

City of Portland, Maine – Building or Use Permit Application 589 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 41 Penwood Dr		Owner: Maynard, Gregory/Chaplin, Jill		Phone:		Permit No: 970865	
Owner Address: SAA Ptd, ME 04102		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Glenwood Building & Remodeling		Address: 36 Riggs St Ptd, ME 04102		Phone: 774-7998		Permit Issued: AUG 13 1997 CITY OF PORTLAND	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 23,000.00		PERMIT FEE: \$ 135.00	
Proposed Project Description: Construct Attached 2 Car Garage (24 x 28)		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: U Type: 513 BOCA 96		Signature: [Signature]	
		Signature:		Signature:		Date:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:	
Permit Taken By: Mary Gresik		Date Applied For: 05 August 1997		Zone: R-3		CBL: 277-A-A-016	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Gregory Maynard	ADDRESS:	DATE: 05 August 1997	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector			PHONE:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 8/7/97

[Signature]

CEO DISTRICT 4
A. Powers

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

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Past Use: 1-fam	Proposed Use: Same	COST OF WORK: \$ 23,000.00	PERMIT FEE: \$ 135.00	Zone: CBL: 277-A-A-016 Zoning Approval: Plus with condition Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 1 Type: 511	
Proposed Project Description: Construct Attached 2 Car Garage (24 x 28)		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		
Permit Taken By: Mary Gresik	Date Applied For: 05 August 1997			Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

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SIGNATURE OF APPLICANT Gregory Maynard ADDRESS: _____ DATE: 05 August 1997 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

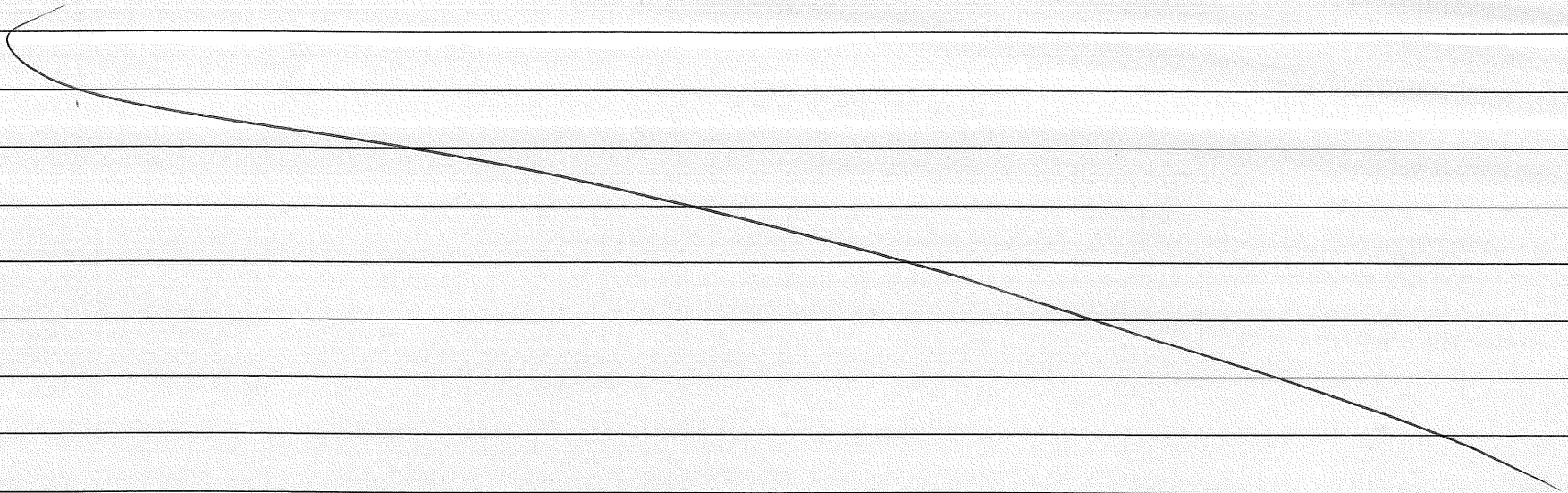
4

A. Powell

COMMENTS

8/26/97 Checked pettracks -ok

10/17/97 Final inspection, sheetrocked common wall w/ house. Mike Collins - Electrical Inspector ok'd.



	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

LAND USE - ZONING REPORT

ADDRESS: 41 Penwood Dr. DATE: 8/11/97

REASON FOR PERMIT: New 24x28 2 CAR GARAGE

BUILDING OWNER: Greg MAYNARD C-B-L: 277A-A-16

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: _____
#5, #9

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition The Area over the GARAGE shall not

be for ANOTHER unit - No Kitchen equipment shall be installed in This Area

Marge Schmuckal Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

BUILDING PERMIT REPORT

DATE: 11 AUG 97 ADDRESS: 41. Penwood DR.

REASON FOR PERMIT: To Construct attached 2-car garage / Attached

BUILDING OWNER: Gregory Maynard

CONTRACTOR: owner


PERMIT APPLICANT: _____ APPROVAL: *1, *2, *5, *8, *10 ~~DENIED~~
1, 20

CONDITION(S) OF APPROVAL

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
 - *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 3. Precaution must be taken to protect concrete from freezing.
 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 - *5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
 - *8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
 9. Headroom in habitable space is a minimum of 7'6".
 - *10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 14. All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with self closer's.
 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996). and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
27. _____
28. _____
29. _____


P. Samuel Hoffes, Chief of Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal

Applicant: Greg. Maynard - owner Date: 8/11/97

Address: 41 Penwood Dr. C-B-L: 277A-A-16

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1984 single family

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct new 24x28 garage

Sewage Disposal - City

Lot Street Frontage -

Front Yard - 25' req. - 25' shown

Rear Yard - 25' req. - 25' shown

Side Yard - 20' on side yd - 20' shown

Projections -

Width of Lot -

Height - 1/2 story

Lot Area - 6,500 sq ft req. 8,950 sq ft

Lot Coverage/Impervious Surface - 25% max = 2237.5 sq ft

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection - N/A

Flood Plains - N/A

$$26 \times 34 = 884$$

$$10 \times 19 = 190$$

$$\text{new } 24 \times 28 = 672$$

$$1746 \text{ sq ft}$$

CONTRACT

GLENWOOD BUILDING & REMODELING

36 Riggs Street
Portland, ME 04102
(207) 774-7998

Date: August 3, 1997

Contract submitted to:

Name: Greg Maynard
Street: 41 Penwood Dr.
City: Portland
State: MAINE 04102
Telephone: (207) 761-3941

Work to be performed at:

Street: same
City:
State:
Date of Plans:
Architect:

- We hereby propose to furnish the materials and perform all the labor necessary for the completion of: **attached garage, as outlined in the attached proposal.**
- Job to commence on or about **late August, 1997**, for approximately **14** working day(s).
- All material is to be specified, and above work to be performed in accordance with drawings and specifications submitted for above work and completed in a workmanship like manner for the sum of: **\$ 23,020.00 (Twenty three thousand twenty dollars and no/100 cents).**
- Payments to be made as follows:
Downpayment (1/3 of total cost) to be paid at commencement of work: **\$ 7673.00.**
 - Balance of \$ to be paid at completion of work.
 - Weekly payments of \$ beginning
 - Special arrangement as detailed below:
one third payment of \$ 7673.00 seven days after start
final payment of \$ 7674.00 on completion
- Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control. Owner is to carry tornado, fire, and other necessary insurance upon above work. Workman's compensation and public liability insurance on above work to be taken out by **Glenwood Building & Remodeling**. *Exception:* Subcontractors who will supply materials and/or labor to the above project will supply their own insurance to cover their area of responsibility.
- **WARRANTY:**
In addition to any additional warranties agreed to by the parties, the contractor warrants that the work will be free from faulty materials; constructed to the standards of the building code applicable for the location, constructed in a skillful manner, and fit for habitation. The warranty rights and remedies set forth in the MAINE UNIFORM COMMERCIAL CODE apply to this contract.
- **RESOLUTION OF DISPUTES:**

If a dispute arises concerning the provisions of this contract or the performance of the parties, the parties agree to settle this dispute by jointly paying for one of the following (check only one):

- Binding Arbitration as regulated by the MAINE UNIFORM ARBITRATION ACT, with the parties agreeing to accept as final the arbitrator's decision ();
- Non-binding Arbitration, with the parties free not to accept the arbitrator's decision and to seek satisfaction through other means, including a lawsuit ();
- Mediation, with the parties agreeing to enter into good faith negotiations through a neutral mediator to attempt to resolve their differences (*OK*).

• **CHANGE ORDERS:**

Any alteration or deviation from the above contractual specifications that involve extra cost will be executed only upon both parties entering into a written change order;

§ 1488 CHANGE ORDERS:

Each change order to a home construction contract must be in writing and becomes a part of and is in conformance with the existing contract. All work shall be performed under the same terms and conditions as specified in the original contract unless otherwise stipulated. The change order must detail all changes to the original contract that result in a revision of the contract price. The previous contract price must be stated and the revised price shall also be stated. Both parties must sign the change form.

§ 1489 EXEMPTION:

Parties to a home construction contract may exempt themselves from the requirements of this chapter only if the contractor specifically informs the home owner or lessee of his rights under this chapter and the parties then mutually agree to a contract or change order that does not contain the parts set forth in sections 1487 and 1488.

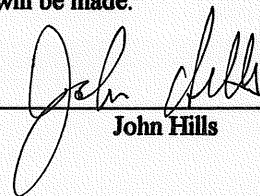
• **DOOR-TO-DOOR SALES:**

If the contract is being used for sales regulated by the consumer solicitation law, Title 32, chapter 69, sub-chapter V, or the home solicitation sales law, Title 9-A, part 5, a discretion of the consumer's rights to avoid the contract, as set forth in these laws, shall apply.

• **RESIDENTIAL INSULATION:**

If the contract includes the installation of insulation in an existing residence, any disclosures required by Chapter 219, INSULATION CONTRACTORS, will be made.

Respectfully submitted:


John Hills

➔ **NOTE** ➔ This proposal will be withdrawn by Glenwood Building & Remodeling if not accepted within ten (10) days due to the instability of the building materials market.

ACCEPTANCE OF CONTRACT

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work, as specified. Payment will be made as outlined above.

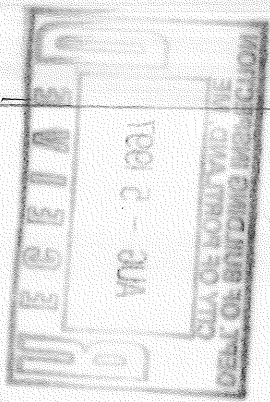
Accepted: _____ Signature: _____

Date: _____ Signature: _____

99.44'

85.38'

100'



28

24

25'

97.58'

↑ 20' ↓
 Side
 63.51'

CURBING

PENWOOD DRIVE →

GLENWOOD BUILDING / REMODELING

PROPOSAL

John Hills - CR
36 Riggs Street
Portland, Maine 04102
(207) 774-7998
Fax (207) 774-7998



Certified Renovations
Kitchens Restorations
Baths Repairs
Additions

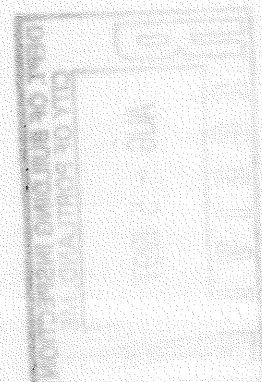
Maynard, Greg
41 Penwood Dr.
Portland, Maine 04102
761-3941

DATE PROJECT
7/11/97 garage

DESCRIPTION

Project: 24' X 28' garage attached to house

- 1] excavate and backfill foundation
- 2] install 4' frost wall with footings and concrete slab [allow cut outs for doors]
- 3] add to front section of drive way to accomidate new door[s]
- 4] walls to be 2" X 4" 16" OC construction, 1/2" cdx plywood, tyvec, pine
beveled siding to match existing
- 5] roof to be tied to existing house, built with trusses, 5/8" cdx sheeting 15# felt
25 yr. three tab shingle,color to match as close as possible to existing
Truss to be Attic design [added 7-27-97]
- 6] Doors/windows:
 - 1- 16' overhead door with opener
 - 2- 3/0 6/8 metal 9 lt. pass doors
 - 3- Double Hung clad wood windows to match as close as possible to existing
- 7] Electrical: to code
to include 3 exterior lights/switched, 4 interior lights [incandecent],
two outlets [GFIC]
- 8] Owner to:
 - a] paint
 - b] remove existing driveway [north foundation wall to allow for planting beds]



This proposal expires 30 days from above date.
Please contact me if you have any questions.Thank you

Total:

PROPOSAL

GLENWOOD BUILDING / REMODELING

John Hills - CR
36 Riggs Street
Portland, Maine 04102
(207) 774-7998
Fax (207) 774-7998



Certified Renovations
Kitchens Restorations
Baths Repairs
Additions

Maynard, Greg
41 Penwood Dr.
Portland, Maine 04102
761-3941

DATE PROJECT
7/11/97 garage

DESCRIPTION

9] NOTES:

new design to match existing house as near as possible for astetic value and owner requirements.

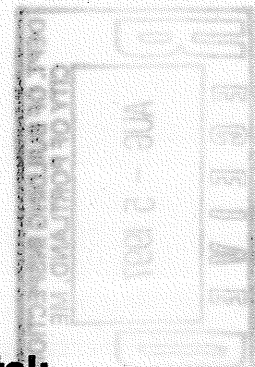
contractor to remove all debris form job site.

MATERIALS & LABOR

23,020.00

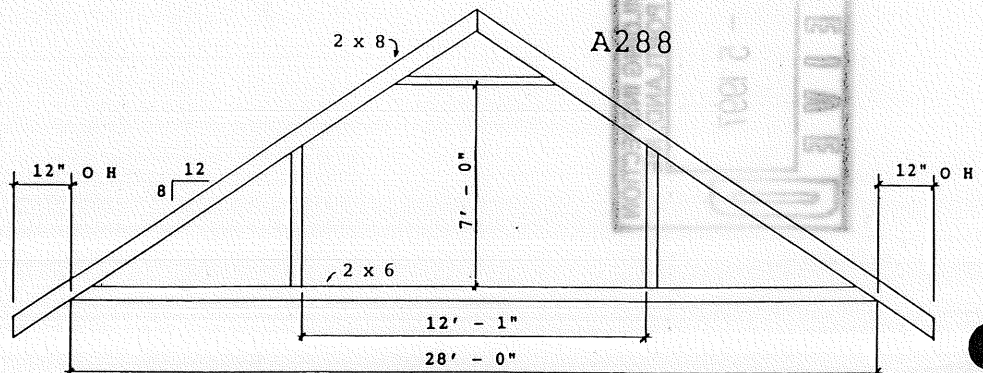
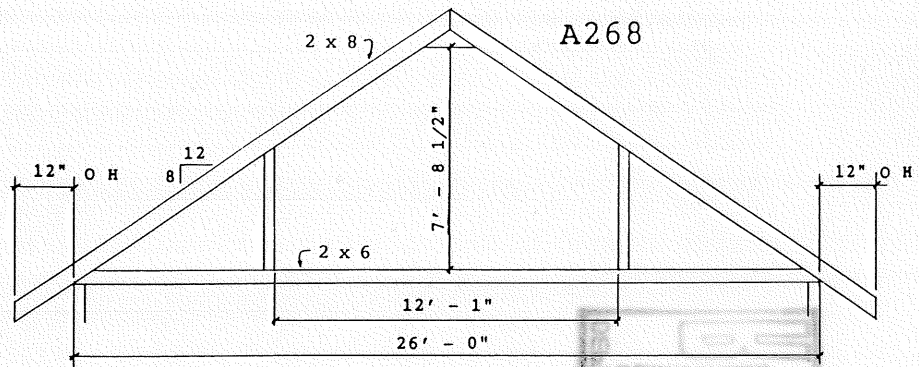
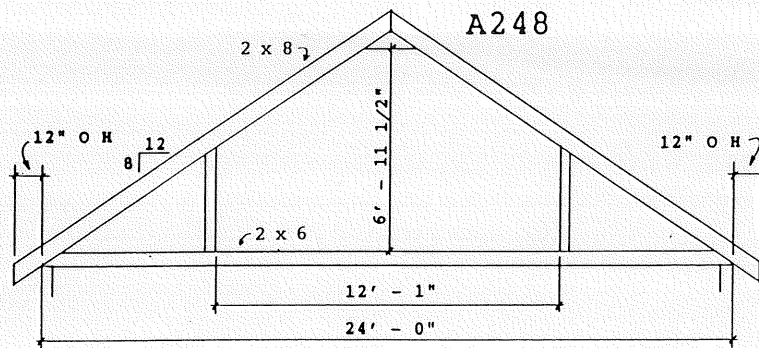
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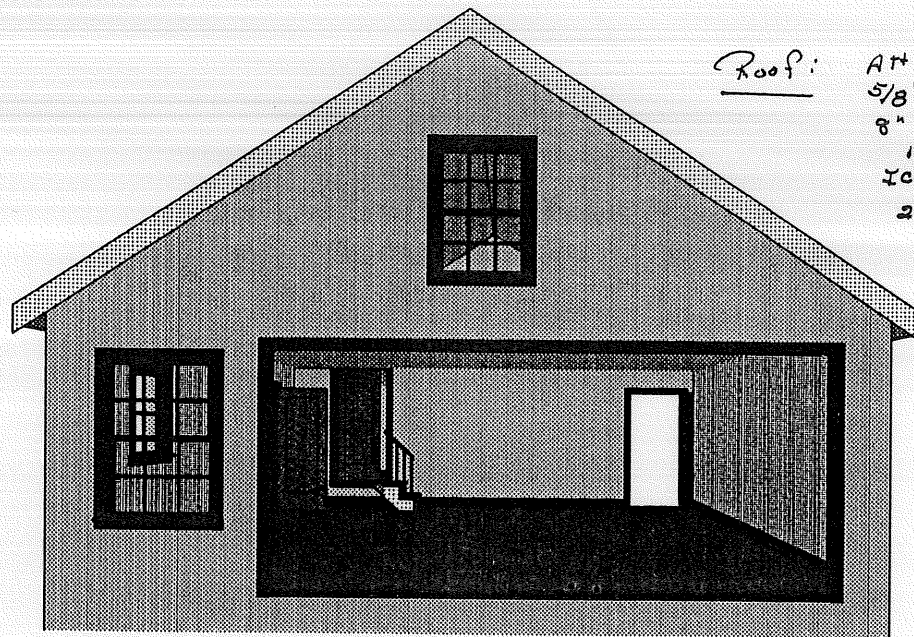
Total: \$23,020.00



Attic Trusses

Available in 8/12 and 10/12 this group offers you economical storage and habitable space within the truss framework. In 8/12 there are 3 sizes: 24', 26', 28'. In 10/12 there is one size: 24'. This is one family where running the comparison is a very useful exercise. By eliminating columns, concrete pads and labor, you will find real value for your dollar.





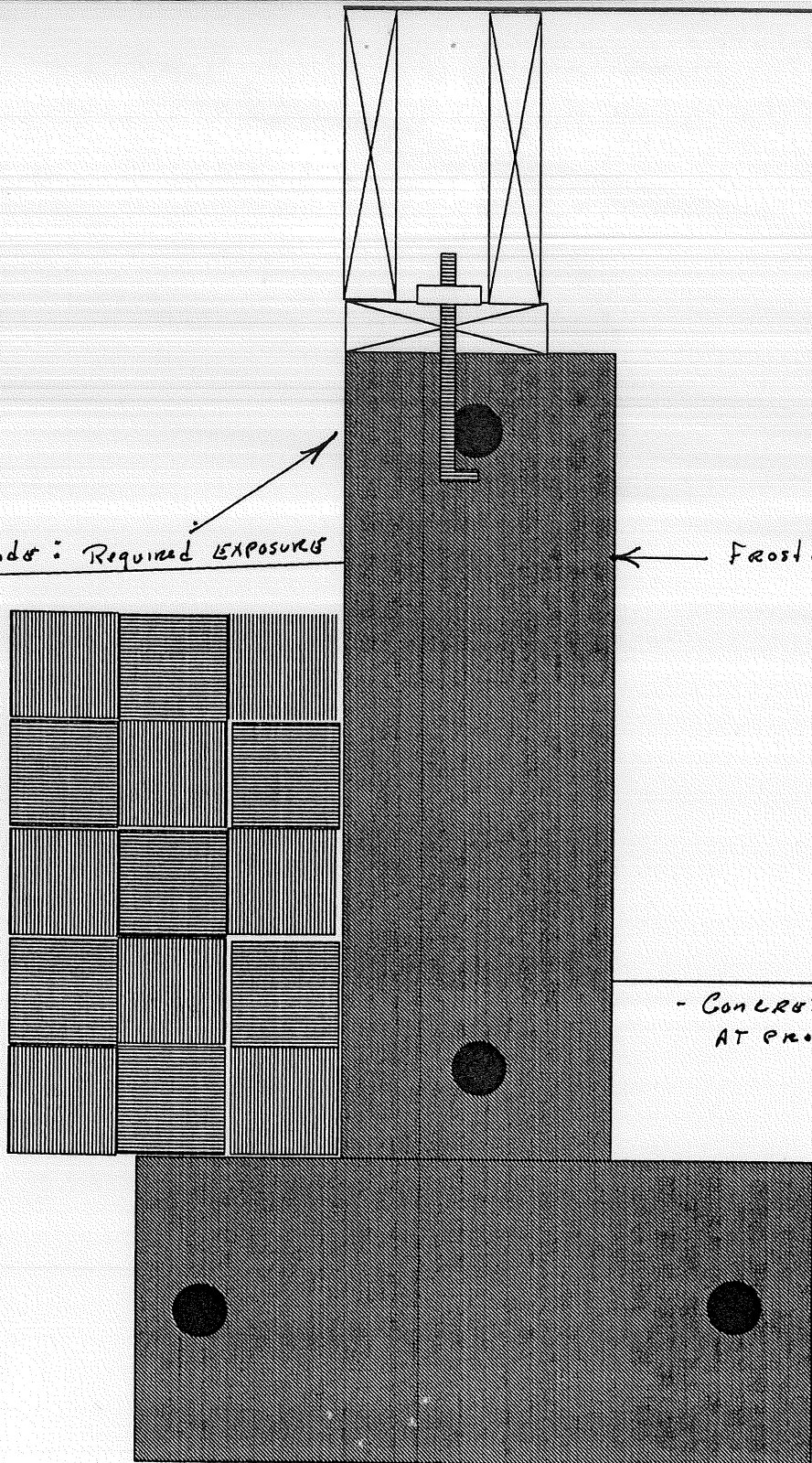
Roof: Attic Truss 24" oc
5/8" CDx w clips
8" preformed Drip edge
15# Felt
Ice & water shield & Flashing as needed
25yr Shingle Three Tab

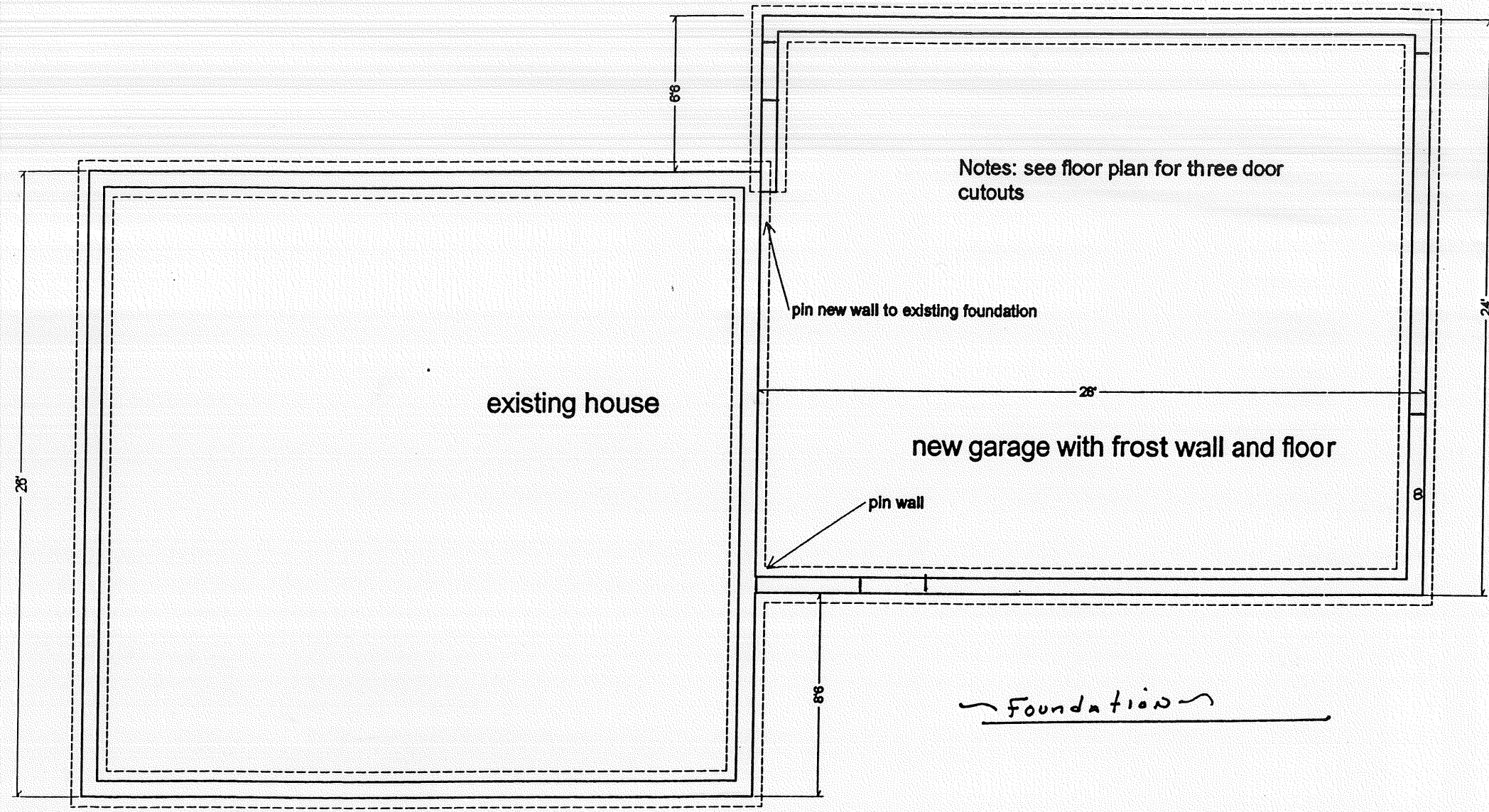
Siding: 1/2" CDx - 2x4 160c
TYvek
1/2" 6" Clapboard

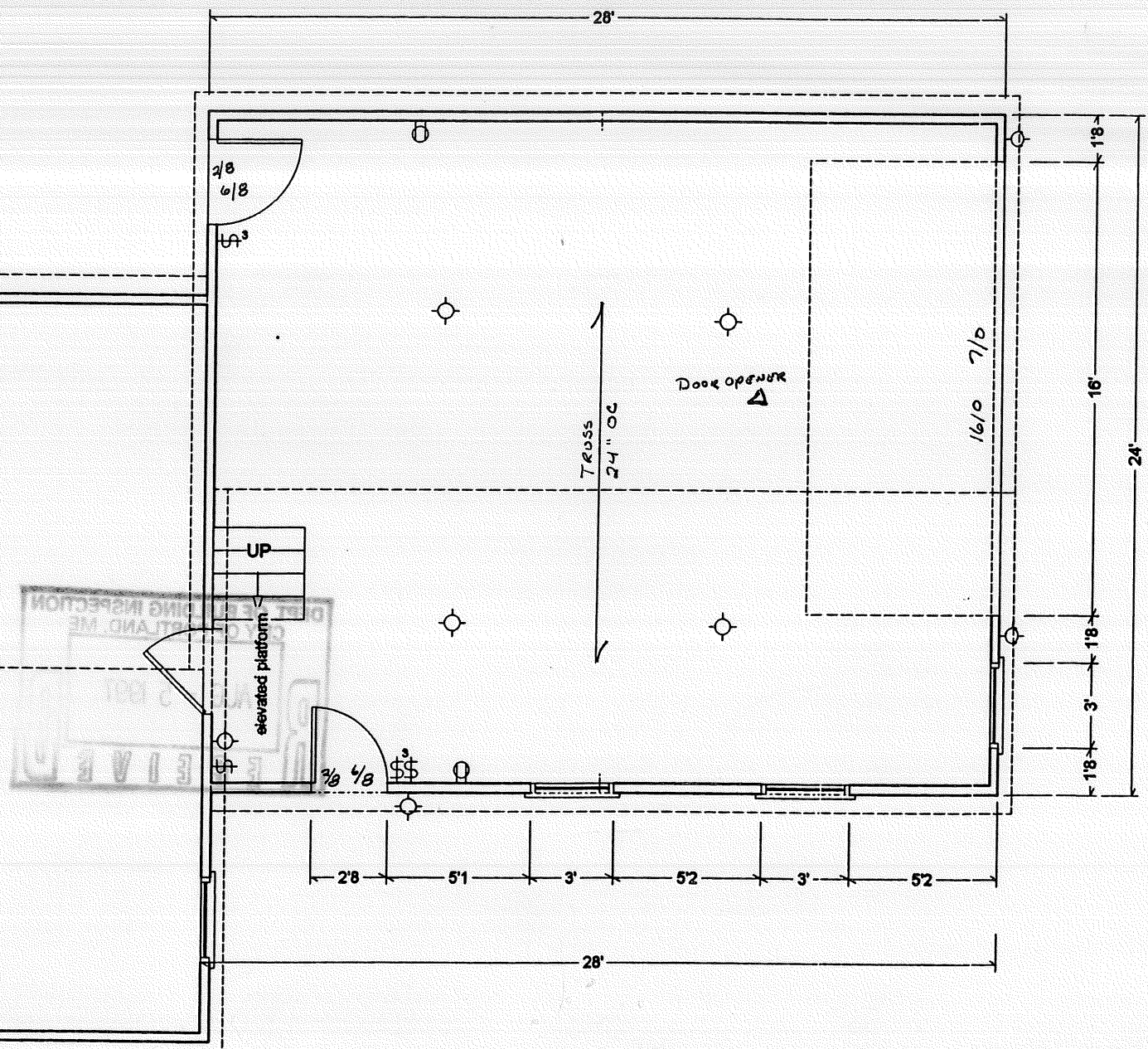
Final grade: Required EXPOSURE

Frost wall 8" x 1/8"

- CONCRETE FLOOR -
AT PROPER THICKNESS & LEVEL







~ FLOOR PLAN ~

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 9/22/97

LOCATION: 41 Penwood Dr.

Permit # 12585

OWNER Greg Maynard ADDRESS _____

								TOTAL EACH FEE	
OUTLETS		Telephone		Data		CATV			.20
	2	Receptacles	5	Switches		Smoke Detector		7	.20
FIBER OPTICS									15.00
FIXTURES		incandescent		fluorescent					.20
		fluorescent strip							.20
SERVICES		Overhead				TTL AMPS TO	800		15.00
		Underground					800		15.00
Temporary Service		Overhead				AMPS OVER	800		25.00
		Underground					800		25.00
METERS		(number of)							1.00
MOTORS		(number of)							2.00
RESID/COM		Electric units							1.00
HEATING		oil/gas units		Interior		Exterior			5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens			2.00
		Water heaters		Fans		Dryers			2.00
		Dishwasher		Compactors		Others (denote)			2.00
MISC. (number of)		Air Cond/win							3.00
		Air Cond/cent				Pools			10.00
		HVAC		EMS		Thermostat			5.00
		Signs							10.00
		Alarms/res							5.00
		Alarms/com							15.00
		Heavy Duty(CRKT)							2.00
		Circus/Carnv							25.00
		Alterations							5.00
		Fire Repairs							15.00
		E Lights							1.00
		E Generators							20.00
PANELS		Service		Remote		Main			4.00
TRANSFORMER		0-25 Kva							5.00
		25-200 Kva							8.00
		Over 200 Kva							10.00
						TOTAL AMOUNT DUE			
		MINIMUM FEE/COMMERCIAL	35.00			MINIMUM FEE	25.00		25.00

INSPECTION: Will be ready _____ or will call XX

CONTRACTORS NAME Joseph Nixon MASTER LIC. # 12585
 ADDRESS POBox 532, Westbrook, ME 04098-0532 LIMITED LIC. # _____
 TELEPHONE 839-6660

SIGNATURE OF CONTRACTOR *Joseph Nixon*

ELECTRICAL INSTALLATIONS—

Permit Number _____

Location _____

Owner _____

Date of Permit _____

Final Inspection _____ 10/16/97

By Inspector _____ [Signature]

INSPECTION: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 10/16/97 (Final)

_____	/	_____	/	_____
_____	/	_____	/	_____
_____	/	_____	/	_____
_____	/	_____	/	_____
_____	/	_____	/	_____

DATE:	REMARKS:

MINIMUM FEE 25.00
TOTAL AMOUNT DUE 25.00

CONTRACTOR'S NAME _____
ADDRESS _____
CITY _____
STATE _____
ZIP _____
PHONE _____
SIGNATURE OF CONTRACTOR [Signature]

Amy,

10/15
3:16

Greg Maynard

- 874-7131

Re: 41 Penwood Dr

Have you seen it?

Is it OK?

Vicki

Amy P

f-26
f 50
—

Greg Maynard

761-3941 h

f 74-7131 w

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