

424-430 WARREN AVENUE

BUILDING INSPECTION

SCHEDULE

DOC. NO.	PLANS FILED	SYMBOLS
		<p>Type of Document</p> <ul style="list-style-type: none"> A—Appeal C—Complaint Co—Cert. of Occupancy Da—Demol. Applications I—Inquiry P—Permit
		<p>Type of Work Under Permit</p> <ul style="list-style-type: none"> A—Alteration Ca—Change of use D—Demolition M—Moving N—New Bldg. or Structure Reh—Repair chimney Rf—Repair after fire Rfa—Repair after fire with alterations Rr—Repair roof covering
		<p>Type of Installation Permit</p> <ul style="list-style-type: none"> Ck—Cooling appliance Ey—Elevator H—Heating appliance Hw—Hot water heater Inf—Inflammable liquids equipment Pv—Power appliance Rh—Refrigeration Sd—Detached sign Sp—Projecting sign Spr—Automatic Sprinklers Sr—Roof sign Vt—Ventilation
		<p>Type of Use</p> <ul style="list-style-type: none"> AH—Assembly Hall AHH—Asylums, Hospitals & Homes BI—Business & Industrial Ch—Church Cl—Club & Lodge Dwg—Dwelling Gmn—Minor Garage Gmj—Major Garage Gv—Repair Garage Gr—Service Garage Hr—Hangar Hf—Hotel Lg—Lodging House

February 21, 1978

Global Energy Corporation
420 Warren Avenue
Portland, Maine

RE: 418-430 Warren Avenue

Gentlemen:

Following is the decision of the Board of Appeals regarding your petition for Building Permit and Certificate of Occupancy to construct a 50' x 100' addition on the rear of the existing building, at the above named location, for the manufacture of insulation. Please note that your appeal was granted.

Also, before your permit can be issued a new site plan is required, and you must pay the permit fee itself. Please contact this department to find out what is required. Check should be made payable to the City of Portland.

Very truly yours,

Malcolm G. Ward
Building Inspection Supervisor

MGW/r

418-430 Warren Avenue

February 2, 1978

Global Energy Corporation
420 Warren Avenue
Portland, Maine

Gentlemen:

Building Permit and Certificate of Occupancy to construct a 50' x 100' addition on the rear of the existing building, at the above named location for the manufacture of insulation, are not issuable under the Zoning Ordinance because such a use is not permitted under Section 602.12.A.2.c of the ordinance applying to the I-2 Industrial Zone in which this property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office, Rm. 113, City Hall, to file the appeal on forms which are available here. A fee of \$15.00 for a Use Variance Appeal shall be paid at this office at the time the appeal is filed. If fee has been paid and appeal filed prior to this letter, then consider this letter as a matter of formality. Section 602.24.C.3.b.3.

Malcolm G. Ward.
Building Inspection Supervisor

MGW/r

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

127

Applicant Global Energy Corp. Date 2-2-78
 Mailing Address 420 Warren Ave. Address of Proposed Site 418-430 Warren Ave.
 Proposed Use of Site insulation manufacturing Site Identifier(s) from Assessors Maps 278-B-4
 Acreage of Site / Ground Floor Coverage 83,040 / 5000 sq. ft. Zoning of Proposed Site I-2

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors 1
 Board of Appeals Action Required: () Yes () No Total Floor Area 5000 sq. ft.
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: 2-6-78

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action
- Explanation: 602.12.A.2.C.
- Use complies with Zoning Ordinance — Staff Review Below

Zoning:
 SPACE & BULK,
 as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES	<input checked="" type="checkbox"/>						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>							<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
COMPLIES CONDITIONALLY		<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>														
DOES NOT COMPLY																			

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

William M. Ward
 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant _____ Date _____

Mailing Address _____ Address of Proposed Site _____

Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____

Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

2-6-78
 (Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMESE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
APPROVED							✓	
APPROVED CONDITIONALLY	✓	✓	✓	✓	✓			
DISAPPROVED								

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: More detail needed showing access to site & structure, turning room, safety hazards and water supply (hydrants).

(Attach Separate Sheet if Necessary)

James P. Collins
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Malcolm Ward, Building Inspection Department
FROM: Jeremiah O'Brien, Planning Department
SUBJECT: Site Plan Review - Global Energy Corporation

DATE:

February 15, 1978

Regarding the Global Energy Corporation site plan, this department has no objection to the proposed use or site development plan as shown. However, certain information has been omitted from the plan which makes it impossible for the staff to complete our review.

Specifically, all existing and proposed areas which are to be paved should be delineated and labeled for their intended use, such as parking, driveways and truck storage/maneuvering areas. The existing curb cut should be shown as well as any proposed modifications. Sanitary sewer connections should also be shown.

I understand that the applicant will be seeking an appeal for this project. If he would rather wait until after the question of use is resolved by the Board of Appeals before revising the site plan, this arrangement is satisfactory. I will delay any action on the site review form until I either receive a revised plan or hear otherwise from you.

JO'B

Jeremiah O'Brien

JO'B/dd

cc: Donald E. Megathlin, Planning Director
John Rague, Public Works
Lt. Collins, Fire Department
Donald E. Olsen, Planning Department

Red.
2-1 78

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

APPLICATION FOR A USE VARIANCE

Global Energy Corporation, owner of property at 418-430 Warren Ave.
under the provisions of Section 602.24 C of the Zoning Ordinance of the City of

Portland, hereby respectfully petitions the Board of Appeals to permit: Construction of a 50'x100' addition on rear of the existing building for the manufacture of insulation not issuable under the Zoning Ordinance because such a use is not permitted under Sec. 602.12.A.2.c of the ordinance applying to the I-2 Industrial Zone in which property is located.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that the conditions imposed by Section 602.24 C(3)(b)(3) of the Zoning Ordinance have been met. (See reverse side hereof for said conditions.)

Site Plan approval (is/is not) required by the Site Plan Ordinance. If site plan approval is required a preliminary or final site plan is attached hereto as Exhibit A.

Moses D. Curtis
APPELLANT

602.24C(3)(b)(3). Use Variances.

(a) No reasonable return: The subject property is not capable of yielding a reasonable return if used for its present use or any use permitted in the zone in which such a lot or parcel is located. Such inability to yield a reasonable return must be shown by specific facts and the unsupported opinion of the owner or those appearing for him shall not be accepted as establishing such inability.

(b) Unique circumstances: The hardship results from unique circumstances peculiar to the subject lot or parcel which do not generally apply to or affect the general vicinity of the subject property.

(c) Not self-created: The aforesaid inability to yield a reasonable return is not the result of any action or inaction by the owner or his predecessors in title. Acquisition or improvement of the subject lot or parcel at any time after the enactment of the provision sought to be varied shall raise a rebuttable presumption that the owner's inability to realize a reasonable return is the result of his own actions.

(d) Essential character of area - general plan: The variance would not result in a use or development of the lot or parcel in question which would be not in harmony with the general purpose and intent of this Chapter or of the Land Development Plan of the City.

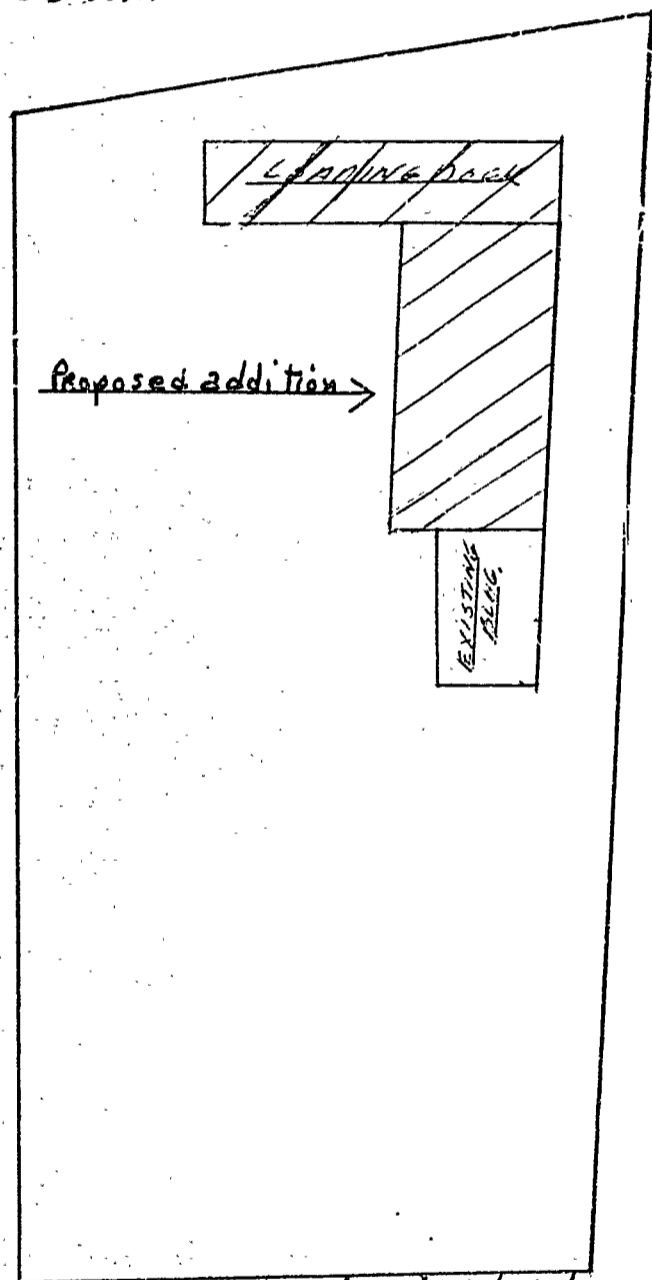
(e) Essential character of area - surrounding uses and facilities:
The variance would not result in a use or development of the lot or parcel in question which would be materially detrimental to the public welfare or materially injurious to the enjoyment, use or development of property or improvements permitted in the vicinity or which would materially impair an adequate supply of light and air to properties and improvements in the vicinity, substantially increase congestion in the public streets due to traffic or parking, increase the danger of flood or fire, unduly tax public utilities and facilities in the area or endanger the public health or safety.

(f) No other remedy: There is no means other than the requested variance by which the hardship can be avoided or remedied to a degree sufficient to permit the economic use of the subject lot or parcel.

of 1

418-430 WARREN AVE.

216178



418' 420' 422' 424' 426' 428' 430'
WARREN AVE.

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

All persons interested either for or against this Use Variance Appeal will be heard at a public hearing in Room 209, City Hall, Portland, Maine on Thursday, February 16, 1978 at 3:30 p.m. This notice of required public hearing has been sent to the owners of property within 500 feet of the property in question as required by Ordinance.

Global Energy Corporation, owner of property at 418-430 Warren Avenue under the provisions of Sec. 602.24 C of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit: Building Permit and Certificate of Occupancy to construct a 50' x 100' addition on the rear of the existing building, at the above named location for the manufacture of insulation, which is not issuable under the Zoning Ordinance because such a use is not permitted under Section 602.12.A.2.c of the ordinance applying to the I-2 Industrial Zone in which this property is located.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that the conditions imposed by Sec. 602.24 C (3)(b)(3) of the Zoning Ordinance have been met.

James O'Malley
Secretary

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

USE VARIANCE

Findings of Fact

The applicant is Global Energy Corporation and he is interested in the property located at 418-430 Warren Avenue as insulation business. The owner of the property is Global Energy Corporation and his address is 420 Warren Avenue. The property is located in a I-2 Zone. The present use of the property is _____.

The applicant respectfully petitions the Board of Appeals for a variance from the provision of Section 602.12.A.2.c of the Ordinance to permit construction of a 50'x100' addition on rear of the existing building for the manufacture of insulation not issuable under the Zoning Ordinance because such a use is not permitted under Sec. 602.12.A.2.c of the ordinance applying to the I-2 Industrial Zone in which property is located.

Further Findings of Fact

Appearances

The names and addresses of those appearing in support of the application are: Lawrence DiPietro for Global Energy, 530 Stevens Ave Portland

and the names and addresses of those appearing in opposition to the application are:

Exhibits

The documentary evidence presented to the Board, including, but not by way of limitation, plans, specification, photographs, etc. consisted of the following:

Photographs & overlay, Fire Dept. Report

REASONS FOR DECISIONS

The subject property (is/~~is not~~) capable of yielding a reasonable return if used for its present use or any other use permitted in the zone in which such a lot or parcel is located as demonstrated by the following: _____

(Such inability to yield a reasonable return must be shown by specific facts and the unsupported opinion of the owner or those appearing for him shall not be accepted as establishing such inability.)

The hardship (~~does~~/does not) result from unique circumstances peculiar to the subject lot or parcel which generally apply to or effect the general vicinity of the subject property, as evidenced by: _____

The aforesaid inability to yield a reasonable return (is/is not) the result of any action or inaction by the owner or his predecessors in title as demonstrated by: _____

(Acquisition or improvement of the subject lot or parcel at any time after the enactment of the provision sought to be varied shall raise a rebuttable presumption that the owner's inability to realize a reasonable return is the result of his own actions.)

The variance (~~would~~/would not) result in a use or development of the lot or parcel in question which would be contrary to the general purpose and intent either of Section 602.24 or of the Land Development Plan of the City as evidenced by: _____

The variance (~~would~~/would not) result in a use or development on the lot or parcel in question which would be materially detrimental to the public welfare or materially injurious to the enjoyment, use or development of property or improvements permitted in the vicinity or which would materially impair an adequate supply of light and air to properties and improvements in the vicinity, substantially increase

congestion in the public streets due to traffic or parking, increase the danger of flood or fire, unduly tax public utilities and facilities in the area or endanger the public health or safety all as demonstrated by the following facts: _____

There (~~is~~/is not) means other than the requested variance by which the hardship can be avoided or remedied to a degree sufficient to permit the economic use of the subject lot or parcel, because of the following: _____

SPECIFIC RELIEF GRANTED

After public hearing held on 2/16/78, the Board of Appeals find that all of the conditions required by the Ordinance (do/do not) exist with respect to this property and that a use variance should BE be granted in this case.

It is therefore determined that a variance from the provisions of the Zoning Ordinance should BE be granted in this case.

Thomas Humphrey

Marshall Selby

Gail D. Snow

Jacqueline Coker

W. Earl Estlin

~~278-B-4~~

(33) 39 279-15

#1

418-430 Warren ave. - District Energy Corp.

278-B-3 - Jengji Daudenya & Sente
6 Prospect ave., Rumford, Me ✓

278-B-5 - T-11 Oil Co. Inc.
99 Spring St., Lewiston, Me. 04240 ✓

278-B-2 - Marbeth Realty Corp.
749 Congress St. ✓

278-A-5 - Central Me. Power Co. of Augusta
Box 1801, Park, Me.

278-A-3 - Portland Terminal Co.
232 St. John St. ✓

304-B-29 - Bel Air Agency Inc.
2 Clinton St. ✓

~~304-B-28 ?~~

304-B-31 - ³⁰² Dns Barnett
395 Congress St. ✓
P.O. Box 1731

303-A-9 - ³⁰² V. and J. D. (Respect)

303-A-10 - ³⁰² Your Home Inc
10 Alfred C. Washers
726 Forest Ave. 04102 ✓

~~303-A-11~~

303-B-2,3,4,5,9,10,11,12 - Sloan, Amelia R. ✓
365 Warren ave. 04103

303-B-6, 7, 8, 1 - Vanel,RAIN A. & John B.
393 Warren ave. ✓

#2

303-E-11 - ~~Robert~~ Brown Construction, Inc.
253 Warren ave. 04103 ✓

303-E-12 - Hillman Electric Curmay Corp.
P. O. Box 1217 ✓

303-E-1, 2 - aceto, Mary J.
378 Warren ave. 04103 ✓

303-E-3, 4, 5, 6, 7, 8, 9, 10 - aceto, Thomas C.
4 Applegate Lane, Shelburne, Me. ✓

303-F-1, 2, 3, 4, 5, 6, 7, 8, 13, 14, 15, 16 - aceto, Thomas C.
(Repeat) ✓

303-F-9, 10, 11, 12, 17, 18, 19, 20 - aceto, Camello T.
(Repeat) ✓

278^A-A-12 - ~~Camacho~~ Black, Lloyd A. & Carol A.
205 Pinecrest Rd. 04102 ✓

278^A-A-13 - Suttel, Dale T. & Florence W.
197 Pinecrest Rd. 04102 ✓

278^A-A-14 - Kimball, Frances M.
189 Pinecrest Rd. 04102 ✓

278^A-A-15 - ~~Thibault~~ Degross, Paul A. & Janet C.
185 Pinecrest Rd. 04102 ✓

278^A-A-16 - Peterson, George W. III & Carol A.
179 Pinecrest Rd. 04102 ✓

- 278^A-A-30 - Jordan Hammond, Mrs. 118 Maine Mall Rd., So. Port., Me. 04106 ✓
- 278^A-A-17 - Pop, Clifford G. & Marie M. 169 Pinecrest Rd. ✓
- 278^A-A-18 - Colucci, Ana D. & Nicholas D. 163 Pinecrest Rd. 04102 ✓
- 278^A-A-19 - Puckering, Bernadette T. & Frederick A III 159 Pinecrest Rd. 04102 ✓
- 278^A-A-20 - ~~Cota~~ Berry, James M. & Patricia D. 151 Pinecrest Rd. 04102 ✓
- 278^A-A-21 - Bergson, David E., Jr. & Terry 147 Pinecrest Rd. 04102 ✓
- 278^A-A-22 - Williams, Robert A. & Irene M. 143 Pinecrest Rd. 04102 ✓
- 278^A-D-1 - Bean, David L. & Mary C. 25 Aspen Drive 04103 ✓
- 278^A-D-2 - Ronaldi, William B. & Annette L. Peters 17 Aspen Dr. 04102 ✓
- 278^A-D-3 - Schneit, Alan W. & Francis E. Pinecrest Rd. ✓
- 278^A-D-4 - Daliezo, Dominic G. & Mary Ann 136 Pinecrest Rd. 04102 ✓
- 278^A-D-5 - Wexley, Jack D. & Sandra 152 Pinecrest Rd. 04102 ✓
- 278^A-D-6 - Downes, W. G. & M. T. 170 Pinecrest Rd. 04102 ✓

278^A-D-7 - Cambridge, Leon E. & Jeannette
182 Pinecrest Rd. ✓

#4

278^A-D-8 - Jordan & Hammond, Inc. (Repeat) ✓
118 Marine Mall Bldg., So. Port., Me. 04106

279-A-2 - Evergreen Cem. (City)

January 21, 1980

Coyne Sign Company
84 Cove Street
Portland, Maine

cc: Reilly Tire Co.
420 Warren Ave.
Portland, Me.

Re: 420 Warren Ave.

Dear Sir:

It has been noted that the pole sign that has recently been erected, at the above location, is not as per approved plans. It will be necessary to come in and apply for an amendment showing the changes.

If you have any questions regarding this matter, don't hesitate to contact this office.

Very truly yours,

Marge Schmuckal
Building Inspector

MS/r



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

AUG 31 1979

B.O.C.A. TYPE OF CONSTRUCTION 000747

ZONING LOCATION PORTLAND, MAINE, ... Aug. 31, 1979

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION . . . 420 Warren Avenue . . . Fire District #1 [], #2 []
1. Owner's name and address Reilly Tire Co. - same . . . Telephone . . .
2. Lessee's name and address . . . Telephone . . .
3. Contractor's name and address Coyne Sign Co. - 84 Cove St. . . Telephone . 774-4330
4. Architect . . . Specifications . . . Plans . . . No. of sheets . . .
Proposed use of building . . . No. families . . .
Last use . . . No. families . . .
Material . . . No. stories . . . Heat . . . Style of roof . . . Roofing . . .
Other buildings on same lot . . . Fee \$. 29.40
Estimated contractual cost \$. . .

FIELD INSPECTOR—Mr. . . . GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling . . . Ext. 234
Garage . . .
Masonry Bldg. . .
Metal Bldg. . .
Alterations . . .
Demolitions . . .
Change of Use . . .
Other . . .

To erect sign on building, 4 x 18, also 4 x 18 as per plans. 1 sheet of plans. Sign
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [x] 4 []
Other: . . .

DETAILS OF NEW WORK

Is any plumbing involved in this work? . . . Is any electrical work involved in this work? . . .
Is connection to be made to public sewer? . . . If not, what is proposed for sewage? . . .
Has septic tank notice been sent? . . . Form notice sent? . . .
Height average grade to top of plate . . . Height average grade to highest point of roof . . .
Size, front . . . depth . . . No. stories . . . solid or filled land? . . . earth or rock? . . .
Material of foundation . . . Thickness, top . . . bottom . . . cellar . . .
Kind of roof . . . Rise per foot . . . Roof covering . . .
No. of chimneys . . . Material of chimneys . . . of lining . . . Kind of heat . . . fuel . . .
Framing Lumber—Kind . . . Dressed or full size? . . . Corner posts . . . Sills . . .
Size Girder . . . Columns under girders . . . Size . . . Max. on centers . . .
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor . . . , 2nd . . . , 3rd . . . , roof . . .
On centers: 1st floor . . . , 2nd . . . , 3rd . . . , roof . . .
Maximum span: 1st floor . . . , 2nd . . . , 3rd . . . , roof . . .
If one story building with masonry walls, thickness of walls? . . . height? . . .

IF A GARAGE

No. cars now accommodated on same lot . . . , to be accommodated . . . number commercial cars to be accommodated . . .
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? . . .

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER . . . Will work require disturbing of any tree on a public street? . . .
ZONING: . . .
BUILDING CODE: . . . Will there be in charge of the above work a person competent
Fire Dept.: . . . to see that the State and City requirements pertaining thereto
Health Dept.: . . . are observed? . . .
Others: . . .

Signature of Applicant [Signature] Phone # . . . same
Type Name of above Coyne Sign Company . . . 1 [] 2 [] 3 [x] 4 []
Other . . .
and Address . . .

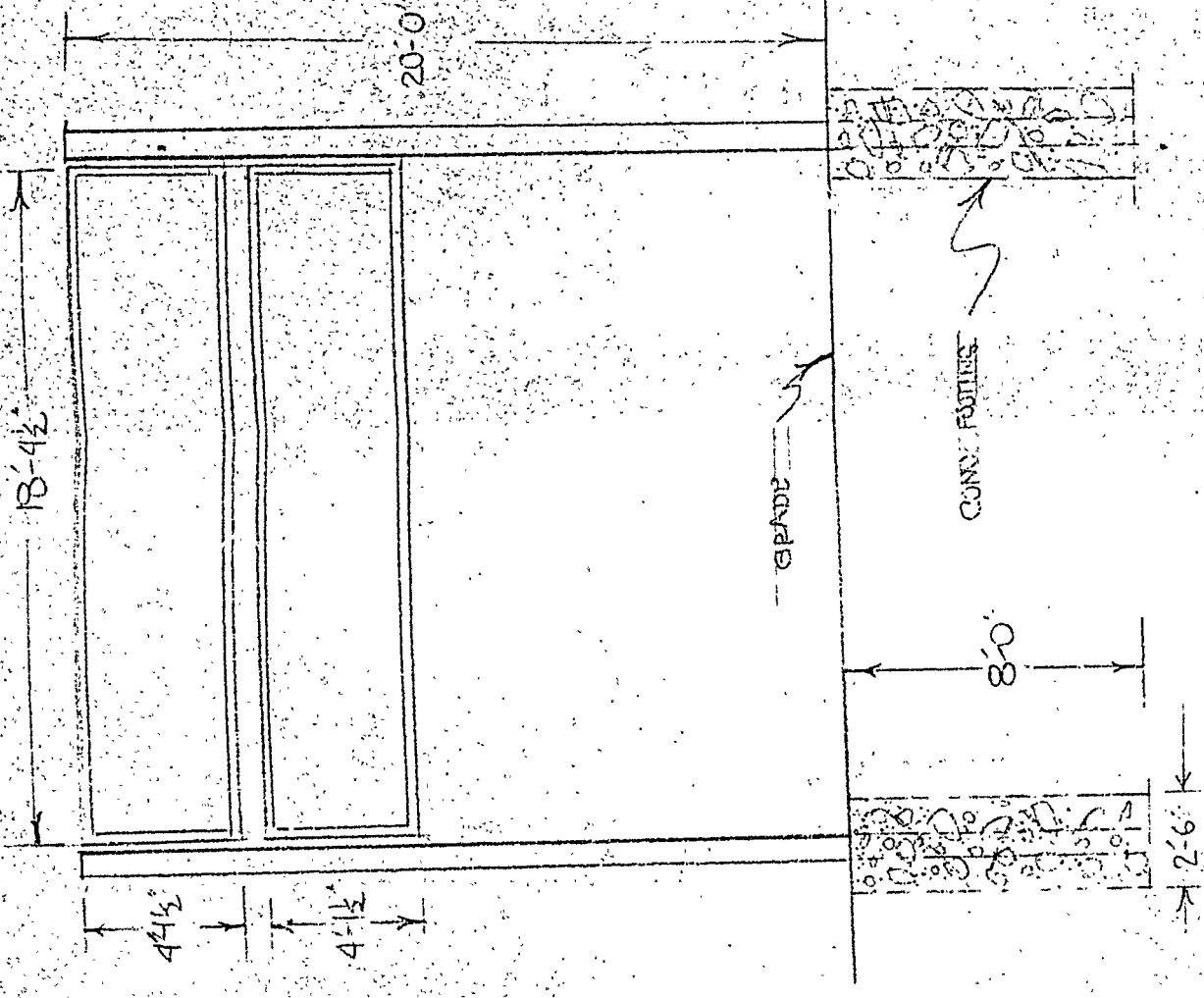
FIELD INSPECTOR'S COPY

Permit No. 79/247
Location 425 Wagon Lane
Owner Reilly Inc. Co.
Date of permit 8/31-79
Approved Sign on bldg

NOTES

10-15-79 Not up yet
1-8-80 Sign bldg bldg is up, but
no pole sign yet
1-21-80 pole sign up but not as per
plans -> is double plate & 2 sign on's
will work better
2-6-80 See New Plans brought
in - if we didn't ask for
Amend -

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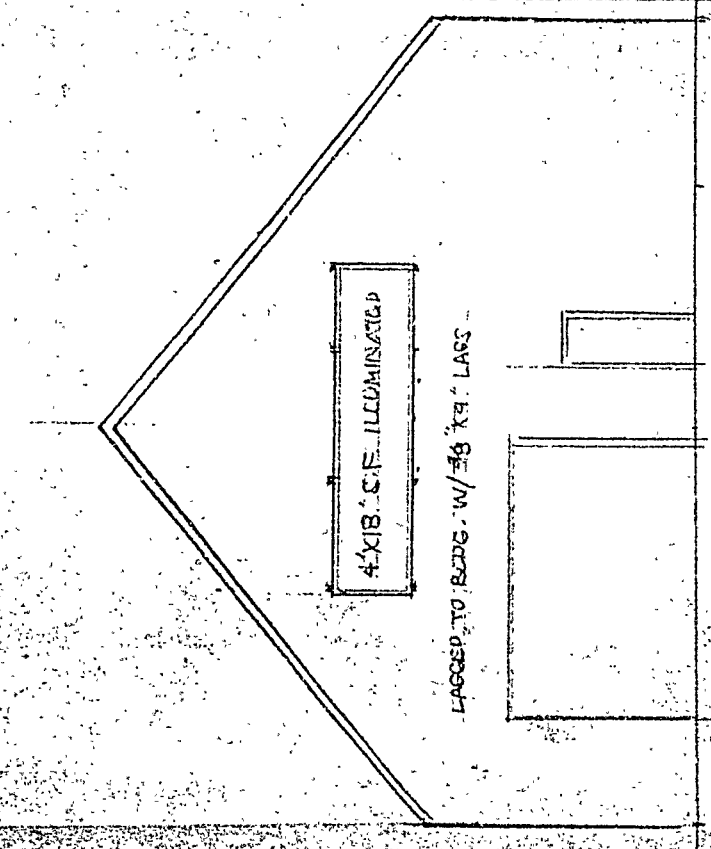
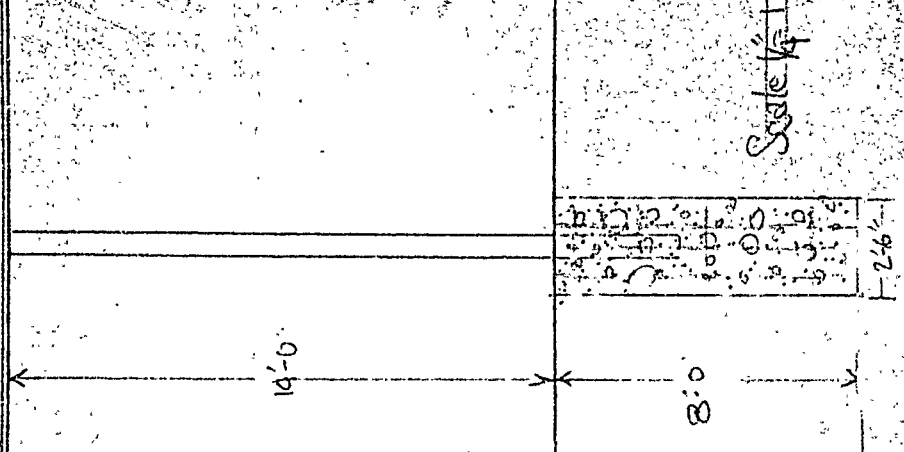
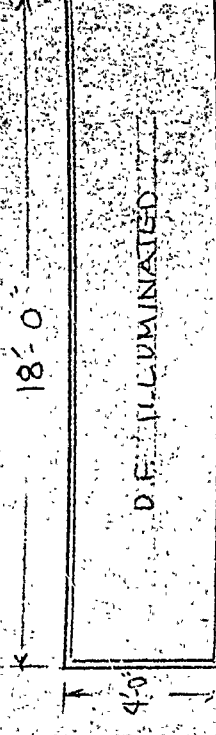
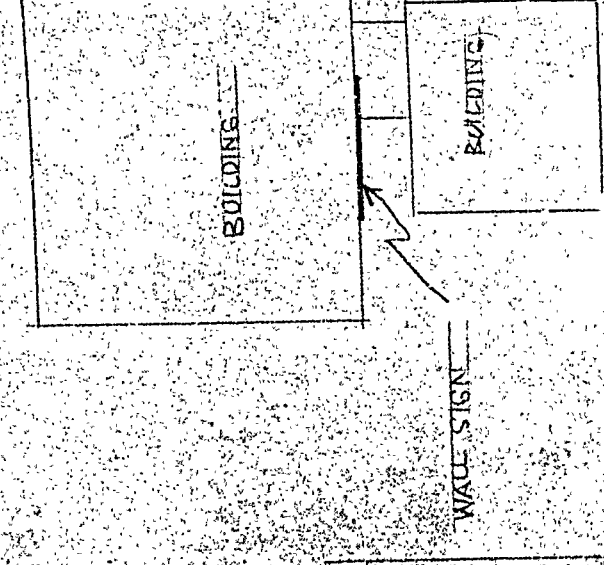


RECEIVED
 JAN 3 1979
 DEPT. OF BLDG. & SR.
 CITY OF PORTLAND

**COYNE
 SIGNS**

84 COYNE STREET
 PORTLAND, MAINE
 04104
 AREA CODE 701
 777-4744 774-4330

CUSTOMER REILLY TIRE CO. LOCATION 470 WARREN AVE CITY DATE J. 29. 80
 SCALE 1/4" = 1'-0"



COYNE SIGNS

84 COVE STREET
PORTLAND, MAINE
04106

AREA CODE 207
772-4144 / 774-4330

RECEIVED
AUG 31 1979
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

CUSTOMER: REILLY TIRE CO. X

SCALE: AS NOTED

LOCATION: 470 WARREN AVE

DATE: 8-30-79

Scale 1/2" = 20'-0"

WARREN AVE

PROX SIGN

January 21, 1980

Coyne Sign Company
84 Cove Street
Portland, Maine

cc: Reilly Tire Co.
420 Warren Ave.
Portland, Me.

Re: 420 Warren Ave.

Dear Sir:

It has been noted that the pole sign that has recently been erected, at the above location, is not as per approved plans. It will be necessary to come in and apply for an amendment showing the changes.

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Very truly yours,

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Building Inspector

MS/r

CITY OF PORTLAND, MAINE

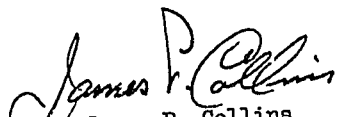
MEMORANDUM

DATE: 7/26/78

TO: Mr. Lawrence DiPietro
FROM: Fire Prevention Bureau
SUBJECT: 418-430 Warren Ave.

Approval is hereby given for a building permit
from this Department subject to the following requirements/reasons:

- 1) The office area shall be separated from the manufacturing area by construction having a two hour fire rating including fire doors with self-closers.
- 2) All areas of hazard shall be enclosed with construction having a fire rating of two hours including fire doors with self-closers. (boiler room)
- 3) All exits and paths to reach same shall be provided with emergency lighting.
- 4) An automatic sprinkler system shall be installed to protect all of the manufacturing area.
- 5) Aisles shall be designated and marked and kept clear at all times, they shall be a minimum of 44 inches wide measured in the clear.


Lt. James P. Collins
Fire Prevention Bureau



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date Aug 9, 19 78
 Receipt and Permit number A12837

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 424 Warren Ave.
 OWNER'S NAME: DiPietro ADDRESS: _____

OUTLETS: (number of) 1-30
 Lights _____
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____ **3.00**

FIXTURES: (number of) 12
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____ **3.20**
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes _____
 Temporary _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____
 Cook Tops _____
 Wall Ovens _____
 Dryers _____
 Fans _____
 Water Heaters _____
 Disposals _____
 Dishwashers _____
 Compactors _____
 Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets 2 _____ **2.00**
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: **8.20**

INSPECTION:
 Will be ready on _____, 19___; or Will Call x
 CONTRACTOR'S NAME: Aladdin Electric
 ADDRESS: 171 Lancaster St.
 TEL.: _____
 MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date July 20, 19 78
 Receipt and Permit number 412746

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 424 Warren Ave

OWNER'S NAME: DiPietro ADDRESS: _____

OUTLETS: (number of) 1-30 ✓

Lights	_____	
Receptacles	_____	
Switches	_____	
Plugmold	_____ (number of feet)	
TOTAL	_____	3.00

FIXTURES: (number of)

Incandescent	_____	
Fluorescent	_____ (Do not include strip fluorescent)	
TOTAL	_____	
Strip Fluorescent, in feet	_____	

SERVICES:

Permanent, total amperes	<u>600</u> ✓	<u>6.00</u>
Temporary	_____	_____

METERS: (number of) 150

MOTORS: (number of)

Fractional	_____	
1 HP or over	_____	

RESIDENTIAL HEATING:

Oil or Gas (number of units)	_____	
Electric (number of rooms)	_____	

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler)	_____	
Oil or Gas (by separate units)	_____	
Electric (total number of kws)	_____	

APPLIANCES: (number of)

Ranges	_____	Water Heaters	_____
Cook Tops	_____	Disposals	_____
Wall Ovens	_____	Dishwashers	_____
Dryers	_____	Compactors	_____
Fans	_____	Others (denote)	_____
TOTAL	_____		_____

MISCELLANEOUS: (number of)

Branch Panels	_____	
Transformers	_____	
Air Conditioners	_____	
Signs	_____	
Fire/Burglar Alarms	_____	
Circus, Fairs, etc.	_____	
Alterations to wires	_____	
Repairs after fire	_____	
Heavy Duty, 220v outlets	_____	
Emergency Lights, battery	_____	
Emergency Generators	_____	

	INSTALLATION FEE DUE:	_____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	DOUBLE FEE DUE:	_____
FOR REMOVAL OF A "STOP ORDER" (304-16.b)		_____
FOR PERFORMING WORK WITHOUT A PERMIT (304-9)		_____
	TOTAL AMOUNT DUE:	9.50

INSPECTION: Will be ready on _____, 19____; or Will Call xxx

CONTRACTOR'S NAME: Aladdin Electric
 ADDRESS: 80 Pinecrest Drive
 TEL.: _____

MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY

418-430 Warren Avenue

July 27, 1978

DiPietro & Sons
420 Warren Avenue
Portland, Maine

cc: Fire Dept.

Gentlemen:

A Building Permit is issued herewith to construct an addition to already existing building subject to the enclosed memo from the Fire Department, plus the following Building Code requirements.

Please provide this office computations showing that boiler room will receive enough air for combustion, and that the super heated air, if any, will be exhausted therefrom.

The chimney is required to extend at least 2 ft. above the highest point where it cuts through roof.

The 8" concrete blocks are to be no higher than 12 ft. of unsupported height, if higher than 12 ft., 12" concrete blocks must be used.

Very truly yours,

Earle S. Smith
Building Inspection Supervisor

ESS/r

Enclosure

P.S. - Explosion proof electrical fixtures must be used in Baling Room.

CITY OF PORTLAND, MAINE

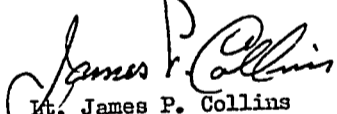
MEMORANDUM

DATE: 7/26/78

TO: Mr. Lawrence DiPietro
FROM: Fire Prevention Bureau
SUBJECT: 418-430 Warren Ave.

Approval is hereby given for a building permit
from this Department subject to the following requirements/reasons:

- 1) The office area shall be separated from the manufacturing area by construction having a two hour fire rating including fire doors with self-closers.
- 2) All areas of hazard shall be enclosed with construction having a fire rating of two hours including fire doors with self-closers. (boiler room)
- 3) All exits and paths to reach same shall be provided with emergency lighting.
- 4) An automatic sprinkler system shall be installed to protect all of the manufacturing area.
- 5) Aisles shall be designated and marked and kept clear at all times, they shall be a minimum of 44 inches wide measured in the clear.


Lt. James P. Collins
Fire Prevention Bureau

WOOD STRUCTURES, INC.
 P. O. Box AA
 BIDDEFORD, MAINE 04005
 (207) 282-7556 Maine 800 482-0716
 All Others 800 341-9612

LETTER OF TRANSMITTAL

TO CROSSMAN
512 Warren Ave
Portland, Maine 04103

DATE	3-10-78	JOB NO.	6846
ATTENTION	Jef		
RE			

GENTLEMEN: WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings
- Prints
- Copy of letter
- Attached
- Under separate cover via _____
- Change order
- Plans
- Engineering
- Samples
- Specifications

COPIES	DATE	NO.	DESCRIPTION
3	3-10-78	3	Engineering

THESE ARE TRANSMITTED as checked below:

- For approval
- For your use
- As requested
- For review and comment
- FOR BIDS DUE _____ 19____
- Approved as submitted
- Approved as noted
- Returned for corrections
- Resubmit _____ copies for approval
- Submit _____ copies for distribution
- Return 1 ² corrected prints

REMARKS _____

Price protection good until 4/21/78

COPY TO _____ SIGNED: *Jack P. [Signature]*

FORM 240-2 Available from NESS Inc., Townsend, Mass 01470
 If enclosures are not as noted, kindly notify us at once.

JOB NO. 781175 1 OF 1 REV1 3-10-78 95200

DESIGNED IN ACCORDANCE WITH TPI-74 AND 1973 NOS

TYP. = 1100
 SPAN = 52 FT. = 814"
 PAC DG = 4 FT. = 814" ON CENTER
 SHORT TERM LOADING INCREASES = 1.15
 LUMBER STRESSES INCREASES = 1.15
 PLATE RATING INCREASES = 1.15
 MAX. PURLIN SPACING = 24" IN. PURLINS TO BE DESIGNED BY OTHERS.
 TOP CHORD SLOPE = 6.000/12.
 BUTT CUT = 8.25 INCHES
 CAMBER AT $\frac{L}{8} = \frac{52}{8} = 6.5"$

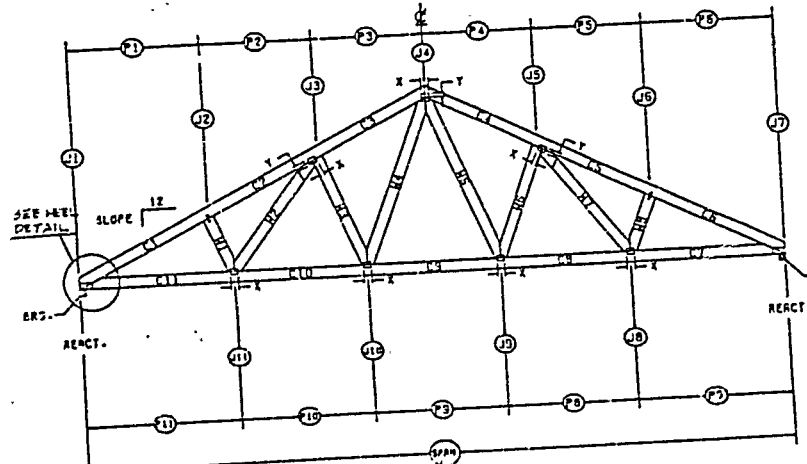
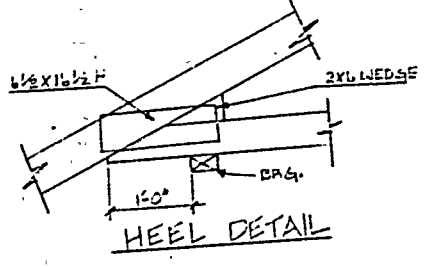
UNIFORM LOADING
 TOP CHORD LL = 40.0 PSF
 DL = 5.0 PSF
 BOT CHORD LL = 0.0 PSF
 DL = 5.0 PSF
 TOTAL LOAD = 50.0 PSF

*** TRUSS IS SYMMETRICAL ABOUT THE CENTERLINE ***

PANEL	LENGTH	CHORD	FORCE	WEB	FORCE	JOINT	LOAD	REACT
P 1=	8 FT	C 1=	-9521	W 1=	-1428	J 1=	941	-5199
P 2=	8 FT	C 2=	-8977	W 2=	1950	J 2=	1586	
P 3=	8 FT	C 3=	-6775	W 3=	-2220	J 3=	1507	
P 4=	10 FT	C 4=	5189	W 4=	2440	J 4=	1507	
P 10=	10 FT	C 10=	6849			J 10=	203	
P 11=	10 FT	C 11=	8516			J 11=	209	

TOP CHORD IS 2X8 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1305 C=1850 STRESS FACTOR= 0.951
 BOT CHORD IS 2X6 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1450 C=1850 STRESS FACTOR= 0.988

2x 8 MINIMUM BEARING REQUIRED AT J 1 AND J 7



1100

This is to certify that the undersigned has examined the information herein and it conforms to the design criteria and loading shown.

STATE OF MAINE
 DONALD A. BOPP
 3241

MAR 10 1978

PLEASE READ REVERSE SIDE FOR ADDITIONAL INFORMATION, FABRICATION INSTRUCTIONS, AND NOTICES.



HYDRO-AIR CLAIMS PROPRIETARY RIGHTS TO THE MATERIAL DISCLOSED HEREON. THIS DRAWING AND/OR TECHNICAL INFORMATION IS ISSUED IN CONFIDENCE FOR ENGINEERING INFORMATION ONLY AND MAY NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF HYDRO-AIR ENGINEERING, INC.

NOTES:
 1. CUT ALL MEMBERS TO BEAR.
 2. CENTER ALL PLATES ON JOINTS UNLESS OTHERWISE NOTED.
 3. INDICATED CHORD SPLICES SHALL BE LOCATED 1/4 OF THE PANEL LENGTH (48") MEASURED FROM A JOINT.

NOTICE

Hydro-Air Engineering, Incorporated is responsible for structural accuracy only, based on the design criteria shown on this drawing. Connector plate calculations are based on Hydro-Nail connector plate values and ratings. No responsibility is assumed for dimensional accuracy or aesthetic appearance. Plates shall be placed on both sides of truss joints, located as shown on the drawing and pressed in securely. Minimum lumber grades and plate sizes are specified. All trusses shall have wood members accurately cut, assembled in design configuration and fabricated in rigid fixtures with positive clamps so that all members have good bearing and all completed truss units are uniform. For other advice concerning the fabrication, quality control, storage, delivery, erection and bracing of trusses, it is recommended that the fabricator consult the Quality Control Manual For Light Metal Plate Connected Wood Trusses, and the Bracing of Wood Trusses - BWT-76, Truss Plate Institute, 7411 Riggs Road, Hyattsville, MD 20783

JOB NO. 781175 1 OF 1 REV1 3-10-78 95200

DESIGNED IN ACCORDANCE WITH TPI-74 AND 1973 NCS

TYPE = 1100
 SPAN = 52 FT. - 314"
 SPACING = 4 FT. - 314" ON CENTER
 SHORT TERM LOADING INCREASES
 LUMBER STRESSES INCREASED = 1.15
 PLATE RATING INCREASED = 1.15
 MAX. PURLIN SPACING = 24. IN. PURLINS TO BE DESIGNED BY OTHERS.
 TOP CHORD SLOPE = 5.000/12.
 BUTT CUT = 0.25 INCHES
 CAMBER AT $\frac{L}{4} = \frac{1}{4}$ "

UNIFORM LOADING
 TOP CHORD LL = 40.0 PSF
 CL = 5.0 PSF
 BOT CHORD LL = 0.0 PSF
 CL = 5.0 PSF
 TOTAL LOAD = 50.0 PSF

*** TRUSS IS SYMMETRICAL ABOUT THE CENTERLINE ***

PANEL	LENGTH	CHORD	FORCE	WEB	FORCE	JOINT	LOAD	REACT
P 1 = 9FT	3- 0/16IN	C 1 =	-9521	w 1 =	-1428	J 1 =	941	-5199
P 2 = 8FT	4- 0/16IN	C 2 =	-8977	w 2 =	1950	J 2 =	1586	
P 3 = 8FT	4- 0/16IN	C 3 =	-6775	w 3 =	-2220	J 3 =	1507	
P 9 = 10FT	0- 10/16IN	C 9 =	5188	w 9 =	2440	J 9 =	1507	
P 10 = 10FT	0- 10/16IN	C 10 =	6849			J 10 =	201	
P 11 = 10FT	11- 2/16IN	C 11 =	8516			J 11 =	209	

TOP CHORD IS 2X8 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1385 C=1850
 STRESS FACTOR= 2.951
 BOT CHORD IS 2X6 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1450 C=1850
 STRESS FACTOR= 0.905

2X 8 MINIMUM BEARING REQUIRED AT J 1 AND J 7

JOB NUMBER 781175 1 OF 1 PAGE 2
 HYDRO-AIR
 PLATE SIZE

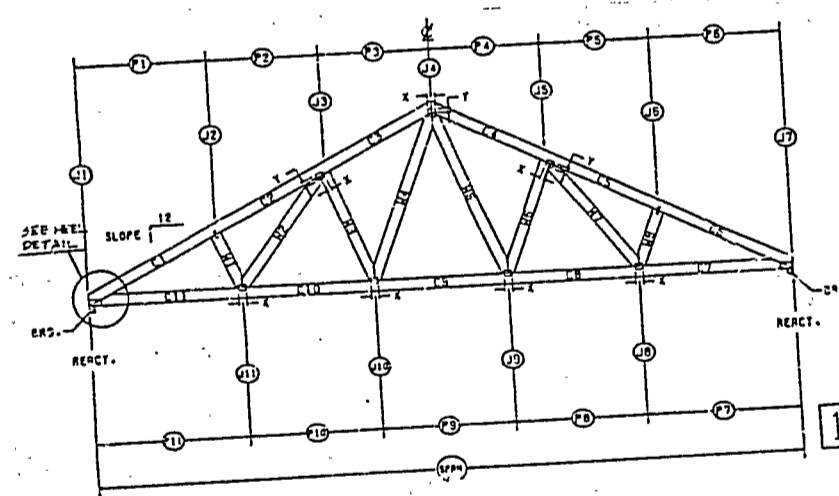
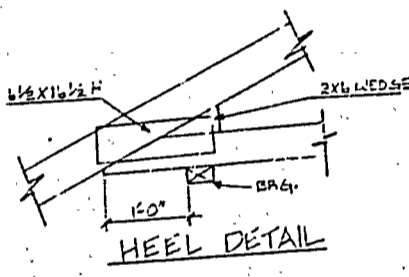
JOINT	PLATE SIZE	SEE HEEL DETAIL	PLATE LOCATION	JOINT TYPE
J 1	6 1/2 X 16 1/2 H	SEE HEEL DETAIL		1
J 2	2 1/4 X 4 D			4
J 3	4 1/8 X 4 D	1 1/2 IN	4 1/8 IN	5
J 4	5 1/8 X 6 D	5 1/8 IN	2 7/8 IN	3
J 10	5 1/8 X 6 D	5 1/8 IN		2
J 11	4 1/8 X 6 D	4 1/8 IN		2

JOINTS MARKED *** HAVE NO SYMMETRICAL PATCH

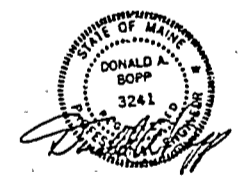
*** SPLICES BASED ON 16 FOOT MAXIMUM LENGTH LUMBER ***
 C 2 IS 5 1/8 X 6 D
 C 8 IS 4 1/4 X 10 1/2 H 2X2 BLOCK REQUIRED
 C 9 IS 6 1/8 X 6 D
 C 10 IS 4 1/4 X 10 1/2 H

H = 16 GA. (183 PSI USING NET PLATE CONTACT AREA)
 D = 20 GA. (223 PSI USING NET PLATE CONTACT AREA)

WEBS ARE TO BE 2X 4 NO 3 KD SOUTHERN PINE
 LATERAL BRACING REQUIRED AT THE MIDPOINT OF
 M 3, M 4, M 5, M 6



This is to certify that the undersigned has examined the information herein and it conforms to the design criteria and loading shown.



MAR 14 1978

<p>PLEASE READ REVERSE SIDE FOR ADDITIONAL INFORMATION, FABRICATION INSTRUCTIONS, AND NOTICES.</p>		<p>HYDRO-AIR CLAIMS PROPRIETARY RIGHTS TO THE MATERIAL DISCLOSED HEREON. THIS DRAWING AND/OR TECHNICAL INFORMATION IS ISSUED IN CONFIDENCE FOR ENGINEERING INFORMATION ONLY AND MAY NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF HYDRO-AIR ENGINEERING, INC.</p>	<p>NOTES: 1. CUT ALL MEMBERS TO BEAR. 2. CENTER ALL PLATES ON JOINTS UNLESS OTHERWISE NOTED. 3. INDICATED CHORD SPLICES SHALL BE LOCATED 1/4 OF THE PANEL LENGTH (16") MEASURED FROM A JOINT.</p>
--	--	---	--

1100

NOTICE

Hydro-Air Engineering, Incorporated is responsible for structural accuracy only, based on the design criteria shown on this drawing. Connector plate calculations are based on Hydro-Nail connector plate values and ratings. No responsibility is assumed for dimensional accuracy or aesthetic appearance. Plates shall be placed on both sides of truss joints, located as shown on the drawing and pressed in securely. Minimum lumber grades and plate sizes are specified. All trusses shall have wood members accurately cut, assembled in design configuration and fabricated in rigid fixtures with positive clamps so that all members have good bearing and all completed truss units are uniform. For other advice concerning the fabrication, quality control, storage, delivery, erection and bracing of trusses, it is recommended that the fabricator consult the Quality Control Manual For Light Metal Plate Connected Wood Trusses, and the Bracing of Wood Trusses - BWT-76, Truss Plate Institute, 7411 Riggs Road, Hyattsville, MD 20783

JOB NO. 781175 1 OF 1 REVI 3-10-78 95200

DESIGNED IN ACCORDANCE WITH TPI-74 AND 1973 NDS

TYPE = 1100
 SPAN = 52 FT. - 0 IN.
 SPACING = 4 FT. - 0 IN. ON CENTER
 SHORT TERM LOADING INCREASES
 LUMBER STRESSES INCREASED = 1.15
 PLATE RATING INCREASED = 1.15
 MAX. PURLIN SPACING = 24 IN. PURLINS TO BE DESIGNED BY OTHERS.
 TOP CHORD SLOPE = 6.000/12.0
 BUTT CUT = 0.25 INCHES
 CAMBER AT $\frac{L}{16}$

UNIFORM LOADING
 TOP CHORD LL = 40.0 PSF
 DL = 5.0 PSF
 BOT CHORD LL = 0.0 PSF
 DL = 5.0 PSF
 TOTAL LOAD = 50.0 PSF

JOB NUMBER 781175 1 OF 1 PAGE 2
 MICRO-NAIL PLATE SIZE ** PLATE LOCATION ** JOINT TYPE

JOINT	PLATE SIZE	** X **	** Y **	JOINT TYPE
J 1	6 1/2 X 16 1/2 H			1
J 2	2 1/4 X 4 D			4
J 3	4 1/8 X 4 D	1 1/2 IN	4 1/8 IN	5
J 4	5 1/8 X 6 D	1 1/8 IN	2 7/8 IN	3
J10	5 1/8 X 6 D	5 1/8 IN		2
J11	4 1/8 X 6 D	4 1/8 IN		2

*** TRUSS IS SYMMETRICAL ABOUT THE CENTERLINE ***

PANEL	LENGTH	CHORD	FORCE	WEB	FORCE	JOINT	LOAD	REACT
P 1 = 9FT	3 - 0/16 IN	C 1 =	-9521	w 1 =	-1428	J 1 =	941	-5199
P 2 = 8FT	4 - 0/16 IN	C 2 =	-8977	w 2 =	1950	J 2 =	1506	
P 3 = 8FT	4 - 0/16 IN	C 3 =	-6775	w 3 =	-2220	J 3 =	1507	
P 9 = 10FT	0 - 10/16 IN	C 9 =	9180	w 4 =	2440	J 4 =	1507	
P10 = 10FT	0 - 10/16 IN	C10 =	6849			J10 =	201	
P11 = 10FT	11 - 2/16 IN	C11 =	8516			J11 =	209	

JOINTS MARKED *** HAVE NO SYMMETRICAL MATCH

** SPLICES BASED ON 16 FOOT MAXIMUM LENGTH LUMBER **
 C 2 IS 5 1/8 X 6 D
 C 8 IS 4 1/8 X 10 1/2 H
 C 9 IS 6 1/8 X 6 D
 C10 IS 4 1/8 X 10 1/2 H 2XC BLOCK REQUIRED

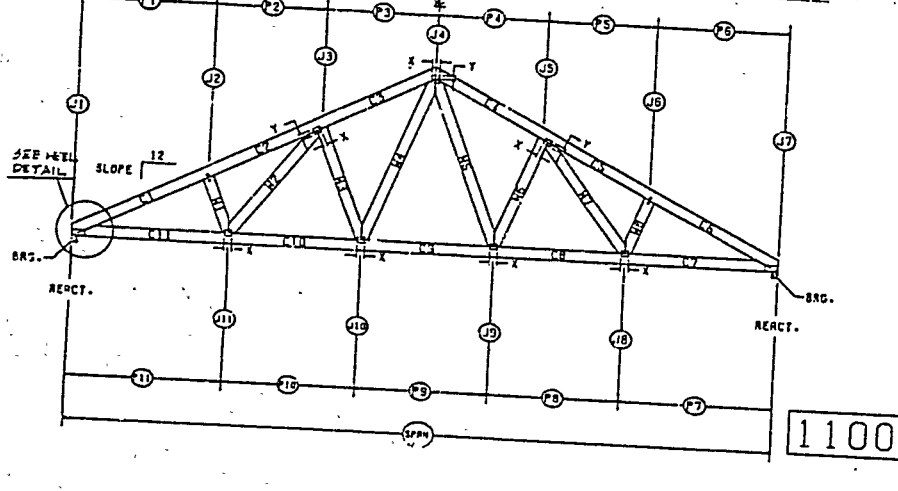
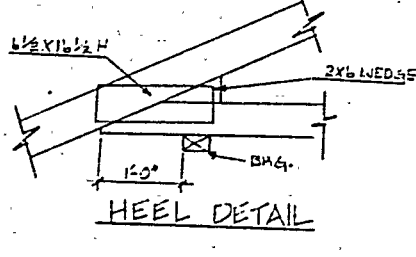
H = 16 GA. (183 PSI USING NET PLATE CONTACT AREA)
 D = 20 GA. (223 PSI USING NET PLATE CONTACT AREA)

WEBS ARE TO BE 2X4 NO 3 KD SOUTHERN PINE

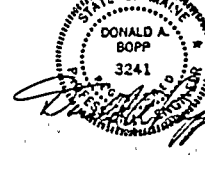
LATERAL BRACING REQUIRED AT THE MIDPOINT OF J 3, W 4, W 5, W 6

TOP CHORD IS 2X6 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1335 C=1850
 STRESS FACTOR= 0.951
 BOT CHORD IS 2X6 DENSE SEL STRU KD SOUTHERN PINE F=2200 T=1450 C=1850
 STRESS FACTOR= 0.905

2X 8 MINIMUM BEARING REQUIRED AT J 1 AND J 7



This is to certify that the undersigned has examined the information herein and it conforms to the design criteria and loading shown.



MAR 10 1978

PLEASE READ REVERSE SIDE FOR ADDITIONAL INFORMATION, FABRICATION INSTRUCTIONS, AND NOTICES.



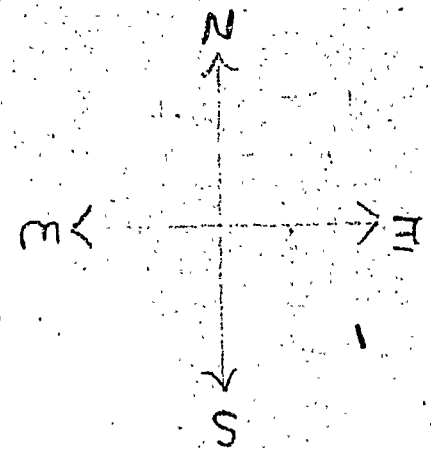
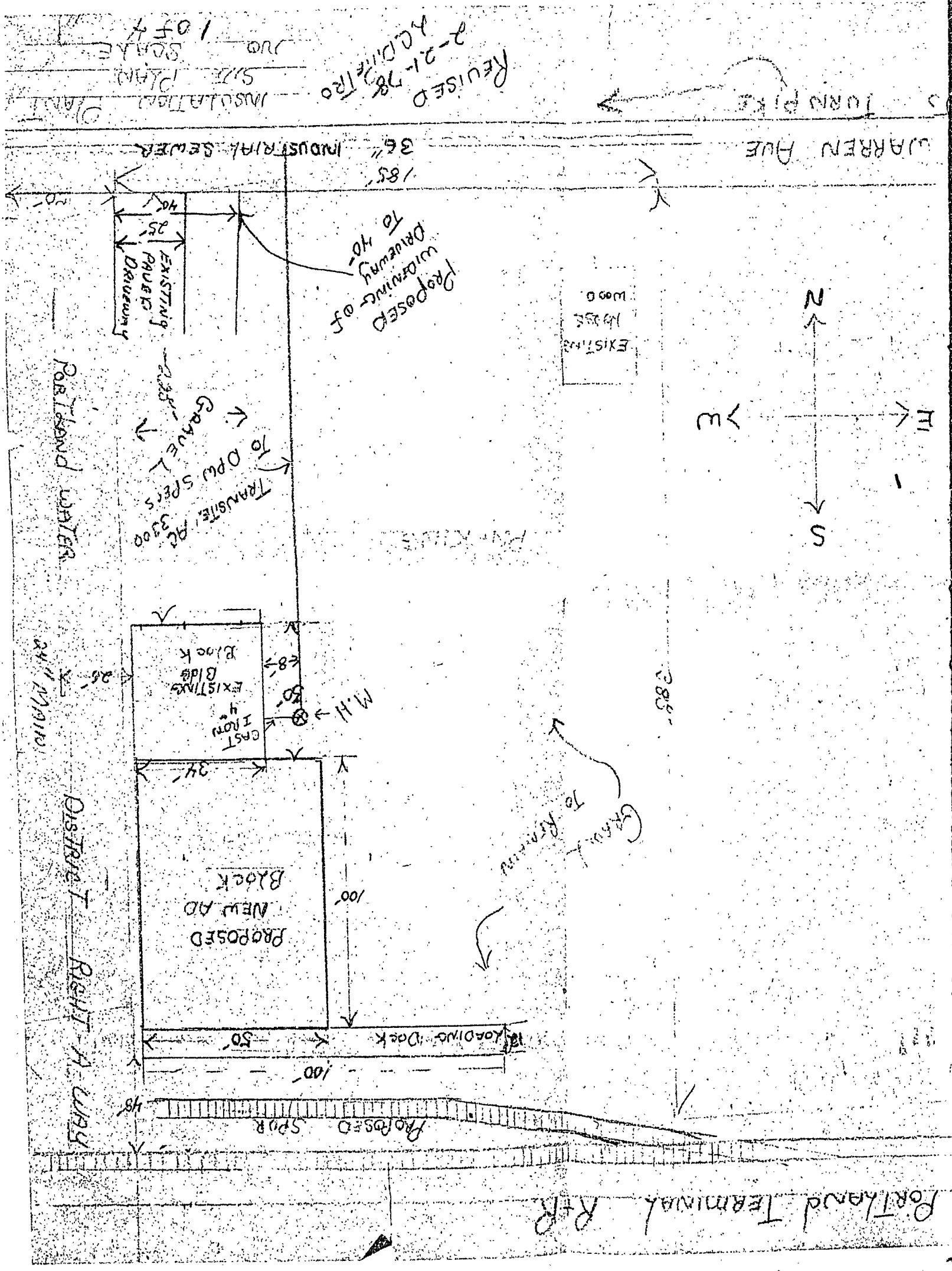
HYDRO-AIR CLAIMS PROPRIETARY RIGHTS TO THE MATERIAL DISCLOSED HEREON. THIS DRAWING AND/OR TECHNICAL INFORMATION IS ISSUED IN CONFIDENCE FOR ENGINEERING INFORMATION ONLY AND MAY NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF HYDRO-AIR ENGINEERING, INC.

NOTES:
 1. CUT ALL MEMBERS TO BEAR.
 2. CENTER ALL PLATES ON JOINTS UNLESS OTHERWISE NOTED.
 3. INDICATED CHORD SPLICES SHALL BE LOCATED 1/4 OF THE PANEL LENGTH (16") MEASURED FROM A JOINT.

1100

N O T I C E

Hydro-Air Engineering, Incorporated is responsible for structural accuracy only, based on the design criteria shown on this drawing. Connector plate calculations are based on Hydro-Nail connector plate values and ratings. No responsibility is assumed for dimensional accuracy or aesthetic appearance. Plates shall be placed on both sides of truss joints, located as shown on the drawing and pressed in securely. Minimum lumber grades and plate sizes are specified. All trusses shall have wood members accurately cut, assembled in design configuration and fabricated in rigid fixtures with positive clamps so that all members have good bearing and all completed truss units are uniform. For other advice concerning the fabrication, quality control, storage, delivery, erection and bracing of trusses, it is recommended that the fabricator consult the Quality Control Manual For Light Metal Plate Connected Wood Trusses, and the Bracing of Wood Trusses - BWT-76, Truss Plate Institute, 7411 Riggs Road, Hyattsville, MD 20783



INSULATION PLANT
 SITE PLAN
 SHEET 1 OF 4
 2-21-78
 REUSED
 H.C. DINEEN

WARREN AVE
 36" INDUSTRIAL SEWER
 1.85'
 40'
 25'
 EXISTING POWER DRIVEWAY
 PROPOSED WIDENING OF DRIVEWAY TO 40'
 EXISTING WOOD HOUSE
 PORTLAND WATER
 34" MAIN
 DISTRICT A WAY
 34'
 26'
 EXISTING Block
 4" IRON
 M.H.
 8'
 50'
 PROPOSED NEW AD Block
 100'
 50'
 EXISTING DOCK
 100'
 48'
 PROPOSED SPUR
 PORTLAND TERMINAL R+R

33 JUN 1944
MARTIN AVE

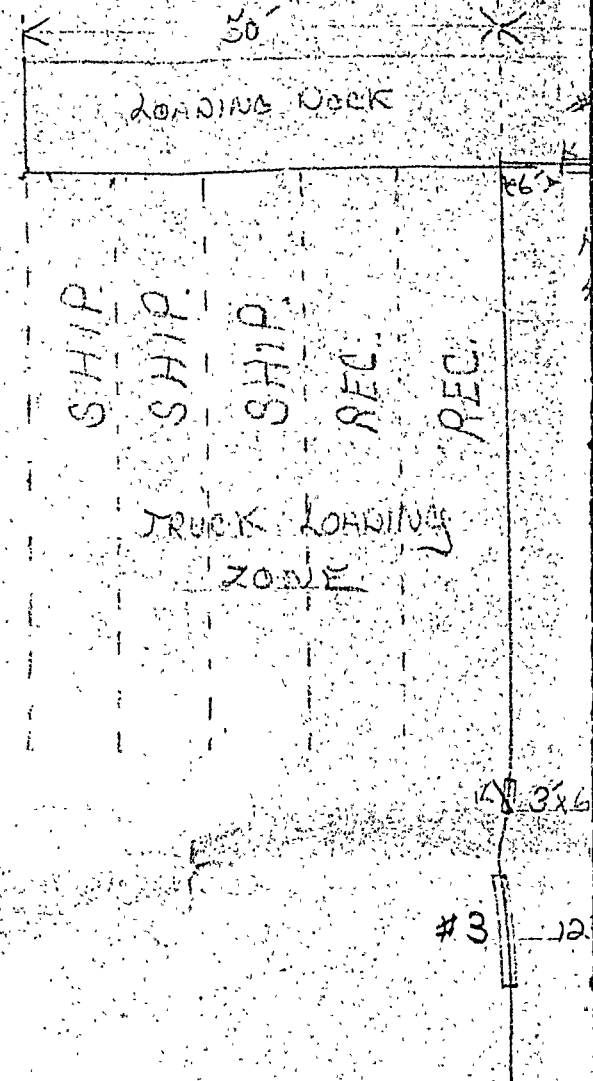
N
↑
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E
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W

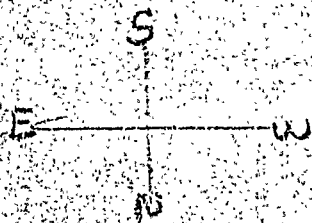
These specimens are from
the same locality as the
ones in the collection of
the U.S. National Museum
and are of the same
species as those in the
collection of the U.S. National
Museum.

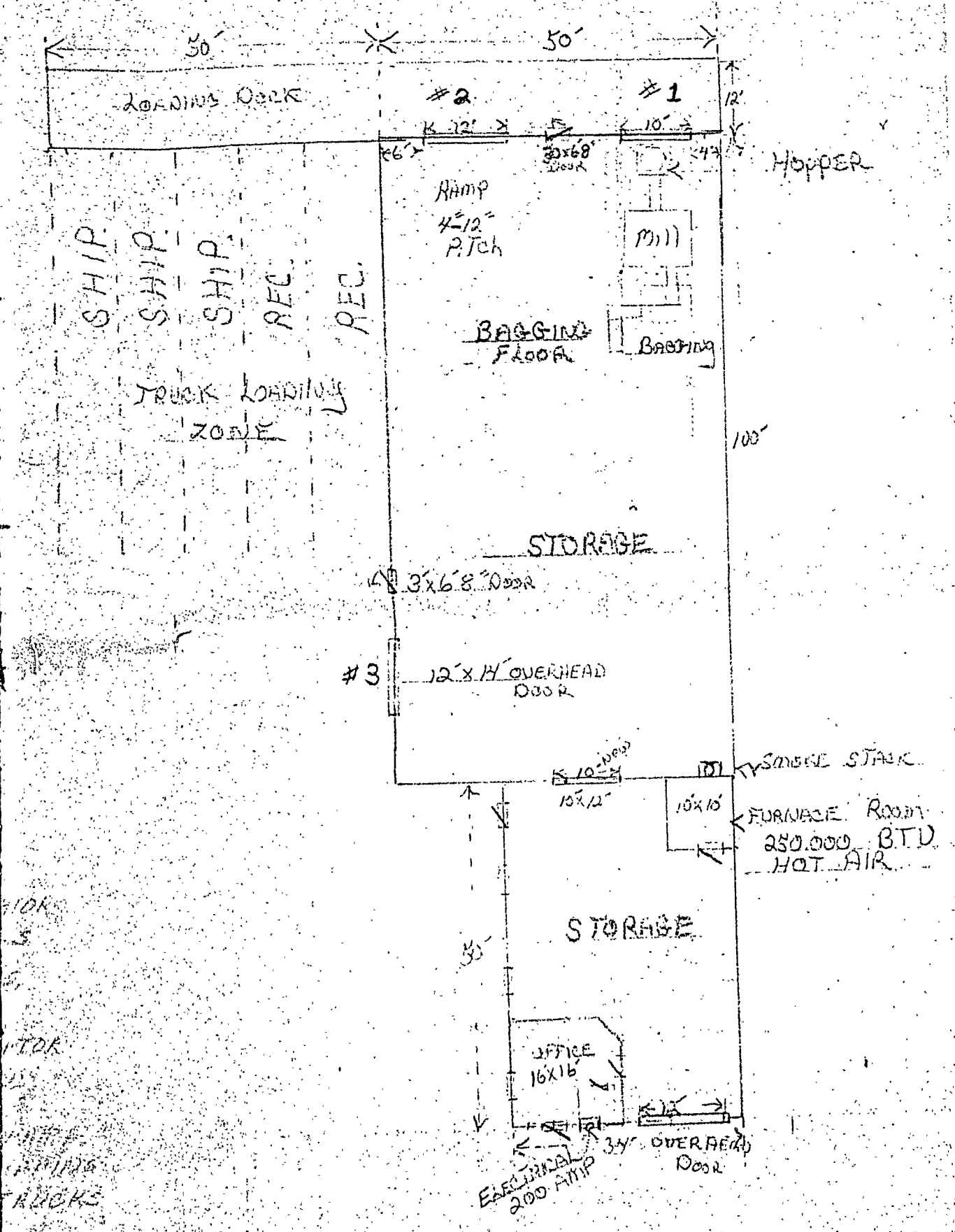
Specimens of *...*

...



NOTE: FORK LIFT OPERATOR
 MUST UNLOAD OPERABLE
 FROM RECEIVING AREA,
 AND LIFT INTO
 HOPPER. HOPPER OPERATOR
 WILL PICK UP FINISHED
 PRODUCT FROM HOPPER
 FLOOR VIA DOOR AND
 HAND DELIVER TO SHIPPING
 LANE DIRECTLY TO TRUCKS



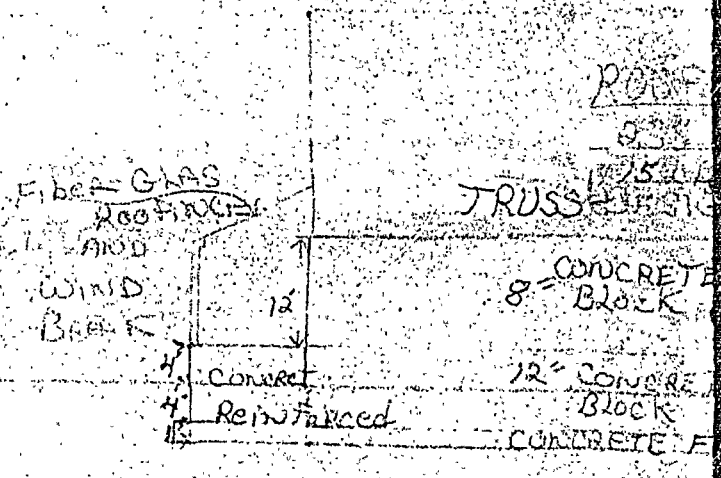
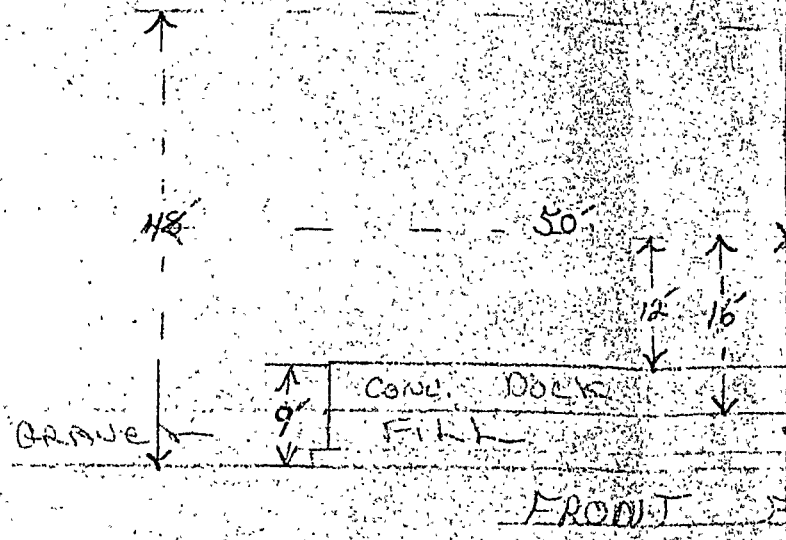


TRUCK
TRUCK
TRUCK
TRUCK
TRUCK

2 OF 4
FLOOR PLAN
INSULATION
MANUFACTURING
PLANT SCALE 1/4" = 1'

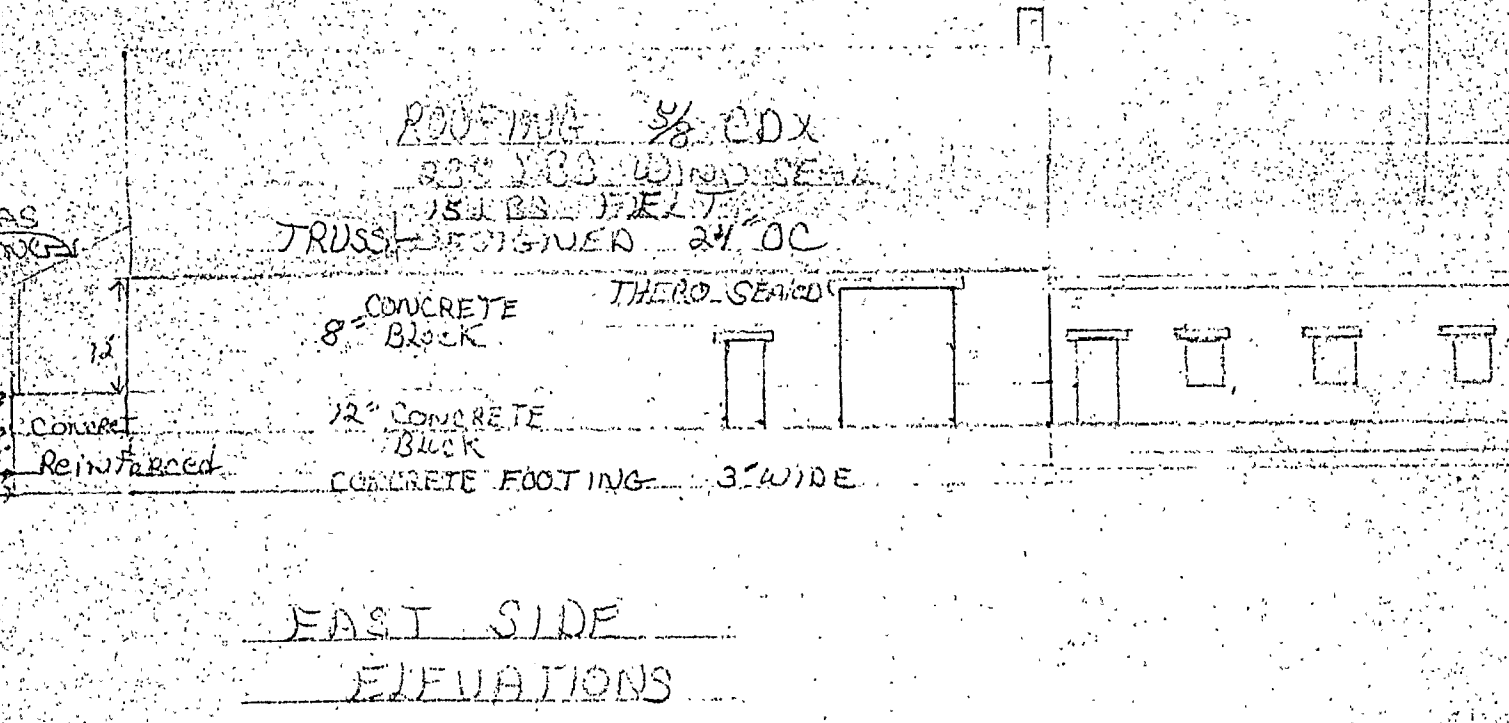
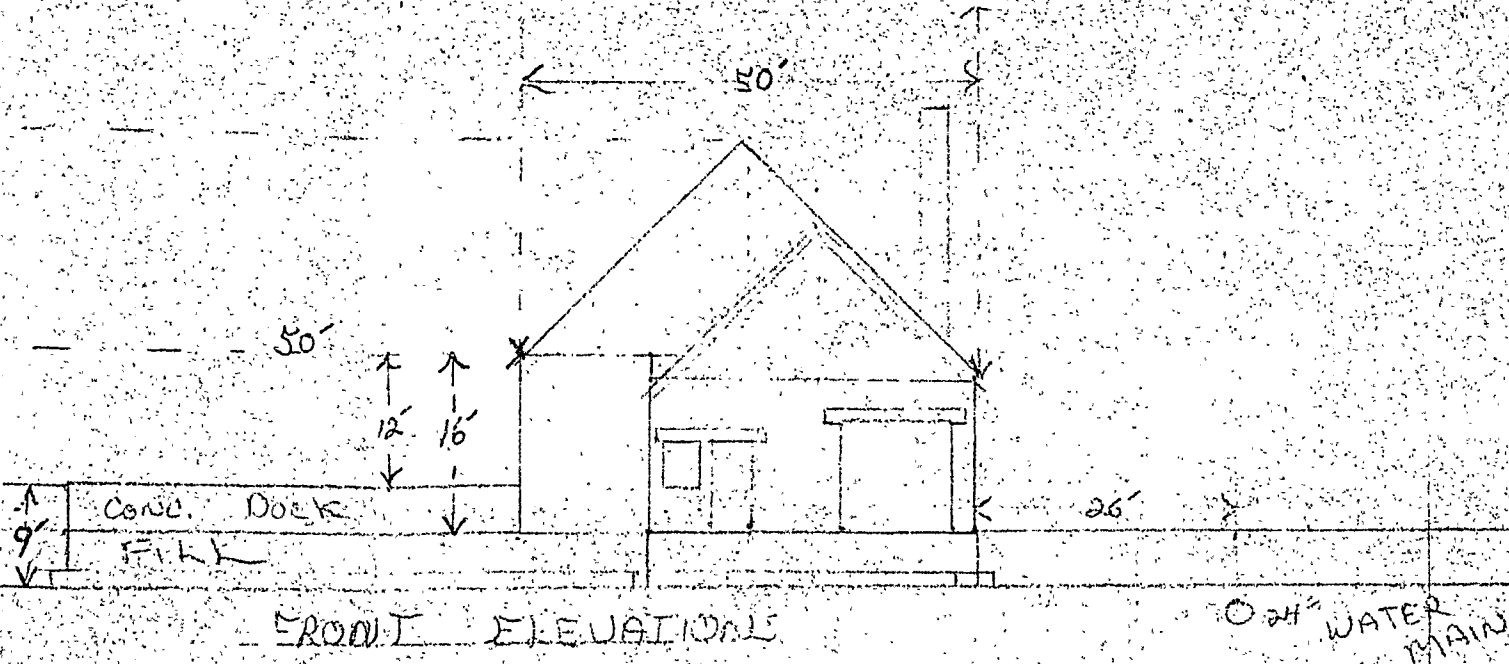
RECEIVED
FEB - 1 1978
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

GLOBAL ENERGY CORP
430 WARREN AVE
PORTLAND, ME.



NOTE
 ROOF TRUSS WILL BE OF
 WOOD DESIGNED BY WOOD
 STRUCTURES INC WITH 1 FT OVERHANG
 LENGTHS ARE TO BE
 STEEL BEAMS FOR DECK
 OVER 3 FEET
 PRECAST WILL BE USED ON
 ALL OTHERS
 CONC WILL BE 2500 LBS ON
 ALL WALLS AND SUBFLOORS
 ON ALL FLOORS WELDED 6X6X10
 WIRE ON ALL FLOORS WALLS
 WILL BE REINFORCED WITH STEEL BARS 1" OC #6

ROOF
 TRUSS
 8" CONCRETE
 BLOCK
 12" CONCRETE
 BLOCK
 CONCRETE F
 EAST S
 ELEVATION

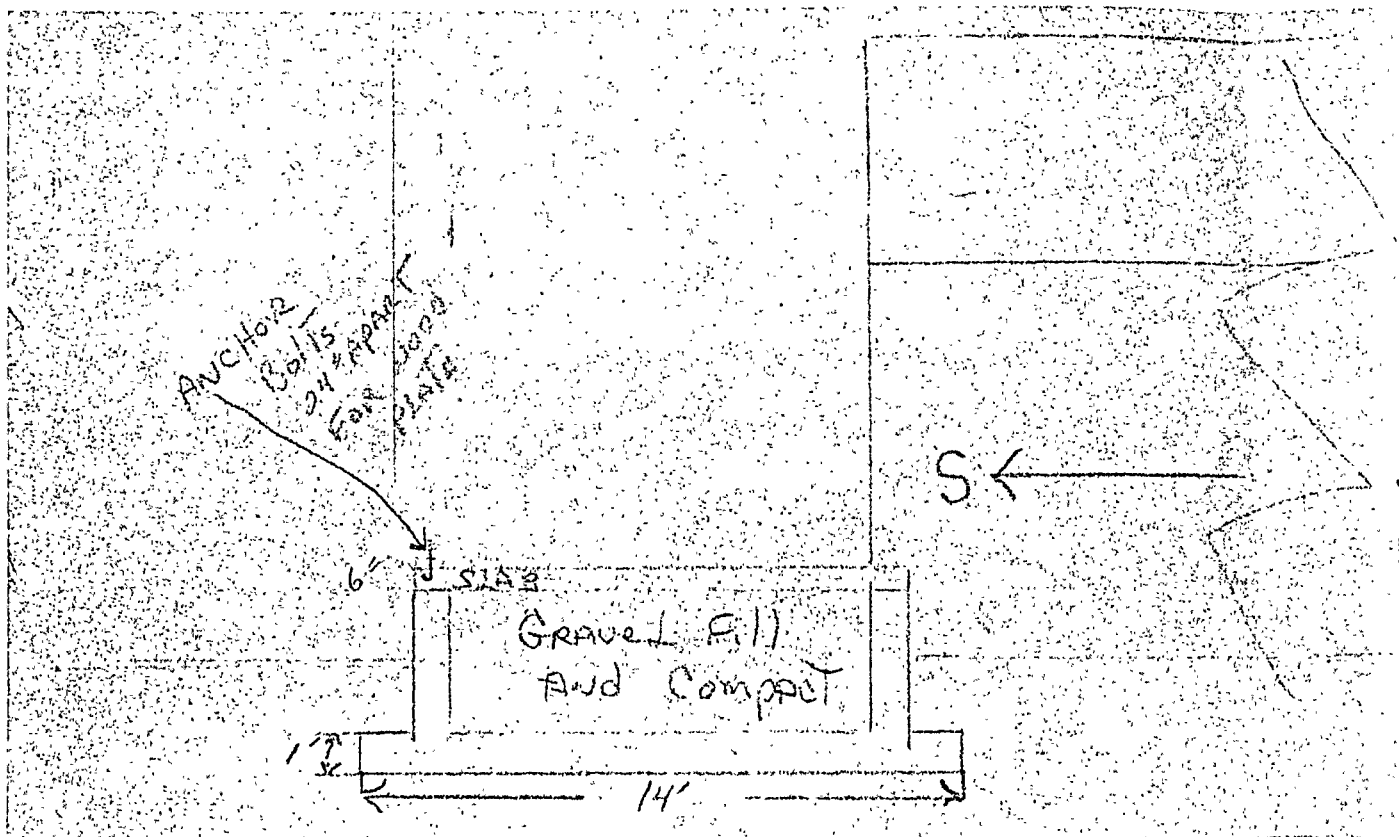


ELEVATIONS
 MANUFACTURING
 PLANT SCALE 1/8" = 1'
 3 OF 4

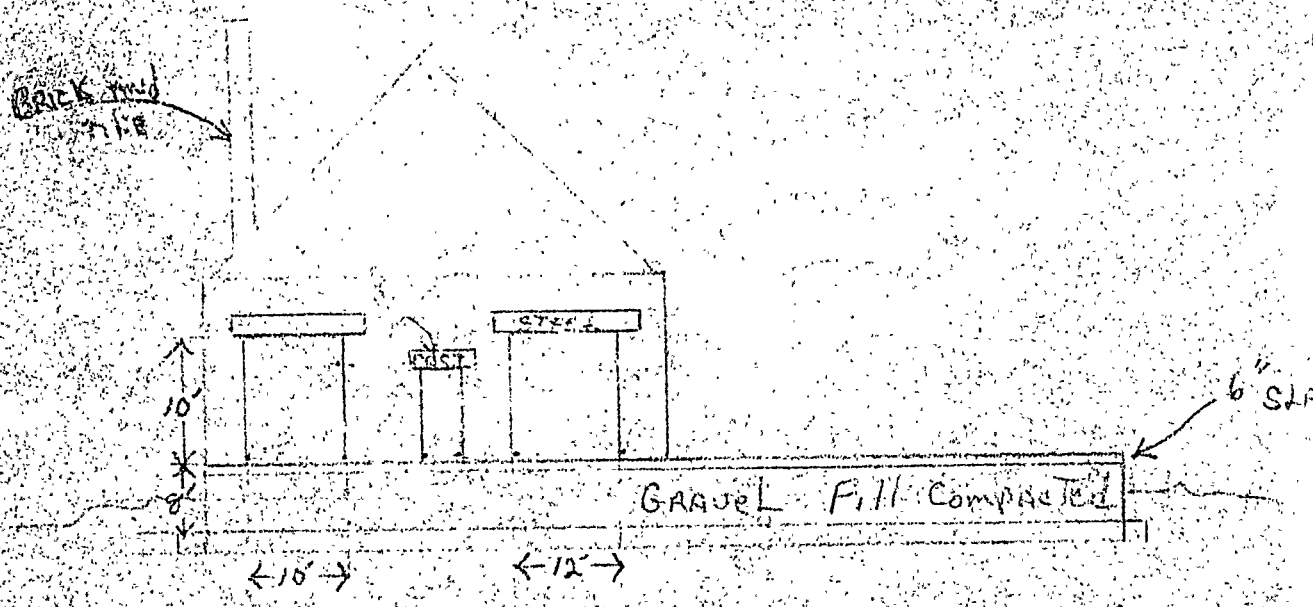
15/06/06

GLOBAL ENERGY CORP
 430 WARREN AVE
 PORTLAND, ME.

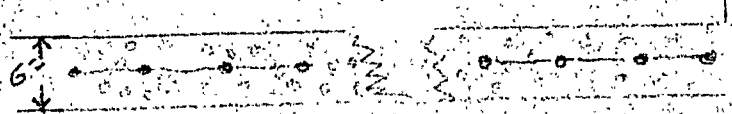
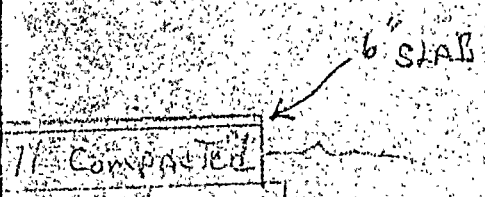
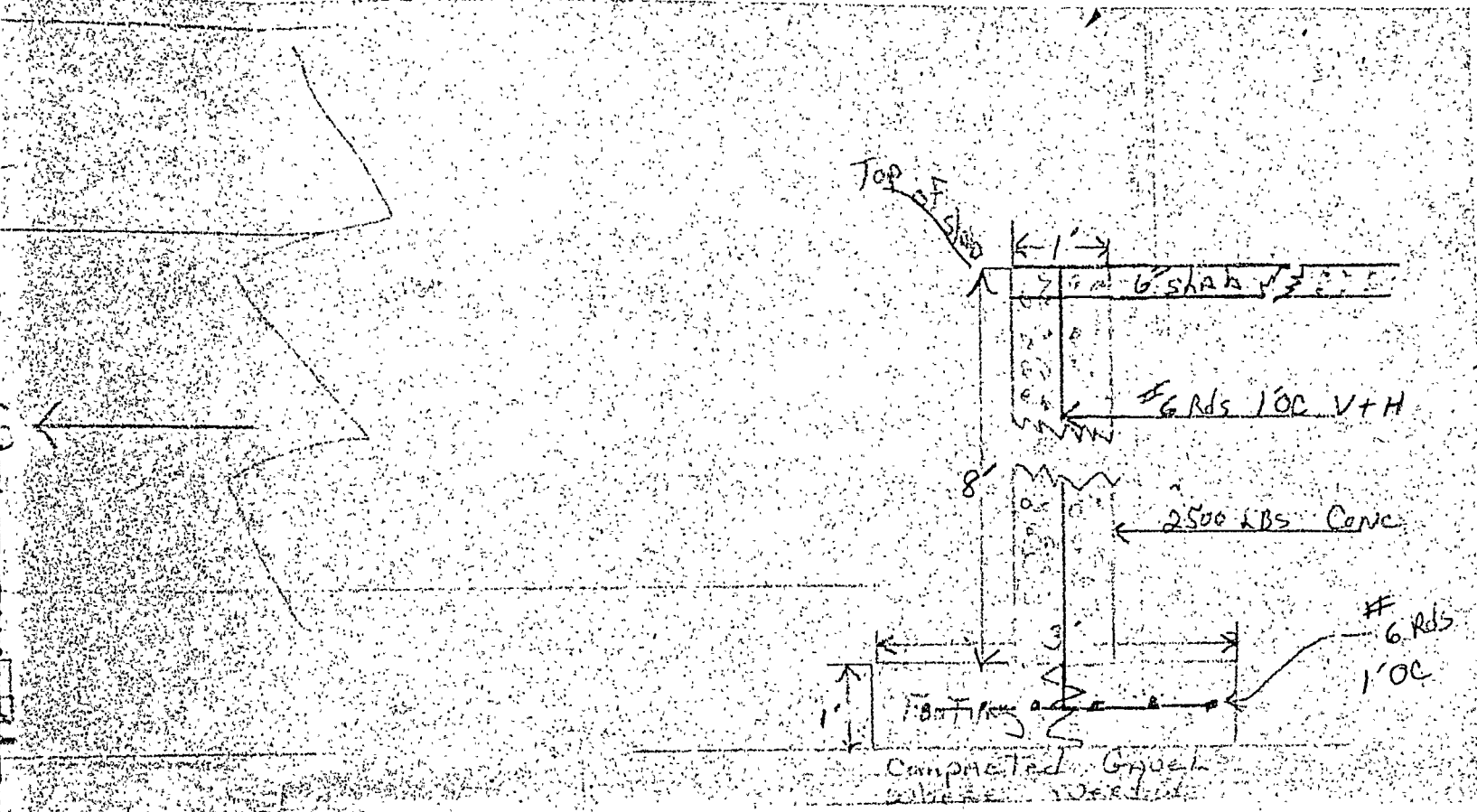
RECEIVED
 FEB - 1
 DEPT. OF BLDG
 CITY OF PORTLAND



End View Dock



Back Elev
Load ing Dock



FLOOR SLAB 6x6x10
 #6 RDS 10\"/>

4 OF 4
 INSULATION MANUFACT.
 PLANT
 NO SCALE
 ELEV.

RECEIVED
 FEB - 1 1978
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

GIDBAI ENERGO
 CORP.
 430 WARREN AVE
 PORTLAND, ME

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

Applicant _____	Date _____
Mailing Address _____	Address of Proposed Site _____
Proposed Use of Site _____	Site Identifier(s) from Assessors Maps _____
Acreage of Site / Ground Floor Coverage _____	Zoning of Proposed Site _____
Site Location Review (DEP) Required: () Yes () No	Proposed Number of Floors _____
Board of Appeals Action Required: () Yes () No	Total Floor Area _____
Planning Board Action Required: () Yes () No	
Other Comments: _____	
Date Dept. Review Due: _____	

PUBLIC WORKS DEPARTMENT REVIEW

February 2, 1978
 (Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	CONDITIONS SPECIFIED BELOW REASONS SPECIFIED BELOW
APPROVED CONDITIONALLY																
DISAPPROVED																

REASONS: _____

(Attach Separate Sheet if Necessary)

John P. Payne 2-22-77
 SIGNATURE OF REVIEWING STAFF/DATE
 PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant _____ Date _____
 Mailing Address _____ Address of Proposed Site _____
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes (/) No Proposed Number of Floors _____
 Board of Appeals Action Required: (/) Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes (/) No

Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

REVISED PLAN REC'D
 (Date Received) *2/22/78*

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

J. Michael Brown *2/23/78*
 SIGNATURE OF REVIEWING STAFF, DATE
 PLANNING DEPARTMENT COPY

Applicant: GLOBAL ENERGY CORP. Date: 2/5/78

Address: 418-430 WARREN AVE.

Assessors #: 278-13-4

CHECK LIST AGAINST ZONING ORDINANCE

✓ Date - NEW

Zone Location - F-2

Interior or corner lot -

~~40 ft. setback area (Section 21)-~~

602.12A.2 Use - 50' x 100' ADDITION (MAFG. OF INSULATION)

Sewage Disposal -

✓ Rear Yards - 48' - 25' MIN.

✓ Side Yards - 100' - 26' - 25' - 25' MIN.

~~Front Yards -~~

~~Projections -~~

✓ Height - 32' - 45' MAX.

Lot Area - 83040 #

Building Area - 5000 # + 1700 # EXISTING = 6700 #

~~Area per Family -~~

Width of Lot - 185'

Lot Frontage 185'

✓ Off-street Parking - 7 - OK

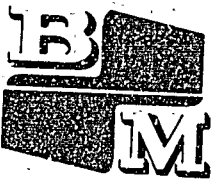
✓ Loading bays - 1 REQ. - OK

Site Plan - YES

Shoreland Zoning - NO

Flood Plains - NO

BANCROFT & MARTIN INC.



27 Main Street • SOUTH PORTLAND, MAINE 04106 • 207-799-8571

March 15, 1978

Global Energy Corporation
Warren Avenue
Portland, Maine 04101

Gentlemen:

Per your inquiry, we would be pleased to furnish an W8 x 20 steel beam with a 1/4" plate welded to it. The beam is designed for a 12' opening that is supporting 50' long trusses on a 6 in 12 roof pitch. Roof loads were 30#/ft.² live load and 20#/ft.² dead load. An additional attic load of 20#/ft.² live and 20#/ft.² dead load was also assumed for the middle 32'. This works out to be 1915#/lin. ft. on the beam.

The beam's top flange is assumed to have a nailer strip attached to it and the wall studs, or roof trusses, nailed into this.

If you have any questions, or care to order this, please do not hesitate to contact me.

Sincerely,

BANCROFT & MARTIN, INC.

Steven P. Daicy, P. E.
Design & Sales Engineer

SPD:jmw
cc: R. Brocato

REINFORCING STEEL • STRUCTURAL STEEL • SPAN-DECK CONCRETE PANELS • WAREHOUSE STEEL • STEEL FABRICATION • DRAINAGE PRODUCTS



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Feb. 1, 1978

JUL 27 1978

0 0650

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 418-430 Warren Ave. Fire District #1 #2
 1. Owner's name and address Global Energy Corp. - same Telephone 797-2288
 2. Lessee's name and address Telephone
 3. Contractor's name and address DiPietro & Sons- 420 Warren Ave. Telephone same
 4. Architect Specifications Plans No. of sheets
 Proposed use of building process of insulation No. families
 Last use No. families
 Material No. stories Heat Style of roof Roofing 200 pd
 Other buildings on same lot Fee \$ 15.00 6-12
 Estimated contractual cost \$ appeal fee pd=2-1-78

FIELD INSPECTOR—Mr. 50,000 GENERAL DESCRIPTION

This application is for: @ 775-5451
 Dwelling Ext. 234
 Garage
 Masonry Bldg.
 Metal Bldg.
 Alterations
 Demolitions
 Change of Use
 Other

To construct addition to already existing bldg. 50 x ~~32~~ 100, to be added to bldg. 34 x 50 as per plans. 4 sheets of plans. 12 ft. x 10 ft. stamp of Special Conditions ft. loading dock, to process ~~ins~~ mfg. of insulation.

Appeal submitted 2-16-78

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4 Other:

0 0650

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?

ZONING: APR 11 1978 BUILDING CODE: J.O.K. 8/27/78 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Fire Dept. J. James Health Dept.: Others:

Signature of Applicant Lawrence DiPietro Phone # same
 Type Name of above Lawrence DiPietro 1 2 3 4
 Other
 and Address

FIELD INSPECTOR'S COPY

Permit No. 78/650

Location 418-430 Warren Ave

Owner Global Energy

Date of permit 7-27-78

Approved

NOTES

7-27-78 Bldg Alarm not done without
permit issued - Eddie Smith SA
It was OK to do that -
8-14-78 Offsetting Near Comp. Platform -
Electronics is using exit signs etc
No sprinkler yet
10-30-78 Sprinkler installed except
for 100 hrs of sprinklers
Waiting for fire Dept approval - 20
C.O. installed - then I signed

X

CERTIFICATE OF APPROVAL

FOR INTERNAL PLUMBING FOR THE TOWN/CITY OF Dorchester

OWNER W. J. ...

Cert. of App. Number
Nº 13234 IC

ADDRESS 430 Warren Ave, MAINE
Location where plumbing was done and inspected

Date C.O.A. Issued
JUN 29 1978
Month Day Year

Plumbing Installed by Fred J. DeWaters

Date Inspected
JUN 21 1978
Month Day Year

Date Permit Issued
6-21-78

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING REGULATIONS.

Signature of LPI _____

State Office Use Only
Date Received

ORIGINAL—To be sent to: Department of Human Services
Division of Health Engineering 221 State Street Augusta, Maine 04333

INTERNAL PLUMBING PERMIT FOR THE TOWN/CITY OF Dorchester

Town/City Code 05770 LPI Number 1123 License Number 1183 Date Issued 6/21/78 PERMIT NUMBER **Nº 13234 IP**

Address of where Plumbing is done 430 WARREN AVENUE
St. Rd. Av/Lot

Name of Owner GLOBAL EMERGENCY F.I. M.I. Mailing Address Zip Code

Type of Construction: 1. New, 2. Remodelling, 3. Addition, 4. Remodelling & Addition, 5. Replacement of Hot Water Heater, 6. Hook-up of Mobile Home, 7. Minor Change, 8. Other (Specify) 7

Plumbing to Serve: 1. Single (Res), 2. Multi-Fam (Res), 3. Mobile Home, 4. Mobile Home without Seal, 5. Commercial, 6. School, 7. Other (Specify) 5

SCHEDULE OF "FEES"
(See Sect. 1.12 of the Part I Code)
1-10 Fixtures \$2.00 each
11-20 Fixtures \$1.00 each
21 Fixtures on up \$.50 each
Hook-ups \$2.00 each
Note: Hotwater Heater (tank or tankless) is considered a fixture!

Fixture	#	Fixture	#	Fixture	#
Sinks		Showers		Hot Water Heaters	1
Toilets	3	Urinals		Floor Drains	
Bathlubs		Clothes Washers		Other	1
Lavatories	3	Dish-Washers		Hook-ups	

Fixtures 8 Quantity 116.00 Fee

Hook-ups 3 Quantity 3.00 Fee

Administrative fee 300

Total or Double Fee 119.00

If Double Fee Check (✓) Box

STATE OFFICE USE ONLY
Date Received _____ Receipt Number _____ Money Received \$ _____
Administrative Code

Signature of LPI _____

This "Internal Plumbing Permit" is invalid if work is not commenced within six(6) months from date of issuance. Upon completion of work a "Certificate of Approval" must be obtained.
Original—To be sent to: Department of Human Services, Division of Health Engineering 221 State Street, Augusta, Maine 04333

HHE-211 Rev. 677

WAREHOUSE
 Proposed
 Plans
 1/8" = 1'-0"
 1/8" = 1'-0"

SCALE 1/4" = 1'

48'

3'-0" 6"
 Door

3'-0" 4"
 window

3'-0" 4"
 window

3'-0" 6"
 Door

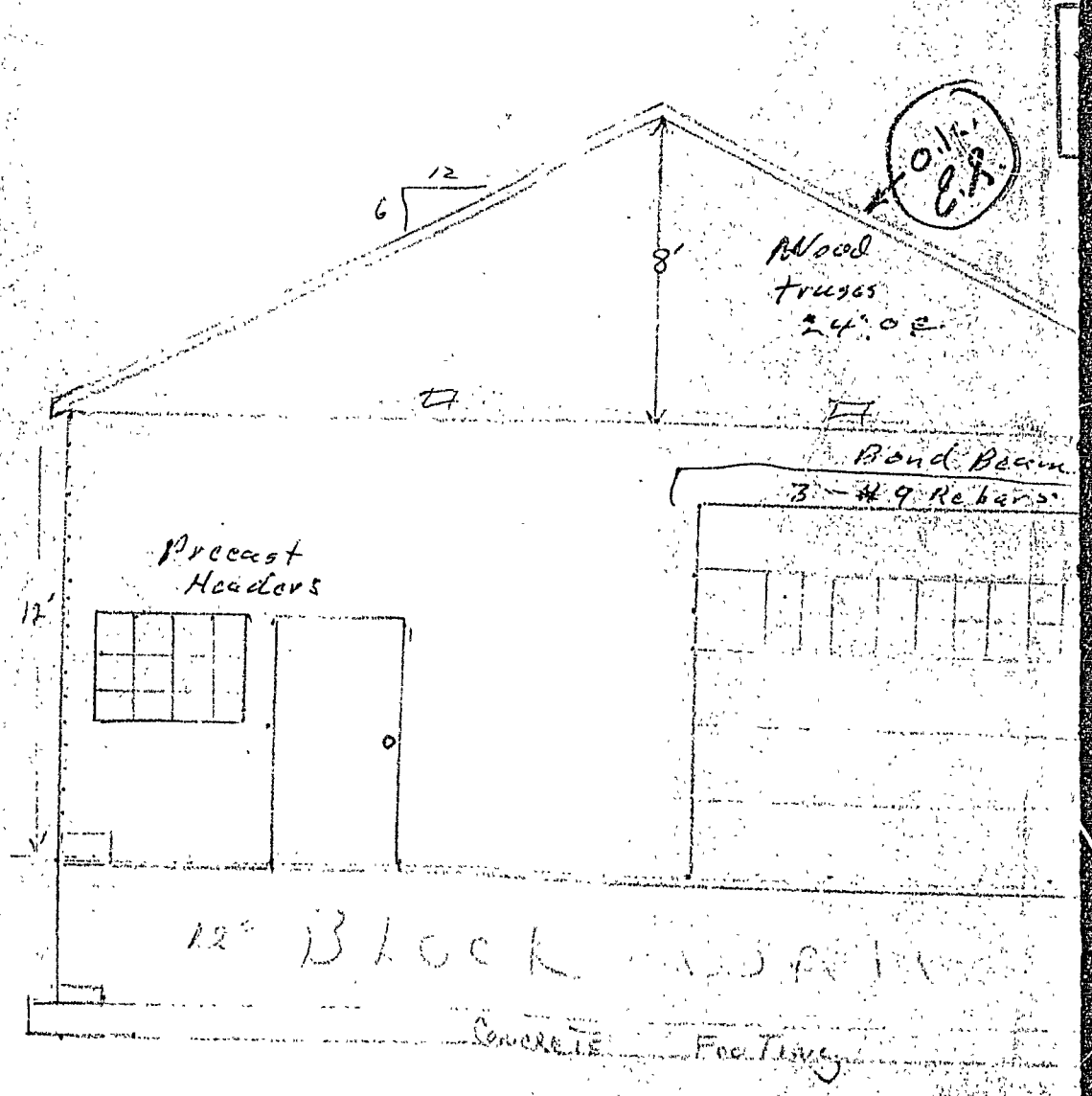
QUEL HEAD DOOR
 12 x 10

3'-0" 4"
 window

RECEIVED
 DEC 10 1973
 DEPT. OF BLDG. INSP.
 BUREAU OF PORTLAND

80'

RECEIVED
 DEC 10 1973
 DEPT. OF BLDG. INSP.
 BUREAU OF PORTLAND



0.11
6.8

Wood
Trusses
24' o.c.

Bond Beam
3 #9 Rebars

Precast
Headers

12'

12" Block

Concrete Footing

Scale 1/8" = 1'
 Bld. to be built
 8" Block
 Comb. with 12" Block
 on concrete footing

420-430 WARREN AVE
184.93 FT.

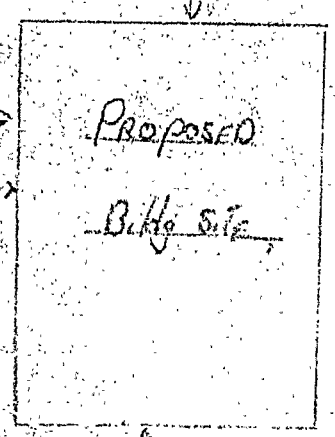
STORAGE AND YARD

I Zone

EXISTING DRIVE WAY
200' Spacer

411.31 FT

25' →
50' →



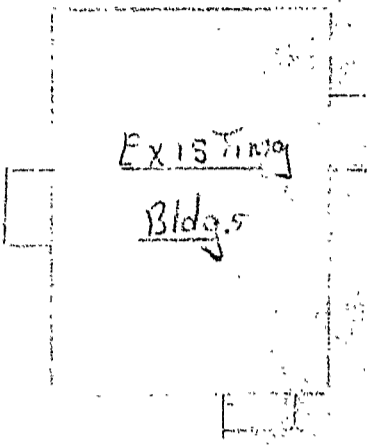
161' Max

20.7 FT

PORTLAND TERMINAL CO. RR

430 WARREN AVE
184.93 FT

DRIVEWAY



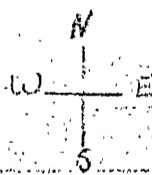
Garage and yard

EXISTING Bldg.

RECEIVED
DEC 10 1973
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

381.1 FT

I 2 Zone



207.7 FT

VERMONT CO. RR

PROPOSED Bldg
FOR STORAGE AND GARAGE
D. PIETRO
430 WARREN AVE
DATE: 12-9-73

LOCATION
 INSPECTION DATE
 WORK COMPLETED
 TOTAL NO. INSPECTIONS
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING	\$ 2.00
1 to 3) Outlets	3.00
31 to 60 Outlets	.05
Over 60 Outlets, each Outlet (Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).	
SERVICES	2.00
Single Phase	4.00
Three Phase	
MOTORS	3.00
Not exceeding 50 H.P.	4.00
Over 50 H.P.	
HEATING UNITS	2.00
Domestic (Oil)	4.00
Commercial (Oil)	.75
Electric Heat (Each Room)	
APPLIANCES	
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit	1.50
MISCELLANEOUS	1.00
Temporary Service, Single Phase	2.00
Temporary Service, Three Phase	10.00
Circuses, Carnivals, Fairs, etc.	1.00
Meters, relocate	1.00
Distribution Cabinet or Panel, per unit	2.00
Transformers, per unit	2.00
Air Conditioners, per unit	2.00
Signs, per unit	
ADDITIONS	1.00
5 Outlets, or less	
Over 5 Outlets, Regular Wiring Rates	

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. **2030**
 Issued **7/25** **7/25** 19**74**
 Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address **D. J. Pietro & Sons** Tel. _____
 Contractor's Name and Address **Mancini Elect** Tel. _____
 Location **400 Water St** Use of Building _____
 Number of Families _____ Apartments _____ Stores _____ Number of Stories _____
 Description of Wiring: New Work Additions Alterations
Service 200 AMP
 Pipe Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____
 No. Light Outlets _____ Plugs _____ Light Circuits _____ Plug Circuits _____
 FIXTURES: No. _____ Fluor. or Strip Lighting (No. feet) _____
 SERVICE: Pipe Cable _____ Underground _____ No. of Wires **3** Size **200 AMP**
 METERS: Relocated _____ Added _____ Total No. Meters _____
 MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____
 HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____
 Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____
 Electric Heat (No. of Rooms) _____
 APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____
 Elec. Heaters _____ Watts _____
 Miscellaneous _____ Watts _____
 Transformers _____ Air Conditioners (No. Units) _____ Extra Cabinets or Panels _____
 Signs (No. Units) _____
 Will commence **7/25** 19**74** Ready to cover in _____ 19 _____
 Inspection **7/25** 19**74**
 Amount of Fee \$ _____

Signed **Anthony Mancini** S.I.C.

DO NOT WRITE BELOW THIS LINE

SERVICE					
VISITS: 1	2	3	4	5	6
7	8	9	10	11	12
REMARKS:					
SERVICE					
SALES					

INSPECTED BY **[Signature]**
 (OVER)

418-430 WARREN AVE.
34' x 50' MASONRY BLDG. 278-B-4

12/13/73 M.G.W.

CHECK LIST AGAINST ZONING ORDINANCE

- ✓ Date - NEW
- ✓ Zone Location - F-2
- ✓ Interior or ~~corner~~ lot -
- ✓ 40 ft. setback area (Section 21) - 40'
- ✓ Use - STORAGE OF CONTRACTING EQUIP.
- ~~Sewage Disposal~~
- ✓ Rear Yards - 161' - 20' MIN.
- ✓ Side Yards - 25' - 20' MIN.
- ✓ Front Yards - 200' - 40' MIN.
- ✓ Projections - NONE
- ✓ Height - 20' - 45' MAX.
- Lot Area - 77244^{sq}
- Building Area - 1700^{sq}
- ~~Area per Family~~
- ~~Width of Lot~~
- Lot Frontage - 184 ±
- Off-street Parking - 2 SPACES REQ.
- ~~Loading Bays -~~

34/50
1700