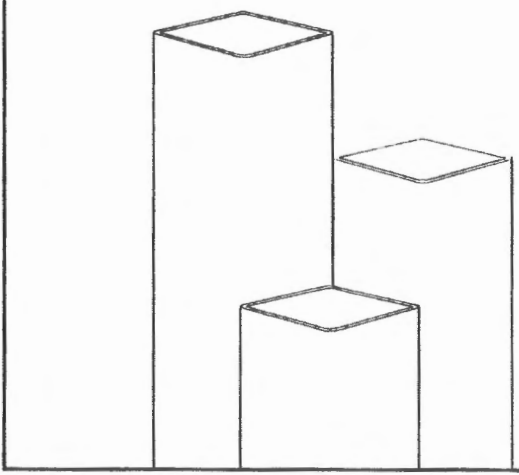
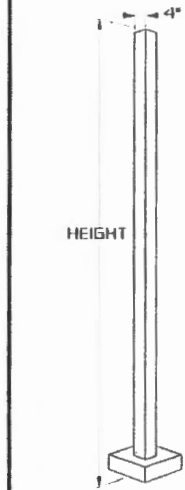
US LSR_5111

877-393-5742 | www.lsg.com
10275 Inverness Blvd., Suite 200, Denver, CO 80231

SEP 14 2012

SEP 14 2012

SNTS 4"



4" SQUARE STRAIGHT STEEL

SPECIFICATIONS

- SHAFT:** 4" SQUARE, FABRICATED FROM HIGH GRADE STRUCTURAL STEEL TUBE. SHAFT CONFORMS TO ASTM-A 501-68 SPECIFICATIONS. MEETS OR EXCEEDS MINIMUM YIELD STRENGTH OF 46,000 P.S.I. WALL THICKNESS 11 GA. (120 WALL) OR 7 GA. (180 WALL) AS SPECIFIED. REINFORCED HANG HOLE IS FURNISHED WITH COVER. SHAFT IS FURNISHED WITH GROUND LUG LOCATED INSIDE POLE ON WALL OPPOSITE HANG HOLE.
- BASE PLATE:** FABRICATED FROM STRUCTURAL QUALITY HOT ROLLED STEEL. MEETS OR EXCEEDS MINIMUM YIELD STRENGTH OF 36,000 P.S.I. BASE TELESCOPES AND IS CIRCUMFERENTIALLY WELDED TO POLE SHAFT. SLOTTED HOLES PROVIDE 1" FLEXIBILITY ON EITHER SIDE OF HOLES CENTERLINE.
- ANCHORAGE:** (4) ANCHOR BOLTS FABRICATED FROM HOT ROLLED STEEL BAR. MINIMUM YIELD STRENGTH OF 50,000 P.S.I. BOLTS HAVE "L" BEND ON ONE END AND ARE THREADED ON THE OTHER END. BOLTS ARE FULLY GALVANIZED AND ARE FURNISHED WITH TWO NUTS AND TWO WASHERS.
- BASE COVER:** FABRICATED FROM HEAVY GAUGE QUALITY CARBON STEEL. TWO PIECE COVER CONCEALS BASE.
- FINISH:** POLYESTER POWDER COAT. THE METAL SURFACE IS PRETREATED BY SAND BLAST PROCESS FOR MAXIMUM PAINT ADHESION. ELECTROSTATICALLY APPLIED POLYESTER POWDER TOPCOAT IS BAKED AT 400° TEMPERATURE FOR MAXIMUM HARDNESS AND EXTERIOR DURABILITY.

Pole CAT # 204-11
20'



650 WEST AVENUE O PALMDALE, CA 93551
 (661) 233-2000
 FAX (661) 233-2001
 www.usaltg.com

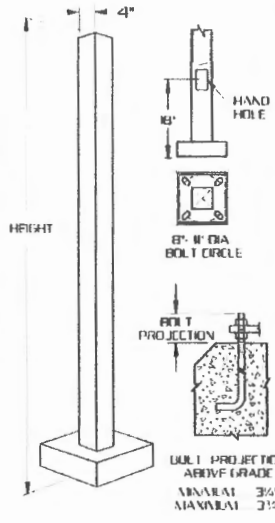
SECTION
 DATE
 SEP 14 2012

SNTS SERIES

ENGINEERING DATA

Maximum EPA - Square Feet

Catalog Number	Maximum Flxt. wgt.	100 MPH	90 MPH	80 MPH	70 MPH
SNTS 104-11	400	16.7	20.5	26.1	33.4
SNTS 124-11	400	12.2	16.1	20.4	25.8
SNTS 144-11	400	9.9	12.8	16.1	20.2
SNTS 154-11	400	8.9	11.4	14.4	17.9
SNTS 164-11	400	7.9	10.1	12.8	15.9
SNTS 184-11	400	6.2	8.2	10.1	13.8
SNTS 204-11	400	4.8	6.2	7.9	11.6
SNTS 204-7	450	8.8	11.3	14.0	17.4
SNTS 254-11	350	1.6	3.2	5.5	8.8
SNTS 254-7	450	4.3	6.1	9.1	11.2



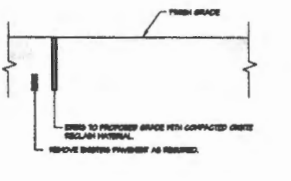
All above design calculations are based on sustained wind forces plus additional 1.3 wind gust
 [Example: Pole rated at 80 MPH withstands 104 MPH gusts]

ORDERING INFORMATION

MODEL NO.	POLES	MOUNTING	FINISH	OPTIONS																																																							
SNTS																																																											
MODEL NO. ?	POLES	MOUNTING	FINISH	OPTIONS																																																							
S N T S 	<table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th></th> <th>POLE HEIGHT</th> <th>WALL THICKNESS</th> <th>BOLT CIRCLE</th> <th>ANCHORAGE</th> </tr> </thead> <tbody> <tr><td><input type="checkbox"/> 104-11</td><td>10'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 124-11</td><td>12'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 144-11</td><td>14'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 154-11</td><td>15'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 164-11</td><td>16'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 184-11</td><td>18'</td><td>11</td><td>9"</td><td>3/4"X18 X3"</td></tr> <tr><td><input type="checkbox"/> 204-11</td><td>20'</td><td>11</td><td>10"</td><td>3/4"X24 X3"</td></tr> <tr><td><input type="checkbox"/> 204-7</td><td>20'</td><td>7</td><td>11"</td><td>3/4"X30 X3"</td></tr> <tr><td><input type="checkbox"/> 254-11</td><td>25'</td><td>11</td><td>11"</td><td>3/4"X24 X3"</td></tr> <tr><td><input type="checkbox"/> 254-7</td><td>25'</td><td>7</td><td>11"</td><td>3/4"X30 X3"</td></tr> </tbody> </table>		POLE HEIGHT	WALL THICKNESS	BOLT CIRCLE	ANCHORAGE	<input type="checkbox"/> 104-11	10'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 124-11	12'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 144-11	14'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 154-11	15'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 164-11	16'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 184-11	18'	11	9"	3/4"X18 X3"	<input type="checkbox"/> 204-11	20'	11	10"	3/4"X24 X3"	<input type="checkbox"/> 204-7	20'	7	11"	3/4"X30 X3"	<input type="checkbox"/> 254-11	25'	11	11"	3/4"X24 X3"	<input type="checkbox"/> 254-7	25'	7	11"	3/4"X30 X3"	<input type="checkbox"/> 2 3/8"X4' TENON PT23 <input type="checkbox"/> 2 7/8"X4' TENON PT27 <input type="checkbox"/> OTHER TENON MIT _____ DRILL MOUNT <input type="checkbox"/> 1-100 <input type="checkbox"/> 3-200 <input type="checkbox"/> 2-100 <input type="checkbox"/> 4-200 <input type="checkbox"/> 2-200 <input type="checkbox"/> 3-120 3-120 REQUIRES PT27 AND T3120 ADAPTER	<input type="checkbox"/> DARK BRONZE DBM <input type="checkbox"/> MEDIUM BRONZE MBM <input type="checkbox"/> BLACK BKM <input type="checkbox"/> WHITE WTM <input type="checkbox"/> SILVER SLM OPTION: <input type="checkbox"/> PRIME PAINT PP <input type="checkbox"/> GALVANIZED GLV <input type="checkbox"/> THERMOSET POLYESTER POWDER PDR SEE PAGE 3 FOR ADDITIONAL COLORS	<input type="checkbox"/> DUPLEX RECEPTACLE DUP <input type="checkbox"/> GFI RECEPTACLE GFI <input type="checkbox"/> 3 WAY ADAPTER T3120 <input type="checkbox"/> 1/2" COUPLING CPLN1/2 <input type="checkbox"/> 3/4" COUPLING CPLN3/4 <input type="checkbox"/> 2" COUPLING CPLN2 (SPECIFY COUPLING LOCATION) SEE ACCESSORIES SECTION FOR OTHER OPTIONS.
	POLE HEIGHT	WALL THICKNESS	BOLT CIRCLE	ANCHORAGE																																																							
<input type="checkbox"/> 104-11	10'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 124-11	12'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 144-11	14'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 154-11	15'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 164-11	16'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 184-11	18'	11	9"	3/4"X18 X3"																																																							
<input type="checkbox"/> 204-11	20'	11	10"	3/4"X24 X3"																																																							
<input type="checkbox"/> 204-7	20'	7	11"	3/4"X30 X3"																																																							
<input type="checkbox"/> 254-11	25'	11	11"	3/4"X24 X3"																																																							
<input type="checkbox"/> 254-7	25'	7	11"	3/4"X30 X3"																																																							

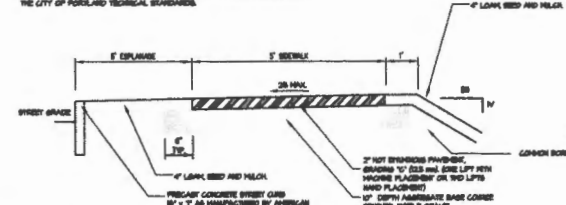


NOTES:
1. COMPACT RECLAIMED ASPHALT, 18" IF LIPS TO 18 PERCENT OF MAXIMUM DRY WEIGHT.

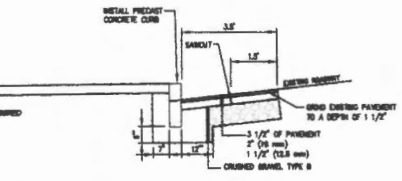


1 TYPICAL GRAVEL SURFACE PAVEMENT
SCALE: N.T.S.

NOTES:
1. SIDEWALK CONSTRUCTION, FINISHED REPLACEMENT AND CURB TO CONFORM TO THE CITY OF PORTLAND TECHNICAL STANDARDS.

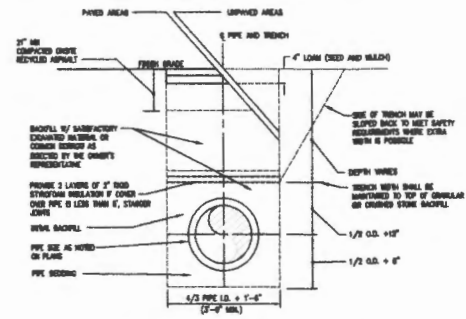


2 BITUMINOUS CONCRETE SIDEWALK
SCALE: N.T.S.



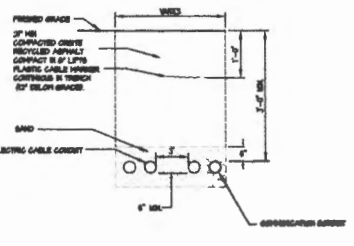
3 CONCRETE CURB (TYPICAL SECTION)
SCALE: N.T.S.

PIPE MATERIAL	BEDDING MATERIAL	PIPE COVER MATERIAL	BACKFILL MATERIAL
HPIPE	1/4" CRUSHED STONE	1/4" CRUSHED STONE	PRECASTED MATERIAL OR SIMILAR BORROW
PC	1/4" CRUSHED STONE	1/4" CRUSHED STONE	PRECASTED MATERIAL OR SIMILAR BORROW
CP	PRECASTED MATERIAL OR SIMILAR BORROW	PRECASTED MATERIAL OR SIMILAR BORROW	PRECASTED MATERIAL OR SIMILAR BORROW
DUCTILE IRON	COMBULAR MATERIAL	COMBULAR MATERIAL	PRECASTED MATERIAL OR SIMILAR BORROW



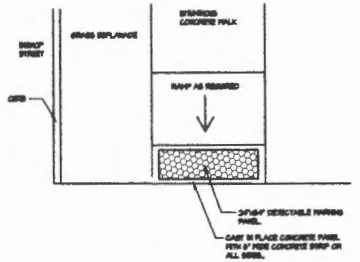
4 WATER AND SEWER TRENCH SECTION
SCALE: N.T.S.

NOTES:
CONTRACTOR SHALL VERIFY ALL UTILITY TYPE, DEPTH, SIZE AND LOCATION FROM EXISTING REPRESENTATIONS AND THE APPROPRIATE UTILITY COMPANY PRIOR TO DIGGING AND CONSTRUCTION.



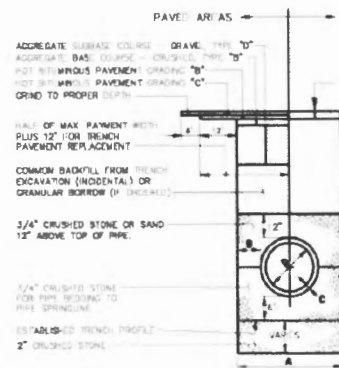
5 TRENCH SECTION - ELECTRIC/TELEPHONE/DATA
SCALE: N.T.S.

NOTES:
1. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FLOORING.
2. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO CONFORM WITH ADA REQUIREMENTS.
3. CONTRACTOR TO INSTALL 3/4" WIDE DETECTABLE PAVING STRIP PER ADA GUIDELINES AND THE CITY OF PORTLAND TECHNICAL STANDARDS, PARAGRAPHS 1-1 AND 1-1A. DETECTABLE PAVING STRIP SHALL BE COMPOSITE BUT SET REPLACED IN FEDERAL YELLOW COLOR FINISH AS MANUFACTURED BY ADA SOLUTIONS, INC. OR APPROVED EQUIVALENT.
4. CONCRETE PANELS SHALL BE CAST IN PLACE IF THICK AND MEET SPECIFICATIONS FOR FIBRE DUCT CLASS A STRUCTURAL CONCRETE PERISH CONCRETE WITH 4000 PSI. CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS. THE EXPOSED CONCRETE SURFACE SHALL RECEIVE A FINISHED SHINE BETWEEN THE PANELS AND THE CONCRETE, ALONG WITH A SURFACED BROOK FINISH PERPENDICULAR TO TRAFFIC FLOW.



6 WALKWAY CURB RAMP
SCALE: N.T.S.

NOTES:
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
ANY ALTERNATE FINISHING OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES.



7 TYPICAL SECTION PAVEMENT REPAIR IN CITY R.O.W.
SCALE: N.T.S.

NOTES:
1. ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES.
2. IN PAVED AREAS, 6" DIA. OF GRAVEL AND 10" DIA. ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAUNCHES IN THE DEPTH B IN ALL CASES.
4. DIMENSION B SHALL BE AT LEAST 8" DIMENSION A IS THE MAXIMUM WIDTH ALLOWED OR CALCULATED PER QUANTITY UNDER DRAIN OR BURROW. CRUSHED STONE STRUCTURAL FORTH EXCAVATION AND STRUCTURAL BOX FOUNDATION DIMENSION B SHALL BE BASED ON RPPF AMBITER B AS SET FORTH IN THE FOLLOWING TABLE.

PIPE DIAMETER D (INCHES)	MAX TRENCH WIDTH A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	5.0
15	5.0
18	5.0
24	5.0
27	6.0
30	6.0
36	7.0
42	7.0
48	7.0

7 GRASS ESPLANADE
SCALE: N.T.S.

8 LIGHT POLE BASE (20 INCH ROUND)
SCALE: N.T.S.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT PERMISSION FROM THE DESIGN ASSOCIATES, ANY ALTERATIONS, OMISSIONS, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE DESIGN ASSOCIATES.

REV.	DATE	STATUS	BY	CHKD	APPD	REV.	DATE	STATUS	BY	CHKD	APPD
B	06/12/12	ADDED R.O.W. TRENCH DETAIL									
A	06/07/12	FOR CITY REVIEW									



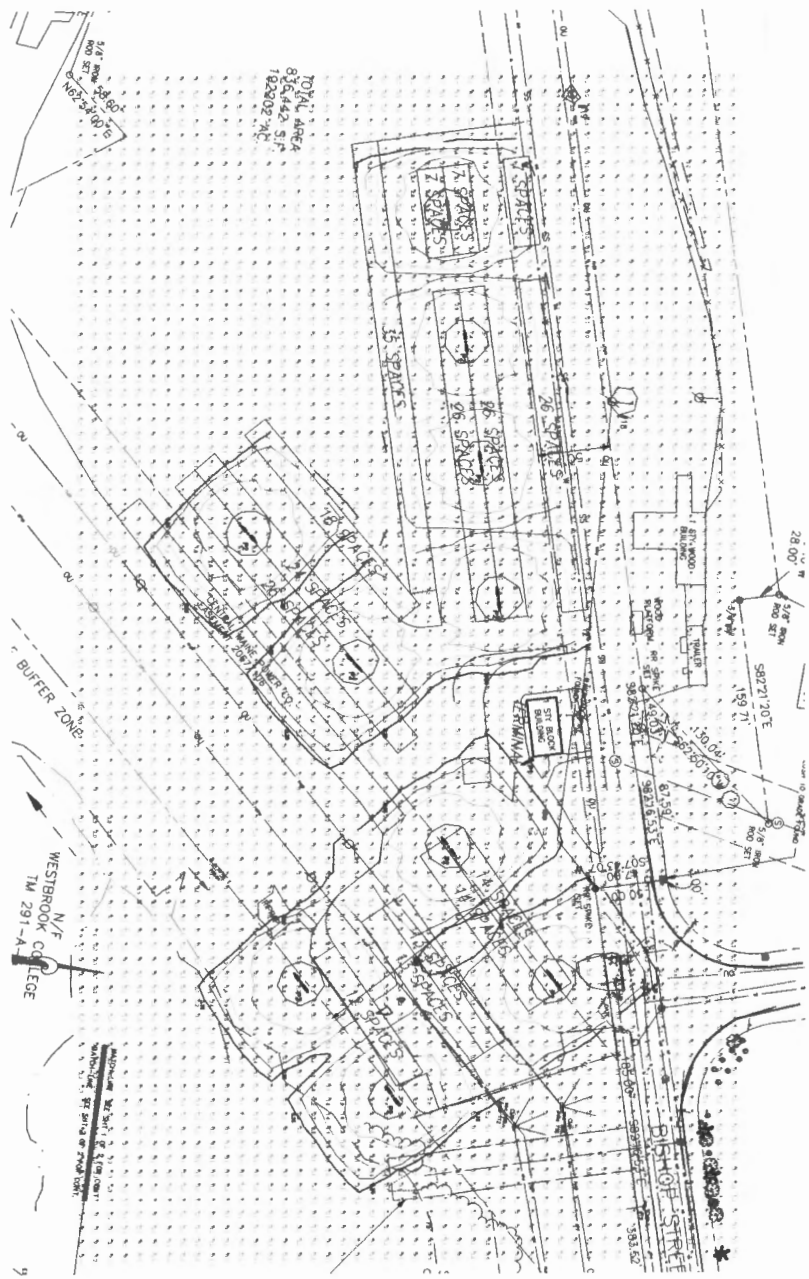
Site Design Associates
Consulting Engineering & Land Planning
73 Wilbur Way
Topsham, Maine 04086
Tel: (207) 498-4723
UNIVERSITY OF NEW ENGLAND
11 HILLS BEACH ROAD, BIODFORD, MAINE 04005

DESIGN:	DEPT:	PROJECT:
DRAM:	DEPT:	PARKING IMPROVEMENTS
CHRD:	TWS	102 BRIDGEMAN STREET PORTLAND, MAINE
SITE DETAILS		
DATE:	JANUARY 2011	PROJ. NO.
SCALE:	N.T.S.	DWG. NO.

LIGHTING
SCIENCE LSR, INC.
SERVING THE LIGHTING INDUSTRY SINCE 1984



SEP 14 2012



STATISTICS

Quantity	Symbol	Area	Area	Area	Area	Area	Area
1	X	1.11	1.11	1.11	1.11	1.11	1.11
1	+	1.11	1.11	1.11	1.11	1.11	1.11

LUMINAIRE SCHEDULE

Symbol	Label	Code	Quantity	Comments	Location	Notes
+	1	1	1	1	1	1
X	1	1	1	1	1	1
+	1	1	1	1	1	1
X	1	1	1	1	1	1

TOTAL AREA
82,442 SQ FT
182,902 SQ FT

BUFFER ZONE

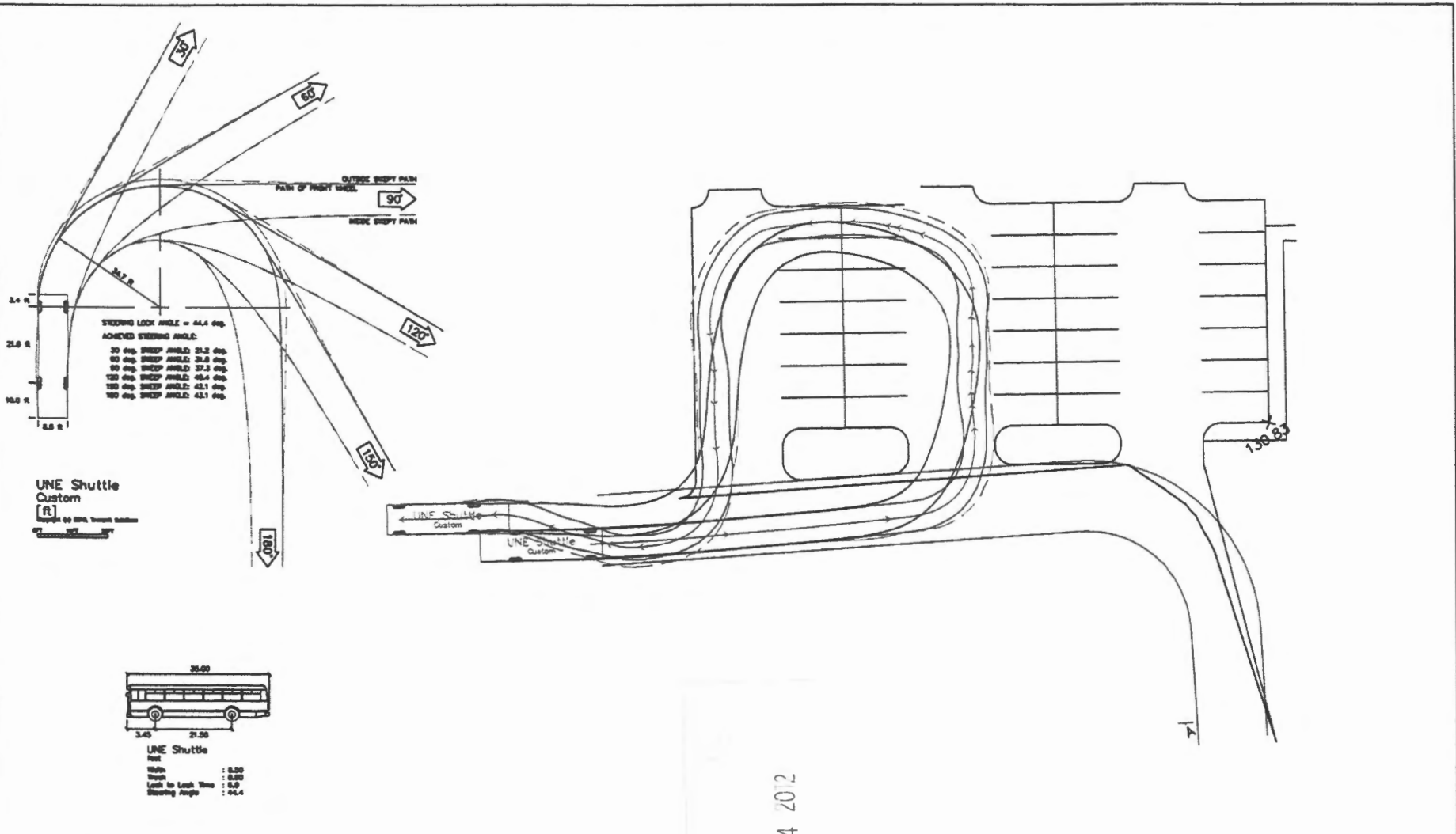
WESTBROOK CT
TM 291-A

N/F
LEGE



OWNER	UNIVERSITY OF CALIFORNIA
PROJECT	UNIVERSITY OF CALIFORNIA
DATE	SEP 14 2012
SCALE	AS SHOWN
PROJECT	UNIVERSITY OF CALIFORNIA
DATE	SEP 14 2012
SCALE	AS SHOWN
PROJECT	UNIVERSITY OF CALIFORNIA
DATE	SEP 14 2012
SCALE	AS SHOWN

PH101



SIMULATION CONDUCTED
 AT 5 MPH

Figure 2
Shuttle Circulation Simulation
McDougall Lot, Run #1A
University of New England

Maine Traffic Resources
 25 Vine Street
 Gardiner, ME 04345
 tel: (207) 582-5252
 fax: (207) 582-1677

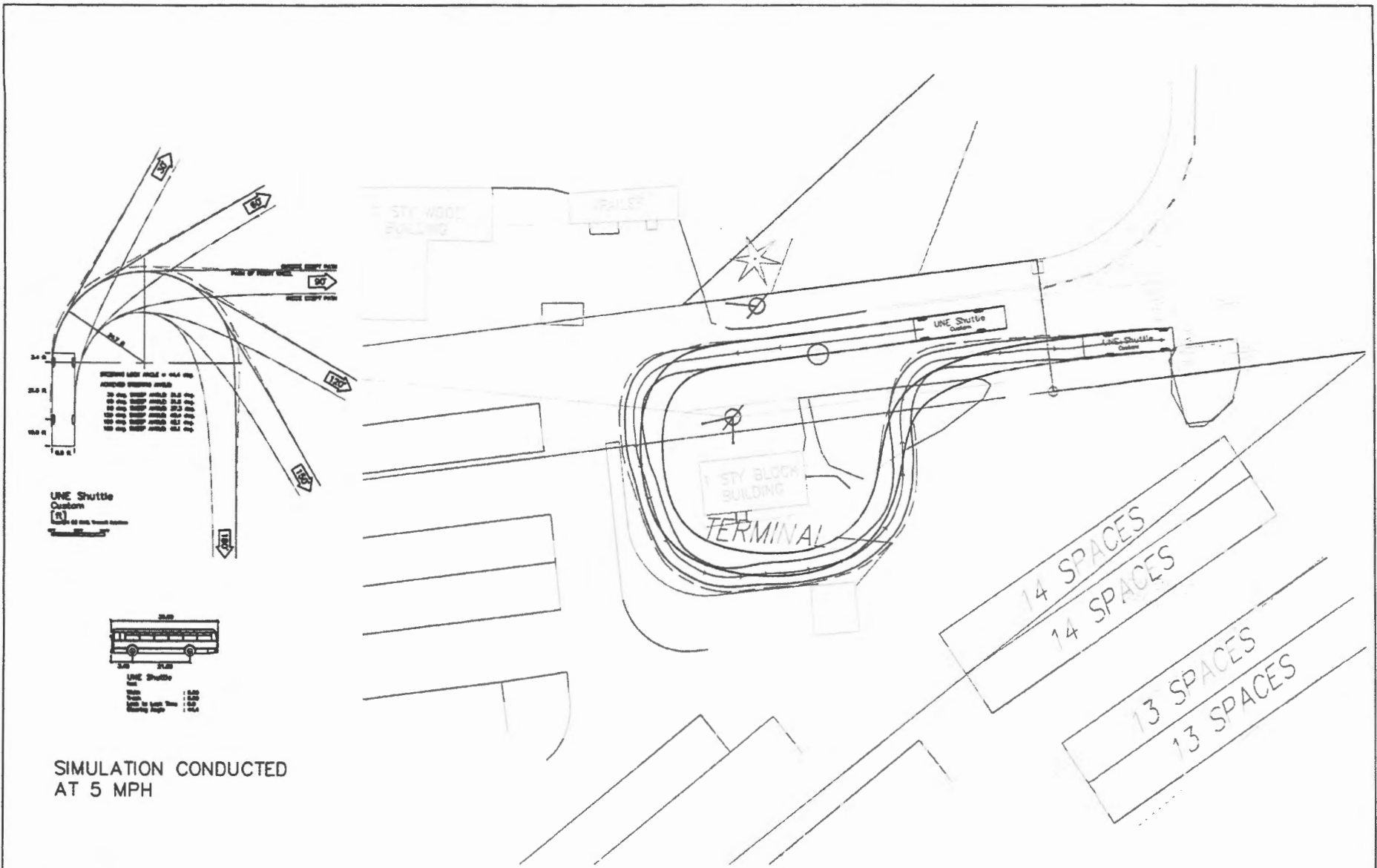


Figure 1

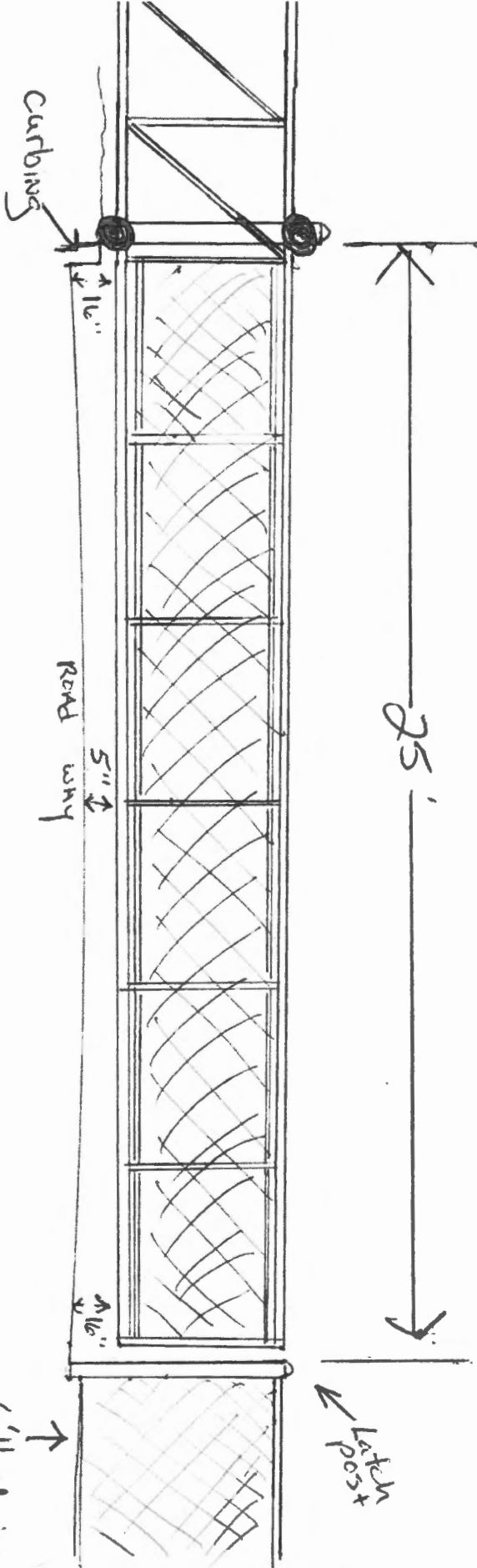
Shuttle Circulation Simulation

Gate Circle

University of New England

**Maine
Traffic
Resources**

25 Vine Street
Gardiner, ME
04345
tel: (207) 582-5252
fax: (207) 582-1677

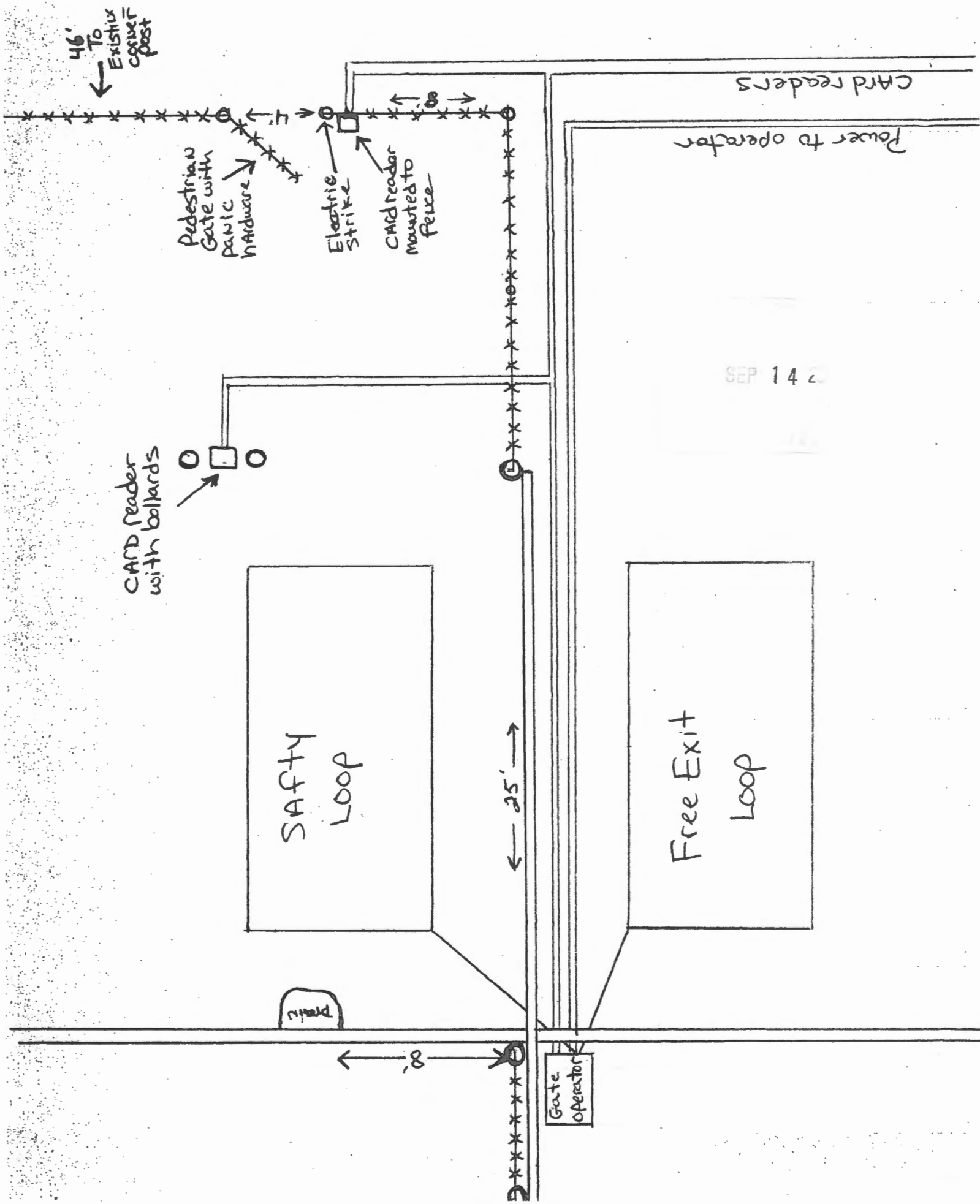


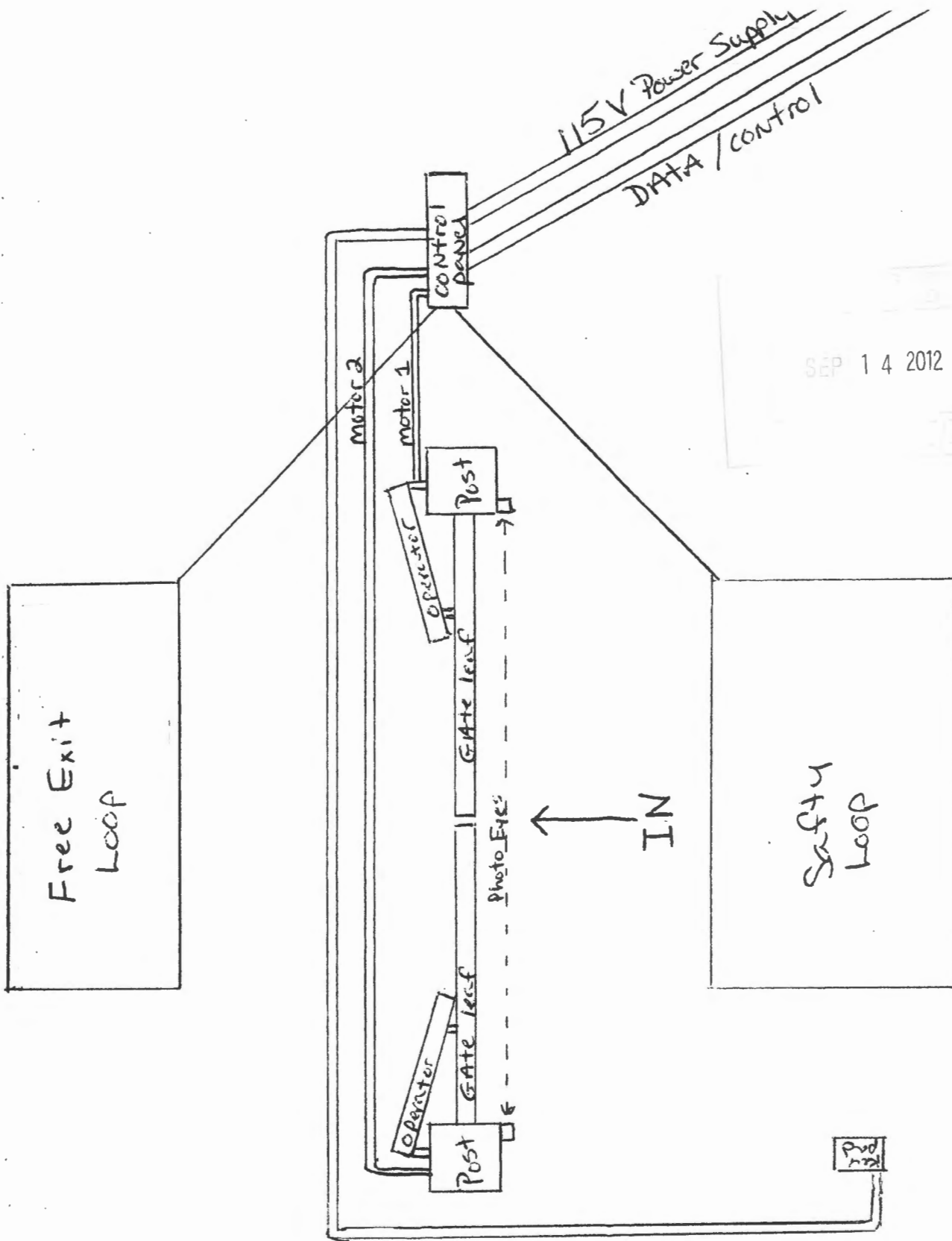
Inside looking out

SEP 14 2012

6'H chain link fence

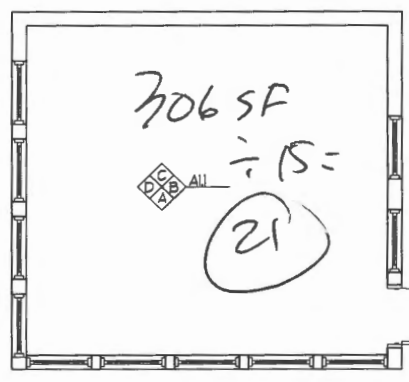
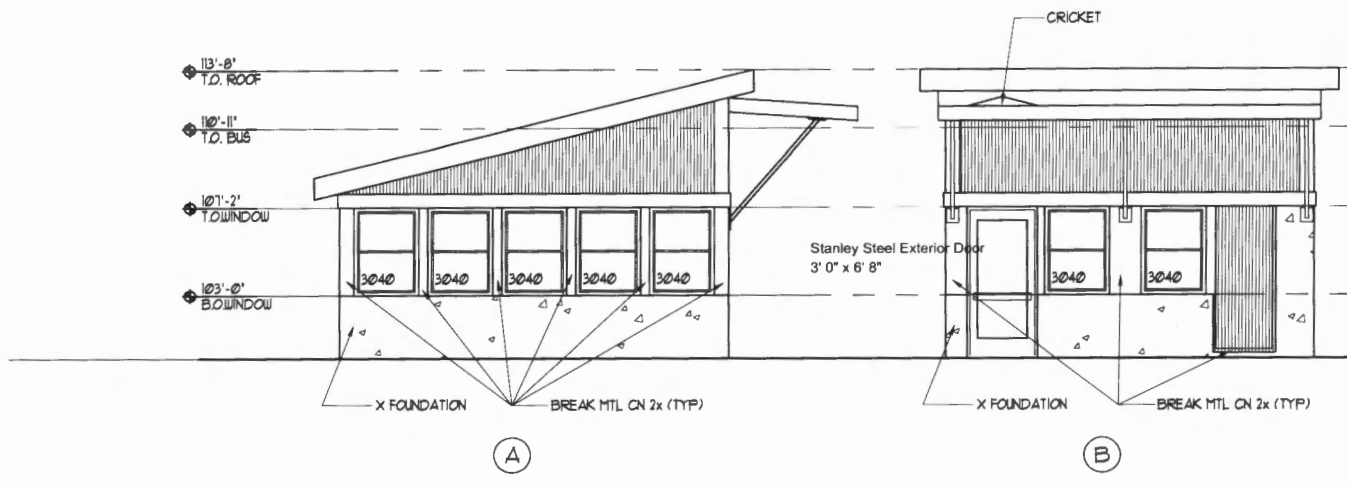
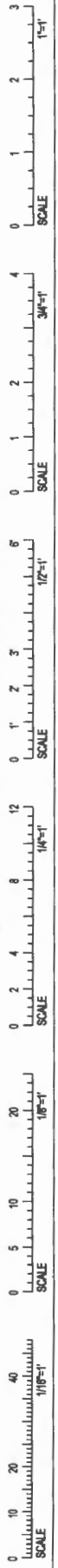
Latex post



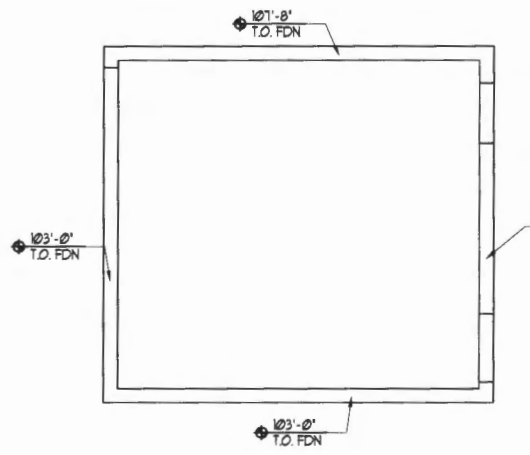


Typical Double Swing gate

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



4 FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 X FOUNDATION
SCALE: 1/4" = 1'-0"

Jeanie Bourke - UNE, 1 College Street - Bishop Street Parking Lot - Building Permit Issuance

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 10/25/2012 9:04 AM
Subject: UNE, 1 College Street - Bishop Street Parking Lot - Building Permit Issuance

Hi all, this project, site plan #'s 2012-455 & 2012-483, the UNE Bishop Street parking lot located at the end of Bishop Street, meets minimum DRC site plan requirements for the issuance of the building permit. All conditions of approval prior to the issuance of the building permit have been met. OK to issue building permit.

Feel free to contact me with any questions. Thanks.

Phil