

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED
SEP 15 2004
Permit Number: 041279
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Lapierre Matthew S /Chuck Kennedy
has permission to Add 2nd floor over existing garage for 2 bedrooms & closets
AT 9 Brookview Ter Portland, OR 97277 F031001

provided that the person or persons who perform or supervise the work in accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 OUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Janie Louke 9/15/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1279	Issue Date: SEP 2004	CBL: 277 F031001
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Location of Construction: 9 Brookview Ter	Owner Name: Lapierre Matthew S	Owner Address: 9 Brookview Ter	Phone: 761-8793
Business Name:	Contractor Name: Chuck Kennedy	Contractor Address: Portland	Phone: 2076575035
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family w/2nd floor expansion over existing garage	Permit Fee: \$183.00	Cost of Work: \$17,322.00	CEO District: 3	Shoreland 29,118 sq ft
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Proposed Project Description: Add 2nd floor over existing garage for 2 bedrooms & closets	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B BOCA 1999
	Signature:	Signature: JMB 9/15/04

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature: _____ Date: _____

Permit Taken By: jmb	Date Applied For: 08/31/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/15/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
	<i>Portion of Garage is within 75' Height 30% expansion of that area allowed panel #6 zone X</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 Brookview Terrace</u>		
Total Square Footage of Proposed Structure <u>Existing</u>	Square Footage of Lot <u>31,799 (.73 acres)</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>277</u> Block# <u>F</u> Lot# <u>31</u>	Owner: <u>Matthew S. LaPierve</u>	Telephone: <u>207-761-6793 (W)</u> <u>207-773-4028 (H)</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Matthew S. LaPierve</u> <u>9 Brookview Terrace</u> <u>Portland, ME 04102</u>	Cost Of Work: \$ <u>17,322</u> Fee: \$ <u>183.00</u>
Current use: <u>Single Family Home</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Same</u>		
Project description: <u>Build two bedrooms and two closets over the garage, which is a pre-existing structure.</u>		
Contractor's name, address & telephone: <u>Chuck Kennedy 657-5035</u>		
Who should we contact when the permit is ready: <u>Matthew S. LaPierve</u>		
Mailing address: <u>9 Brookview Terrace</u> <u>Portland, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>761-6793 (W)</u> <u>773-4028 (H)</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Matthew S. LaPierve</u>	Date: <u>8/21/04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1279	Date Applied For: 08/31/2004	CBL: 277 F031001
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Location of Construction: 9 Brookview Ter	Owner Name: Lapierre Matthew S	Owner Address: 9 Brookview Ter	Phone: () 761-8793
Business Name:	Contractor Name: Chuck Kennedy	Contractor Address: Portland	Phone: (207) 657-5035
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family w/2nd floor expansion over existing garage	Proposed Project Description: Add 2nd floor over existing garage for 2 bedrooms & closets
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/15/2004
Note: 8/25/04 Need to verify w/Marge the 30% expansion calculations in the shoreland zone. **Ok to Issue:**
8/26 Me w/Marge who had made a site visit in June and had some preliminary calcs. Verified procedure.
Also, Matt L. Needs to submit detailed calculations from the designer. Left vm w/Matt to submit.
8/31 left vm for Matt L. For submissions
9/8 Charlie K. Called to inquire about what info I needed to calculate the 30% expansion. He had no calculations.
9/8 Matt L. Called to inquire about calcs. I told him I need the height of the existing roof to calc. The volume.
9/13 Charlie K. Called with the existing roof height 6' from the wall height to the peak. Met w/ Marge S. To review my calculations for approval. Ok to issue.

- 1) This property is in the shoreland zone and a portion of the garage is in the 75' HWM. The expansion is limited to 30% square feet and 30% volume (CF) in this area. The dimensions calculate a 13.3% expansion in SF and 16.4% expansion in CF. Future expansions will be limited by this approved permit to equal no greater than 30% total.
- 2) This approval is based on Sec. 14-436(b) for an 80% expansion of the first floor footprint when non-conforming to setbacks. This expansion is 27%, future expansions may only allow 53%.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 08/25/2004
Note: **Ok to Issue:**
1) Separate permits are required for any electrical, plumbing, or heating.

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 10964 PAGE 251 COUNTY Cumberland
 PLAN BOOK 55 PAGE 20 LOT 30

ADDRESS: 9 Brookview Terrace, Portland, Maine

Job Number: 155-24-R

Inspection Date: 5-25-04

Scale: 1" = 50'

Owner: Louis LaPierre

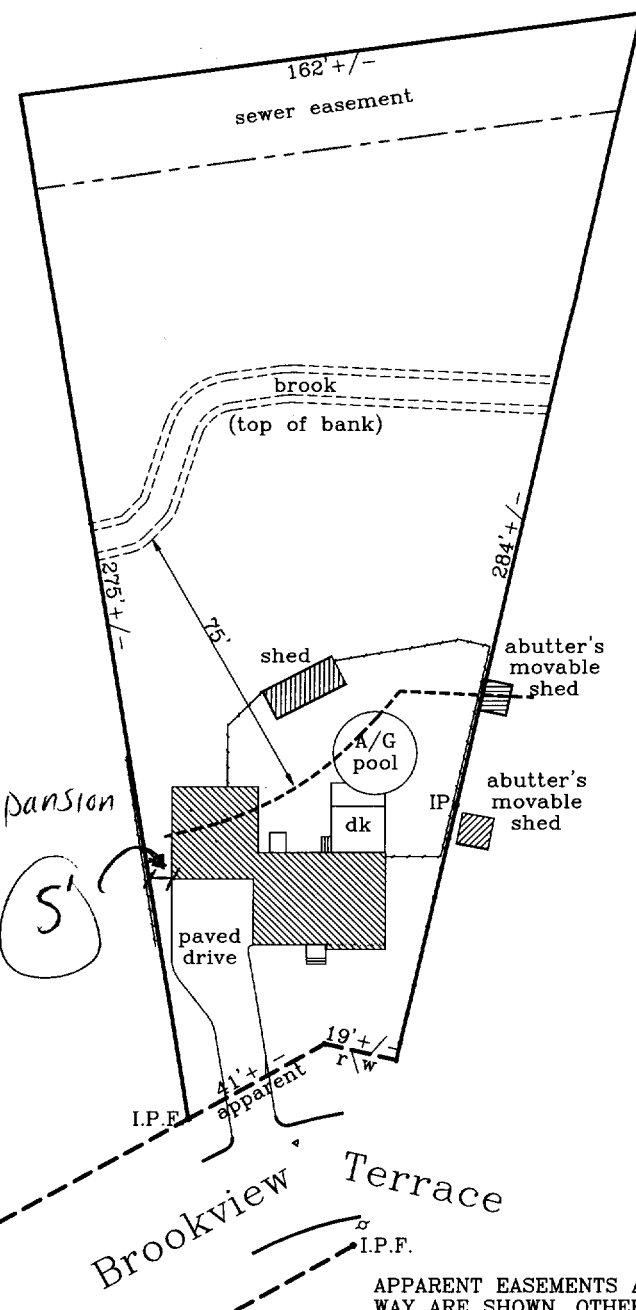
The dwelling is a one and a half story wood framed structure on a concrete foundation.



R3 Zone
 Shoreland
 30% Expansion allowed

Sec. 14-436(b) for 80% expansion
 when non-confirming to
 setbacks

[Handwritten signature]



I HEREBY CERTIFY TO: Louis LaPierre; the Lender
 and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel # 230051-0006 :

The structure does not fall within the special flood hazard zone.
 The land does ~~not~~ fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY. copyright © 1994

Livingston - Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport, Maine 04046
 207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	277 F031001
Location	9 BROOKVIEW TER
Land Use	SINGLE FAMILY
Owner Address	LAPIERRE MATTHEW S 9 BROOKVIEW TER PORTLAND ME 04102
Book/Page	15481/001
Legal	277-F-31 BROOKVIEW TERR 9-11 29118 SF

Matt
Aug 25
3 PM
R3
Shoreland

Valuation Information

Land	Building	Total
\$44,840	\$80,850	\$125,690

Property Information

Year Built 1961	Style Cape	Story Height 1.5	Sq. Ft. 1454	Total Acres 0.668	
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 6	Attic None	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 05/19/2000	Type LAND + BLDING	Price \$110,349	Book/Page 15481-001
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Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!





DEPARTMENT OF PLANNING AND DEVELOPMENT

30% Expansion Shoreland Zone

Existing Garage
Area in 75' HWM:

$$\begin{array}{r}
 6.25 \times 22 = 137.5 \text{ SF} \\
 6.75 \times 22 = 148.5 \div 2 = +74.25 \\
 \hline
 211.75 \text{ SF} \\
 \times 30\% \\
 \hline
 63.525
 \end{array}$$

$$\begin{array}{r}
 211.75 \\
 \times 8 \\
 \hline
 1,694 \text{ CF} \\
 + 539.0625 \\
 \hline
 2,233.0625 \text{ CF} \\
 \times 30\% \\
 \hline
 669.91875 \\
 \text{allowed}
 \end{array}$$

Existing
Volume of attic:

$$\begin{array}{r}
 22 \times 6 \times 6.25 = 825 \\
 \div 2 \\
 \hline
 412.5 \text{ CF}
 \end{array}$$

$$\begin{array}{r}
 412.5 \text{ CF} \\
 + 126.5625 \\
 \hline
 539.0625 \text{ CF}
 \end{array}$$

$$\begin{array}{r}
 22 \times 6 \times 6.75 = 506.25 \text{ CF} \\
 \div 2 \\
 \hline
 253.125 \text{ CF}
 \end{array}$$

because triangle <

$$\begin{array}{r}
 \div 2 \\
 \hline
 126.5625 \text{ CF}
 \end{array}$$

Proposed Expansion:
Area:

$$\begin{array}{r}
 4.5 \times 12.5 = 56.25 \\
 \div 2 \\
 \hline
 28.125 \text{ SF}
 \end{array}$$

$$\begin{array}{r}
 28.125 \\
 \hline
 211.75 = 13.3\% \text{ SF} \\
 \text{OK}
 \end{array}$$

Room Volume:

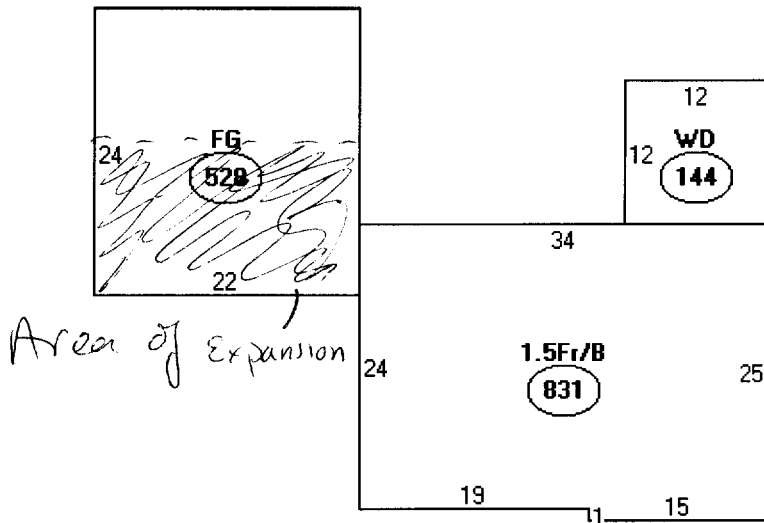
$$\begin{array}{r}
 4.5 \times 12.5 \times 8.75 = 492.1875 \\
 \div 2 \\
 \hline
 246.09375 \text{ CF}
 \end{array}$$

$$\begin{array}{r}
 246.09375 \\
 + 31.64025 \\
 \hline
 277.734 \text{ CF}
 \end{array}$$

Attic Volume:

$$\begin{array}{r}
 4.5 \times 2.25 \times 12.5 = 126.5625 \\
 \div 2 \\
 \hline
 63.28125 \\
 \div 2 \\
 \hline
 31.64025 \text{ CF}
 \end{array}$$

$$\begin{array}{r}
 277.734 \\
 \hline
 1694 = 16.4\% \text{ CF} \\
 \text{OK}
 \end{array}$$



Descriptor/Area

- A: 1.5Fr/B
831 sqft
- B: FG
528 sqft
- C: WD
144 sqft

1503 SF
180 shed
1,683 SF

OK

Lot 29,118 SF

x 25%

7,279.5

1503 x 80% = 1,202.4 SF

2nd FL expansion 14'-9" x 22 = 324.55 SF = 27% OK

6.25 x 22 = 137.5

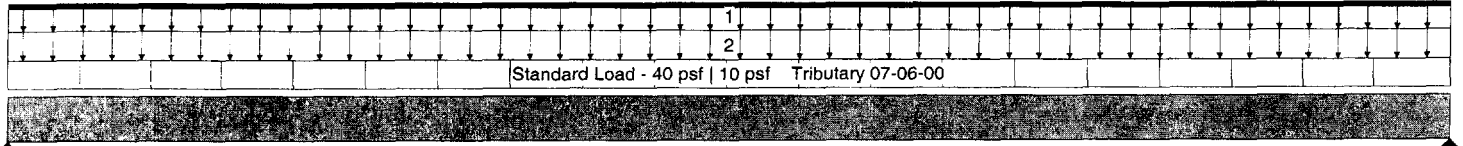
6.75 x 22 ÷ 2 = 74.25

211.75 SF ^{Existing} in Shoreland zone 75' from
see calculation sheet for % Expansion.

Single 3 1/2" x 16" VERSA-LAM® 3080 DF

Job Name:
 Address:
 City, State, Zip: ,
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : FB01
 Description:
 Specifier:
 Designer: hancocklumber
 Company: hancocklumber
 Misc:



B0
 4800 lbs LL
 1955 lbs DL

B1
 4800 lbs LL
 1955 lbs DL

Total Horizontal Length - 16-00-00

General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 07-06-00

Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	16-00-00	Live	40 psf	07-06-00	100%
						Dead	10 psf	07-06-00	90%
1		Unf. Lin.	Left	00-00-00	16-00-00	Live	0 plf	n/a	90%
						Dead	80 plf	n/a	90%
2		Unf. Area	Left	00-00-00	16-00-00	Live	40 psf	07-06-00	115%
						Dead	10 psf	07-06-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	27020 ft-lbs	63.3%	115%	3	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	5629 lbs	46.0%	115%	3	1 - Left
Total Load Defl.	L/368 (0.521")	65.1%		3	1
Live Load Defl.	L/519 (0.37")	92.6%		3	1
Max Defl.	0.521"	52.1%		3	1

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

Notes

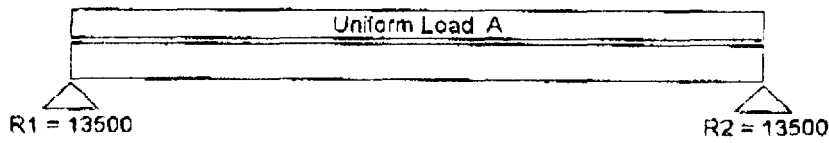
Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/480) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 2-1/8".
 Minimum bearing length for B1 is 2-1/8".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Choice	W 16x 45 A36 Wide Flange Steel		Lateral Support at: Lc = 7.4 ft max.			
Conditions	Actual Size is 7 x 16-1/8 in., Min Bearing Length R1= 1.3 in. R2= 1.3 in. DL Defl 0.12 in Suggested Camber 0.18 in					
Date	Beam Span	22.5 ft	Reaction 1	13500 #	Reaction 1 LL	8450 #
	Beam Wt per ft	45.0 #	Reaction 2	13500 #	Reaction 2 LL	8450 #
	Beam Weight	1013 #	Maximum V	13500 #		
	Max Moment	75938 #'	Max V (Reduced)	N/A		
	TL Max Defl	L / 240	TL Actual Defl	L / 664		
	LL Max Defl	L / 480	LL Actual Defl	L / 949		
Attributes	Section (in ³)	Shear (in ²)	TL Defl (in)	LL Defl		
Actual	72.70	5.56	0.41	0.28		
Critical	38.35	0.94	1.13	0.56		
Status	OK	OK	OK	OK		
Ratio	53%	17%	36%	51%		
Values		Fb (psi)	Fv (psi)	E (psi x mil)		
	Base Value Fy	36000	36000	29.0		
	Base Adjusted	23760	14400	29.0		
Adjustments	YP Factor, Lc	0.66	0.40			

BeamChek has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 1155 = A Uniform LL: 840



Uniform and partial uniform loads are lbs per lineal ft.

Attn: Mike A

6/8/04

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 10964 PAGE 251 COUNTY Cumberland
PLAN BOOK 55 PAGE 20 LOT 30

ADDRESS: 9 Brookview Terrace, Portland, Maine

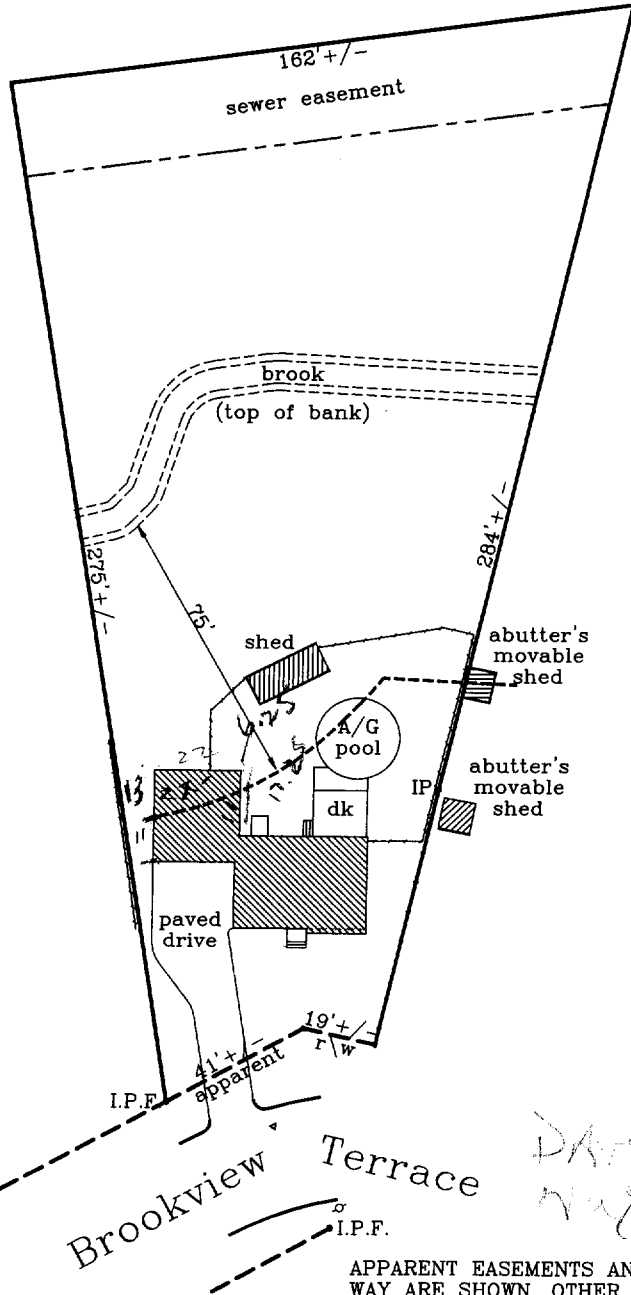
Job Number: 155-24-R

Inspection Date: 5-25-04

Scale: 1" = 50'

Owner: Louis LaPierre

The dwelling is a one and a half story wood framed structure on a concrete foundation.



635

203.5

24
-14

113

Handwritten signature

Handwritten signature

I HEREBY CERTIFY TO: Louis LaPierre; the Lender and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel # 230051-0006 :

The structure does not fall within the special flood hazard zone.
The land does ~~not~~ fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY. copyright © 1994

Livingston - Hughes
Professional Land Surveyors
88 Guinea Road
Kennebunkport, Maine 04046
207-967-9761 phone 207-967-4831 fax

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