

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that PEGGY A OUELLETTE

Located At 12 PINEBROOK LN.

Job ID: 2011-09-2146-ALTR

CBL: 277 - - F - 018 - 001 - - - -

has permission to Build a Twelve (12) Foot by Sixteen (16) Foot Rear Deck.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

09/20/2011

\_\_\_\_\_  
Fire Prevention Officer

  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**



# PORTLAND MAINE

*Strengthening a Remarkable City. Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-09-2146-ALTR

Located At: 12 PINEBROOK

CBL: 277 - - F - 018 - 001 - - - -

## Conditions of Approval:

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Building**

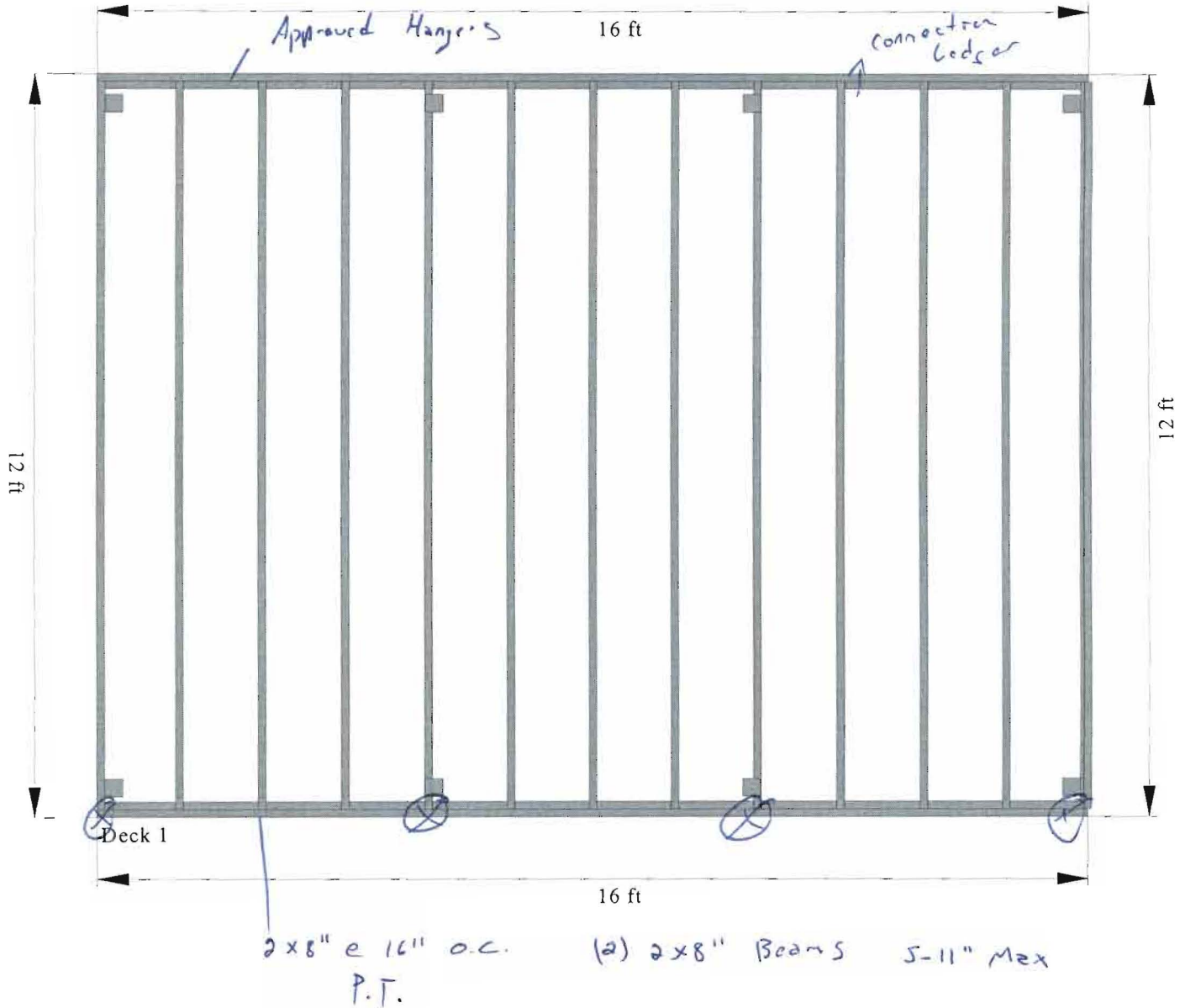
1. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. **R502.6 Bearing.** The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
4. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
5. Frost protection must be installed per the enclosed detail as discussed w/owner/contractor (at least 4' from grade).



# Pro Deck Design™



## Dimension View



Warning and Important Instructions This is not a final design plan or estimate EDGENET, INC. assumes no responsibility for the correct use or output of this program All information contained on this page is subject to the terms in the disclaimer located at the end of this document

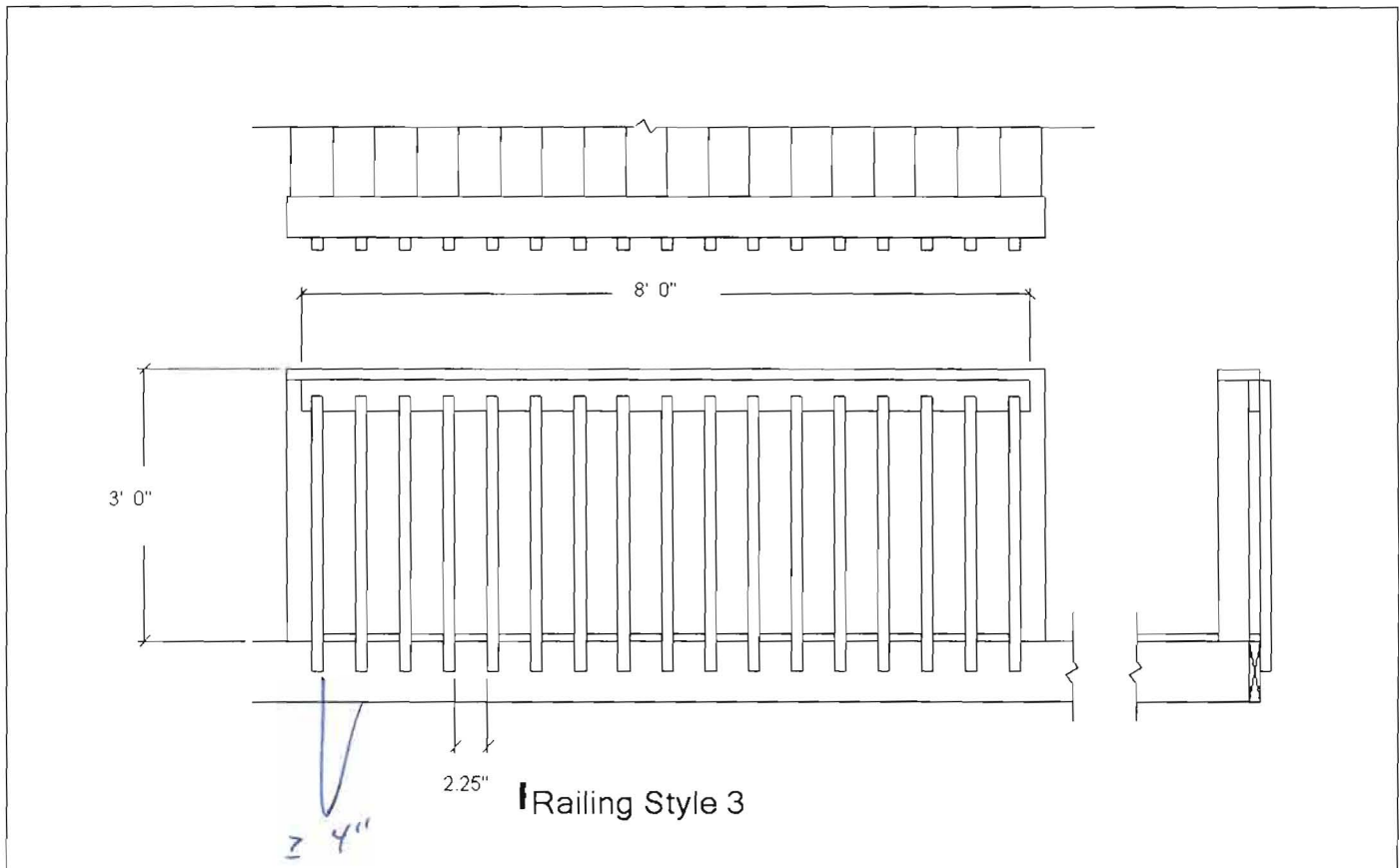
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# Pro Deck Design™



## Railing Details View



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# Pro Deck Design™



3D View



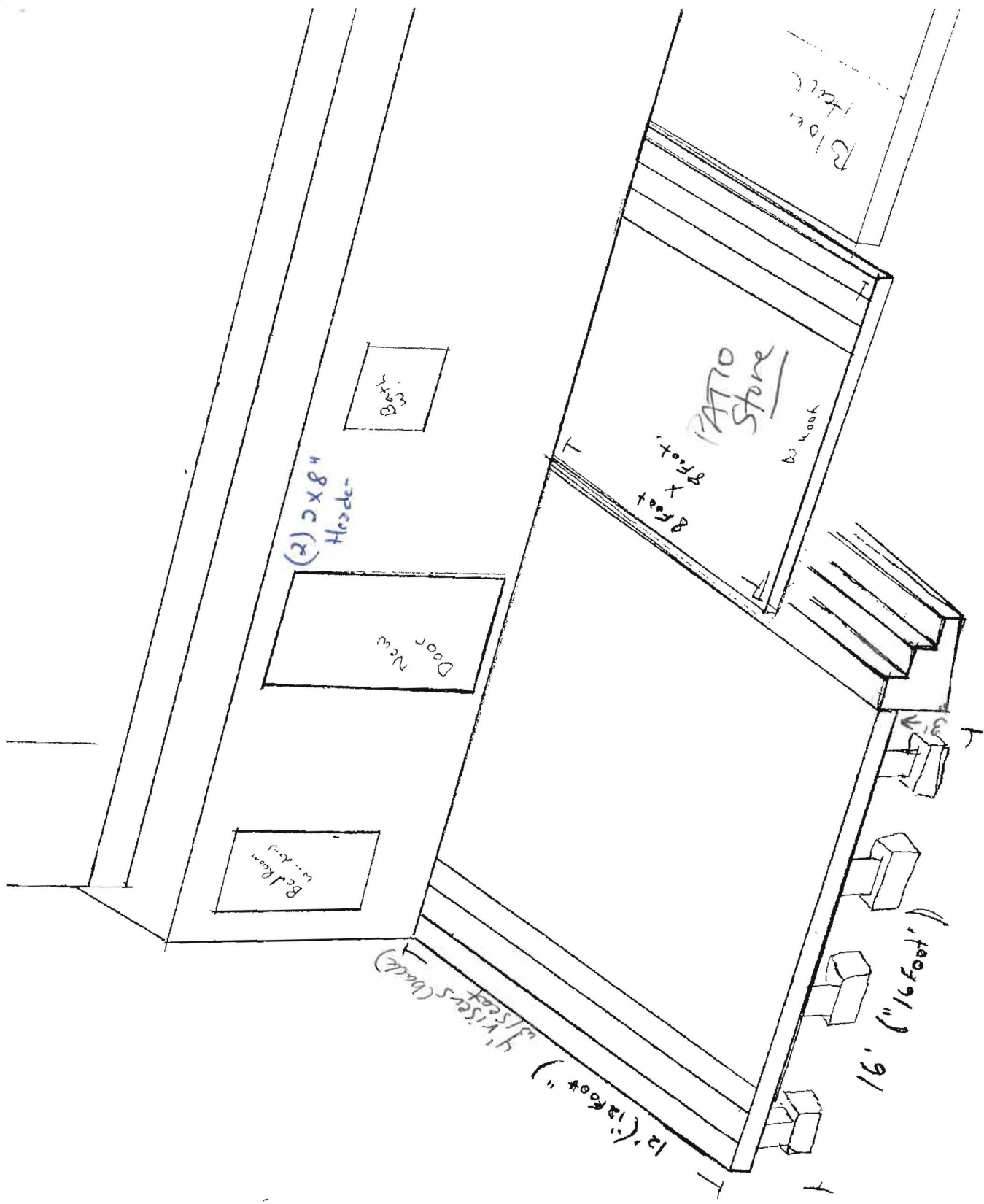
Rise  $7\frac{3}{4}$ " Max

Run 10" Net w/ Nos.  $\frac{3}{4}$  to 1.5"

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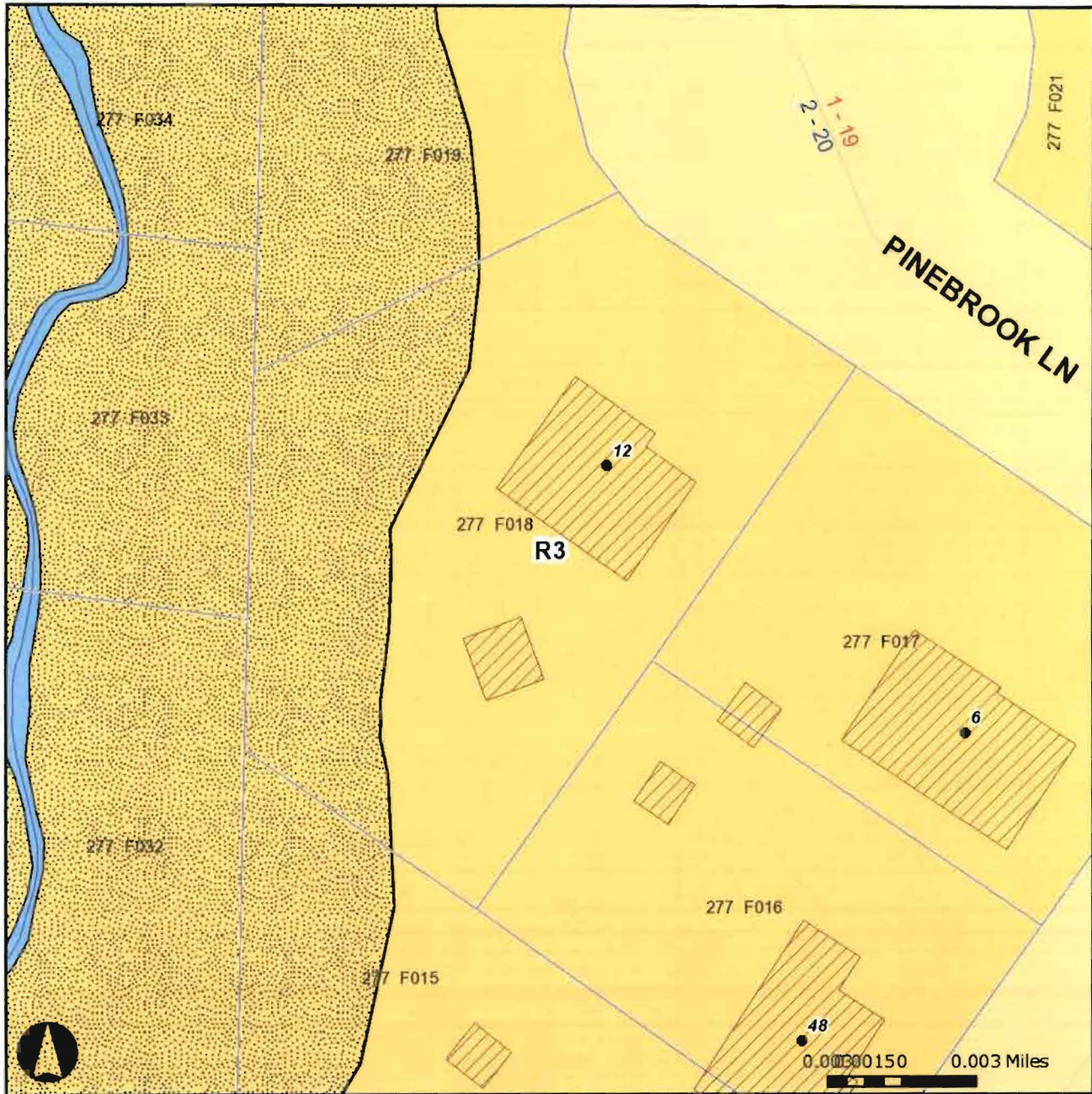
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C.S. 4/27/2011



Deck will have Rails, Balusters

# Map

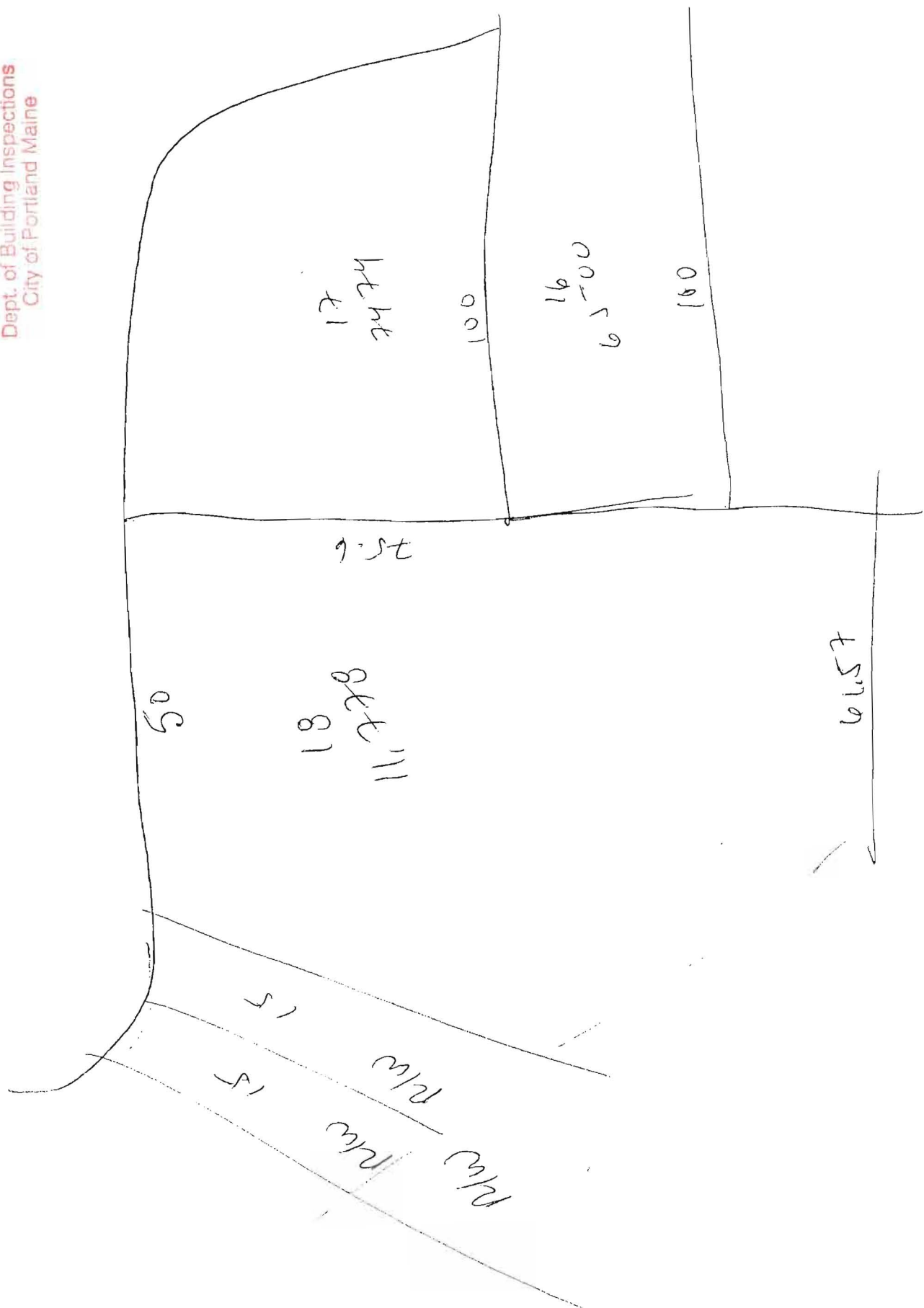


Interstate 	Stream Overlay Zone Stream_protection	Zoning (continued) R1 Residential	Zoning (continued) C23	Ocean 
Streets 	Island Zoning C43	R2 Residential	C24	
Buildings Building	I-B	R3 Residential	C25	
Out Building	I-TS	R4 Residential	C26	
Parcels 	I-R1	R5 Residential	C27	
	I-R2	R6 Residential	C28	
		ROS Recreation	C29	

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Dept. of Building Inspections  
City of Portland Maine





R-3, stream protection

2011 09 21 46

entire 9/11/11



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Pinebrook Lane, Portland 04102</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>277</u> Block# <u>F</u> Lot# <u>018</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Peggy Ouellette</u> Address <u>12 Pinebrook Lane</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-773-5803</u> <u>207-329-9340</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1390.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>1390.00</u>
<p>Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> <u>\$40.00</u></p> <p>If vacant, what was the previous use? <u>N/A</u></p> <p>Proposed Specific use: <u>Single family</u></p> <p>Is property part of a subdivision? <u>no</u> If yes, please name _____</p> <p>Project description: <u>leveling out of current property w/ clean lawn (not part of permit - no permit necessary)</u> <u>Deck, added to the house</u> <u>16'x12'</u></p>		
Contractor's name: <u>Paul Seymour / Homeowners + family</u>		
Address: <u>57 Curtis Road</u>		
City, State & Zip <u>Freeport, ME 04032</u>		Telephone: <u>865-6452</u>
Who should we contact when the permit is ready: <u>Peggy Ouellette</u>		Telephone: <u>329-9340</u>
Mailing address: <u>12 Pinebrook Lane Portland 04102</u>		

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Dept. of Building Inspections  
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Peggy Ouellette Date: 8/31/11

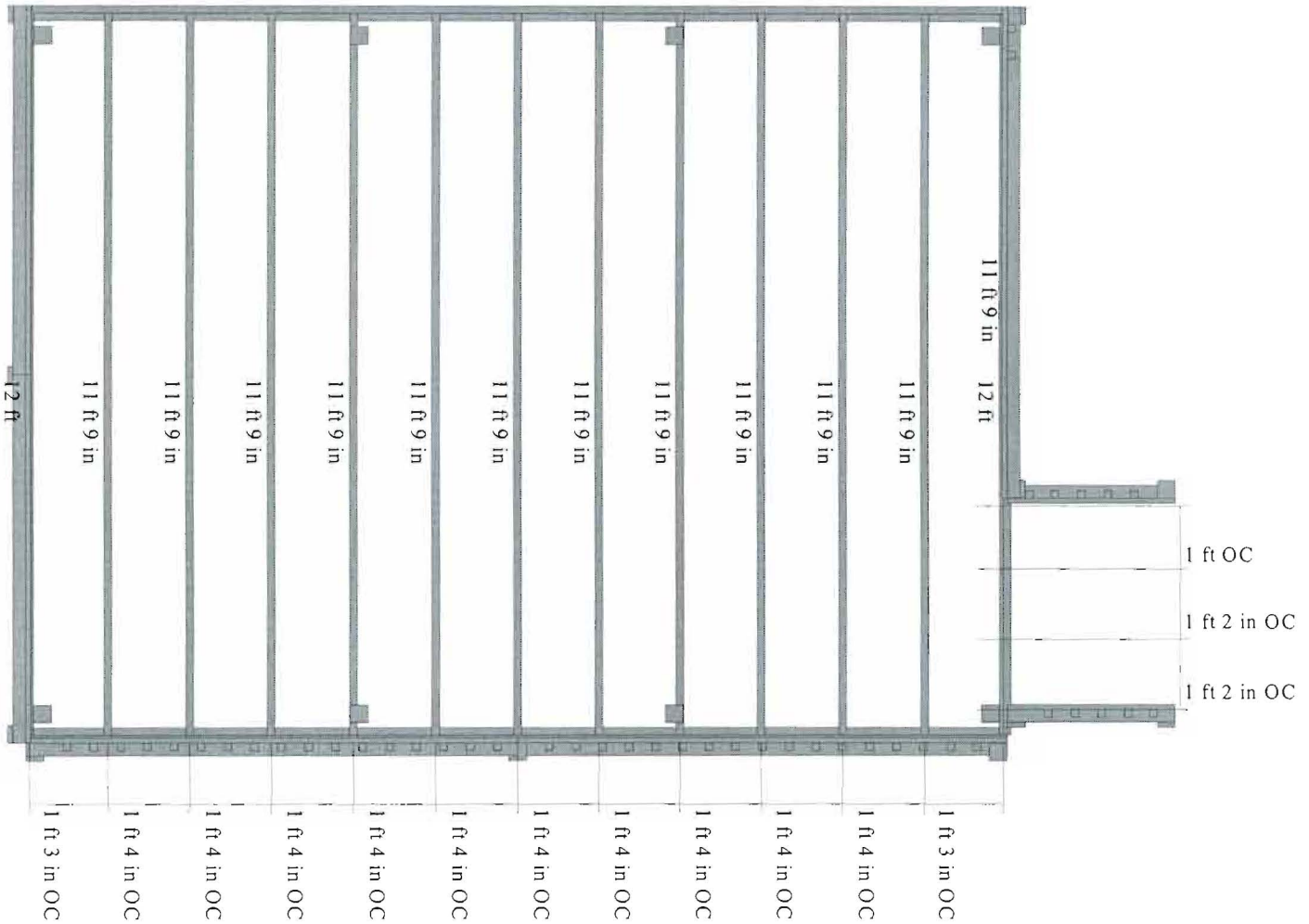
This is not a permit; you may not commence ANY work until the permit is issued



# Pro Deck Design™



## Joist Layout View



### Notes:

All joist and stringer spacing dimensions are measured in OC.

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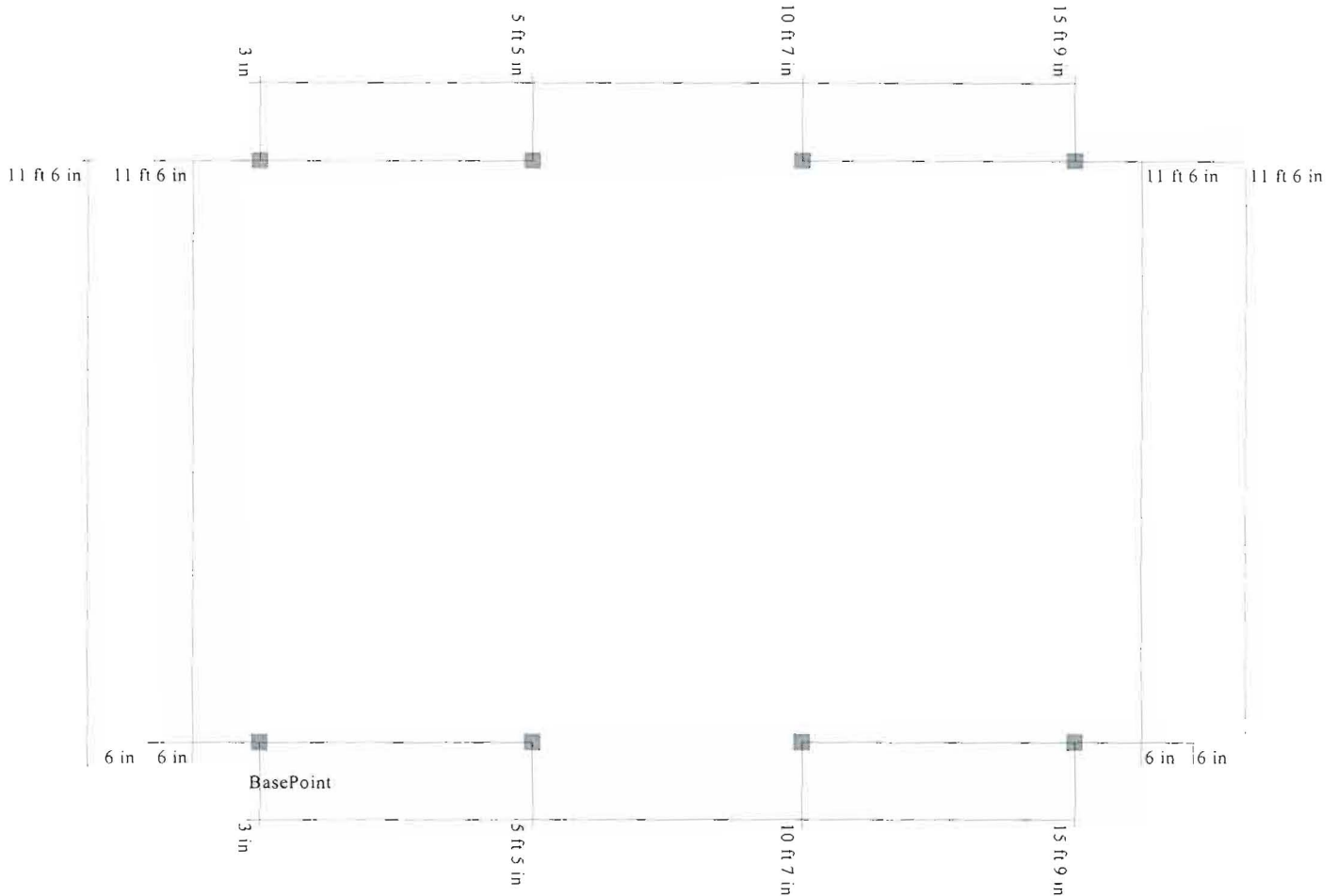
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# Pro Deck Design™



## Post View



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# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

20 11

Received from Poppy A. Duvall

Location of Work 12 Pinebrook Lane

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL)  Plumbing (15) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 2007 F 018

Check #: 5094 Total Collected \$ 40.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# Pro Deck Design™



## Deck Information

Deck 1

- Construction Method - Beam Flush With Joist
- Footing Type - In-Ground
- Live Load - 60
- Dead Load - 10
- Decking Spacing - 1/8 in
- Joist Spacing - 16 in
- Beam Spacing - 144 7/32 in
- Post Spacing - 62 5/32 in
- Decking - L5/4x6 Treated Southern Pine No. 2
- Beams - L2x8 Treated Southern Pine No. 1
- Joists - L2x8 Treated Southern Pine No. 1
- Posts - L4x4 Treated Southern Pine No. 2
- Deck Height - 24 in
- Diagonal Bracing - Yes
- Joist Overhang - 0 in
- Beam Overhang - 0 in
- Decking Deflection Factor - 360
- Joist Deflection Factor - 360
- Beam Deflection Factor - 360
- Pref Decking Size - 5/4x6
- Pref Joist Size - NONE
- Pref Beam Size - NONE
- Pref Post Size - NONE
- Diag Brace Height 1 - 24 in
- Diag Brace Height 2 - 24 in

Railing 5

- Railing Height - 36 in
- Baluster Spacing - 3 3/4 in

Railing 4

- Railing Height - 36 in
- Baluster Spacing - 3 3/4 in

Railing 1

- Railing Height - 36 in
- Baluster Spacing - 3 3/4 in

Railing 3


- Railing Height - 36 in
- Baluster Spacing - 3 3/4 in

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**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-09-2146-ALTR	Date Applied: 9/1/2011	CBL: 277 - - F - 018 - 001 - - - - -	
Location of Construction: 12 PINEBROOK LANE	Owner Name: PEGGY A OUELLETTE	Owner Address: 12 PINEBROOK LN PORTLAND, ME 04102	Phone: 207-329-5803
Business Name:	Contractor Name: Paul Seymour	Contractor Address: 57 Curtis Rd., Freeport, ME 04032	Phone: 207-865-6452
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Building - Addition</b>	Zone: <b>R-3</b>
Past Use: Single Family	Proposed Use: Same - Single Family - add 12' x 16' rear deck	Cost of Work: 2000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: <b>R3</b> Type: <b>SS</b> <b>MUDEC</b> Signature: 
Proposed Project Description: add deck - 12' x 16'		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Stream Protection <input checked="" type="checkbox"/> Shoreland <i>property in zone - building is not</i> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/legislation 9/1/11 ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks
  2. Close In Elec/Plmb/Framing
  3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



house	831
deck	142
shed	144
	1,117

R-3

lot size - 11,778 sq ft

Front - N/A

rear 25' min - 25' to roof

side - 8' - 50' on right

25' on left

lot coverage - 37.9% = 4,422.3

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SEP 16 2011

Dept. of Building Inspections  
City of Portland Maine