

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.

APL – all documents behind this target sheet pertain to the original application submitted by the Applicant.

REVIEW – all documents behind this target sheet pertain to those documents submitted to and from staff as part of the project review.

PBM1 – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

PBR1 - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

CC1 - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

DRC1 - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

MISC1 - all documents behind this target sheet are those that may not be included in any of the categories above.

APL



PORTLAND MAINE

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Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

FEBRUARY 9, 2010

Project Name: Popham Street - 21; Boys And Girls Branch Club; Portland Housing Authority, Applicant.
Project ID: 09-79900021
Project Address: 21 POPHAM STREET
Planner: Shukria Wiar

Dear Applicant:

On February 4, 2010, the Portland Planning Authority approved a minor site plan for an addition for the Boys and Girls Branch Club on the existing Sagamore Community center building at 21 Popham Street as submitted by the Steve Thomas and shown on the approved plan prepared by GTA2 Architects with a revision date of 02.02.2010 with the following conditions:

1. The final site plans shall illustrate the full layout of the parking lot prior to the issuance of a building permit.
2. The final site plans and the survey plan shall be signed and stamped by a licensed engineer and surveyor, respectively, prior to the issuance of a building permit.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.

3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Shukria Wiar at 756-8083 or shukriaw@portlandmaine.gov

Sincerely,



Alexander Q. Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director

Barbara Barhydt, Development Review Services Manager

Shukria Wiar, Planner

Philip DiPierro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Tammy Munson, Inspections Division

Gayle Guertin, Inspections Division

Lannie Dobson, Inspections Division

Michael Bobinsky, Public Services Director

Kathi Earley, Public Services

Bill Clark, Public Services

David Margolis-Pineo, Deputy City Engineer

Greg Vining, Public Services

John Low, Public Services

Jane Ward, Public Services

Keith Gautreau, Fire

Jeff Tarling, City Arborist

Tom Errico, Wilbur Smith Consulting Engineers

Dan Goyette, Woodard & Curran

Assessor's Office

Approval Letter File

Hard Copy: Project File

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 09-79900021 **Application Date:** 12/18/09

Project Name: BOYS AND GIRLS CLUB

Address: 21 Popham St **CBL:** 274 - H-001-001

Project Description: Popham Street - 21; Boys And Girls Branch Club; Portland Housing Authority, Applicant.

Zoning: R5

Other Reviews Required:

Review Type: MINOR SITE PLAN

Portland Housing Authority
14 Baxter Boulevard

Portland Me 04101
Stephen Thomas
44 Oak Street

Portland Me 04101

Distribution List:

<input checked="" type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> City Arborist	Jeff Tarling
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Inspections	Tammy Munson	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Stormwater	Dan Goyette
<input type="checkbox"/> Parking	John Peverada	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input type="checkbox"/> DRC Coordinator	Phil DiPierro		

Preliminary Comments needed by: Wednesday, December 30th.

Final Comments needed by:

44 oak street
portland, me 04101
207.771.5461



December 14, 2009

Barbara Barhydt
Development Review Services Manager
Planning Division
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

Re: Boys and Girls Club- Sagamore Village Branch

Dear Ms. Barhydt,

The Boys and Girls Club of Maine is proposing to establish a branch club in the Portland Housing Authority's Sagamore Village Housing Project.

It will be in addition constructed onto an existing Portland Housing Authority structure located at 21 Popham Street that currently houses project related activities including the project manager's offices.

Attached please find the following:

1. A copy of the deed for the property owned by the Portland Housing Authority.
2. A survey prepared by a registered surveyor locating the building in reference to the City's GIS base. This is in lieu of a full survey of the site as per our discussion regarding the small size of the project.
We have included a drawing that shows the meets and bounds as stated in the deed.
3. Plans based on the survey and containing the information in the plan checklist.
4. Copy of a completed checklist.
5. Seven copies of:
 - a. The application
 - b. Plans-
 - S1.1 Layout Plan
 - S1.2 Site plan and Planting Plan (Includes Utility Plan)
 - S1.3 Survey Information and Topo
 - A1 Floor plan and Elevations]
 - F1 Fire Department Checklist Drawing and Information
 - F2 Fire Department Checklist Drawing and Information
 - c. Zoning summary,

- d. Fire Department Checklist
 - e. Letters of financial viability
 - f. Exterior light fixture spec sheet
 - g. Copy of the City of Portland's Wastewater Application
 - h. Copy of an email from the Portland Water District indicating adequate water is available on site.
6. One copy of the plans reduced to 11"x 17"
 7. I will email you a PDF copy of the plans

Please don't hesitate to call if you have any questions or need additional information.

Sincerely,



Stephen M. Thomas
GTA2 Architects
44 Oak Street
Portland, Maine 04101
207.771.5461

gta'2 architects

44 oak street

portland, me 04101

207.771.5461



December 14, 2009

**BOYS AND GIRLS CLUB OF MAINE AT SAGAMORE VILLAGE
MINOR SITE PLAN REVIEW- ADDITION TO EXISTING STRUCTURE
21 Popham Street**

Portland Housing Authority
14 Baxter Boulevard
Portland, Maine 04101

To whom it may concern:

The following information is intended to supplement the Site Plan Checklist.

Item 1-

See attached survey Sheet S1.3, Topography for the Proposed Boys and Girls Club of Maine for Sagamore Village as prepared by Main-Land Development Consultants, Inc., P.O. Box Q, Livermore Falls, Maine 04254, Chuck Buker, PLS 2397

Item 2-

Applicant name and address:

Portland Housing Authority
14 Baxter Boulevard
Portland, Maine 04101

Name of proposed project:

~~Boys and Girls Club of Maine, Sagamore Village Housing Branch~~

Items 3 and 4-

See sheets S1.1 and S1.3,

Item 5-

Total land area of site: 29.3 Acres (1,277,344 sf)

Item 6-

See attached Survey and sheets S1.2. Some information shown as spot grades due to small site size and flatness of site.

Item 7-

See attached sheet S1.1

Item 8-

Swanton fine sandy loam and Elmwood fine sandy loam

Item 9-

N/A

Item 10-

See attached sheets S1.1, S1.2, A.1

Total ground floor area of new structure: 1041sf, building footprint
Total ground floor area of existing structures on site:88,765sf

Item 11-

See attached sheet S1.1 and attached Zoning Summary sheet

Item 12-

Waste will be collected daily by the PHA.

Item 13-

Existing services in place adequate for intended use.

See attached sheet S1.2. Electrical will be tied into existing building.

Item 14-

Existing services in place adequate for intended use.

See attached S1.2 and attached letter from the Portland Water District

Item 15-

See sheet S1.2

Item-16

No easements present on parcel. Attached is a copy of the deed.

Item-17, 18, 19, 20, 21

See sheets S1.2. No curbs in the immediate area.

Item-22, 23, 24, 25, 26, 27, 28, 29

See sheet S1.2

Item-30

N/A

Item-31

See sheet A.1

Item-32

See sheet See sheet S1.2 and F.1

Item-33

Written Statements

34. The proposed use on this site is an addition to the existing project offices to house a branch of the Boys and Girls Club of Maine.

35. No residential usage.

36. Total area of the site is 29.34 acres.

37. The proposed addition will be 1041sf.

38. None present.

39. The Portland Housing Authority will collect solid waste on a daily basis.

40. The site is bounded by three streets all of which have City sewer with adequate capacity for the proposed use. We will tie into the existing 6" sanitary line serving the building will be adding onto at 21 Popham Street. Water will be supplied by tying into the existing building at 21 Popham Street. Electrical connections will be made from within the existing building.

41. Presently all the surface water runs to existing field drains. There will not be any increase in runoff as a result of the addition. Portions of the existing paved surface will be removed and grassed over resulting in a decreased runoff rate to the existing field drains.

42. It is anticipated that the project will take less than six months.

43. No approvals from other agencies are required.

44. Open

45. Open

46. Open

47. See copy of attached letter

48. See attached copy of deed.

49. None found

50. Will be emailed to the Planning Department

51. Will be emailed to the Planning Department



Development Review Application
PORTLAND, MAINE
 Department of Planning and Urban Development,
 Planning Division and Planning Board

PROJECT NAME: SAGAMORE VILLAGE BRANCH of the BOYS AND GIRLS CLUB of MAINE

PROPOSED DEVELOPMENT ADDRESS:
21 POPHAM STREET

PROJECT DESCRIPTION:
BRANCH LOCATION FOR THE BOYS AND GIRLS CLUB OF MAINE

CHART/BLOCK/LOT: 274/H/1

CONTACT INFORMATION:

APPLICANT **PORTLAND HOUSING AUTHORITY**
 Name: _____
 Address: 14 BAXTER BOULEVARD
PORTLAND, MAINE
 Zip Code: 04101
 Work #: 207.773.4753
 Cell #: ATTEN: MARK ADELSON
 Fax #: 207.761.5866
 Home: _____
 E-mail: MADLSON@PORTHOUSE.ORG

PROPERTY OWNER **PORTLAND HOUSING AUTHORITY**
 Name: _____
 Address: 14 BAXTER BOULEVARD
PORTLAND, MAINE
 Zip Code: 04101
 Work #: 207.773.4753
 Cell #: ATTEN: MARK ADELSON
 Fax #: 207.761.5866
 Home: _____
 E-mail: MADLSON@PORTHOUSE.ORG

BILLING ADDRESS

Name: _____
 Address: _____
 Zip: SAME AS ABOVE
 Work #: _____
 Cell #: _____
 Fax #: _____
 Home: _____
 E-mail: _____

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: **STEPHEN M. THOMAS**
Address: **44 OAK STREET
PORTLAND, MAINE**
Zip Code: **04101**
Work #: **207.771.5461**
Cell #:
Fax #: **207.774.0846**
Home:
E-mail: **STEPHENGTA2@GMAIL.COM**

ENGINEER

Name: **PINKHAM AND GREER**
Address: **380 US ROUTE 1
FALMOUTH, MAINE**
Zip Code: **04105**
Work #: **207.781.5242**
Cell #:
Fax #: **207.781.4245**
Home:
E-mail: **SSTEARN@PINKHAMANDGREER.COM**

ARCHITECT

Name: **STEPHEN M. THOMAS**
Address: **44 OAK STREET
PORTLAND, MAINE**
Zip Code: **04101**
Work #: **207.771.5461**
Cell #:
Fax #: **207.774.0846**
Home:
E-mail: **STEPHENGTA2@GMAIL.COM**

CONSULTANT

Name: **N/A**
Address:
Zip Code:
Work #:
Cell #:
Fax #:
Home:
E-mail:

SUBMITTOR

Name: **MAIN-LAND DEVELOPMENT
CONSULTANTS, INC.**
Address: **P.O. BOX Q, LIVERMORE
FALLS, MAINE**
Zip Code: **04254**
Work #:
Cell #:
Fax #: **207.897.6752**
Home:
E-mail: **CHUCK@MAIN-LANDDEVELOPMENT.COM**

ATTORNEY

Name: **N/A**
Address:
Zip Code:
Work #:
Cell #:
Fax #:
Home:
E-mail:

PROJECT DATA

The following information is required where applicable, in order complete the application
1,277,344 ENTIRE SITE

Total Site Area **28,463SF IN VICINITY OF WORK** sq. ft.
 Proposed Total Disturbed Area of the Site **11,563** sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area **1434 SF NEW PAVED SURFACE** sq. ft.
 Existing Total Impervious Area **14,524** sq. ft.
 Proposed Total Impervious Area **11,959** sq. ft.
 Proposed Impervious Net Change **DECREASE of 2838** sq. ft.

BUILDING AREA

Existing Building Footprint **7389** sq. ft.
 Proposed Building Footprint **8430** sq. ft.
 Proposed Building Footprint Net Change **INCREASE of 1041** sq. ft.
 Existing Total Building Floor Area **7389** sq. ft.
 Proposed Total Building Floor Area **8430** sq. ft.
 Proposed Building Floor Area Net Change **INCREASE of 1041** sq. ft.
 New Building **YES-(ADDITION)** (yes or no)

ZONING

Existing **R-5**
 Proposed, if applicable **N/A**

LAND USE

Existing **RESIDENTIAL**
 Proposed **RESIDENTIAL**

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units **N/A**
 Proposed Number of Residential Units to be Demolished **N/A**
 Existing Number of Residential Units **N/A**
 Proposed Number of Residential Units **N/A**
 Subdivision, Proposed Number of Lots **N/A**

PARKING SPACES

Existing Number of Parking Spaces **13**
 Proposed Number of Parking Spaces **13**
 Number of Handicapped Parking Spaces **13**
 Proposed Total Parking Spaces **13**

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces **0**
 Proposed Number of Bicycle Parking Spaces **0**
 Total Bicycle Parking Spaces **0**

ESTIMATED COST OF PROJECT

\$130,000

Please check all reviews that apply to the proposed development

Design Review	.....	Stormwater Quality	.....
Flood Plain Review	.....	Traffic Movement	.....
Historic Preservation	.....	Zoning Variance	.....
Housing Replacement	.....	Historic District/Landmark	.....
14-03 Street Review	.....	Off Site Parking	.....
Standard	.....	Multi-Family Dwelling	.....
Site Location Area Local Review	.....	B + B Pedestrian Activity Review	.....
Single Family Dwelling	.....	Change of Use	.....
2 Family Dwelling	.....	



Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Boys and Girls Club of Maine-Sagamore Village Branch
21 Popham Street

Project Name, Address of Project

Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
<input checked="" type="checkbox"/>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<input checked="" type="checkbox"/>	(2)	Name and address of applicant and name of proposed development	a
<input checked="" type="checkbox"/>	(3)	Scale and north points	b
<input checked="" type="checkbox"/>	(4)	Boundaries of the site	c
<input checked="" type="checkbox"/>	(5)	Total land area of site	d
<input checked="" type="checkbox"/>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
<input checked="" type="checkbox"/>	(7)	Plans based on the boundary survey including:	2
<input checked="" type="checkbox"/>	(8)	Existing soil conditions	a
<input checked="" type="checkbox"/>	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
<input checked="" type="checkbox"/>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<input checked="" type="checkbox"/>	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
<input checked="" type="checkbox"/>	(12)	Location of on-site waste receptacles	e
<input checked="" type="checkbox"/>	(13)	Public utilities	e
<input checked="" type="checkbox"/>	(14)	Water and sewer mains	e
<input checked="" type="checkbox"/>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
<input checked="" type="checkbox"/>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<input checked="" type="checkbox"/>	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
<input checked="" type="checkbox"/>	(18)	Parking areas	g
<input checked="" type="checkbox"/>	(19)	Loading facilities	g
<input checked="" type="checkbox"/>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<input checked="" type="checkbox"/>	(21)	Curb and sidewalks	g
<input checked="" type="checkbox"/>	(22)	Landscape plan showing:	h
<input checked="" type="checkbox"/>	(23)	Location of existing vegetation and proposed vegetation	n
<input checked="" type="checkbox"/>	(24)	Type of vegetation	h
<input checked="" type="checkbox"/>	(25)	Quantity of plantings	h
<input checked="" type="checkbox"/>	(26)	Size of proposed landscaping	h
<input checked="" type="checkbox"/>	(27)	Existing areas to be preserved	h
<input checked="" type="checkbox"/>	(28)	Preservation measures to be employed	h
<input checked="" type="checkbox"/>	(29)	Details of planting and preservation specifications	h
<input checked="" type="checkbox"/>	(30)	Location and dimensions of all fencing and screening	i
<input checked="" type="checkbox"/>	(31)	Location and intensity of outdoor lighting system	j
<input checked="" type="checkbox"/>	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
<input checked="" type="checkbox"/>	(33)	Written statements to include:	c
<input checked="" type="checkbox"/>	(34)	Description of proposed uses to be located on site	cl
<input checked="" type="checkbox"/>	(35)	Quantity and type of residential, if any	cl
<input checked="" type="checkbox"/>	(36)	Total land area of the site	c2
<input checked="" type="checkbox"/>	(37)	Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
<input checked="" type="checkbox"/>	(38)	General summary of existing and proposed easements or other burdens	c3
<input checked="" type="checkbox"/>	(39)	Type, quantity and method of handling solid waste disposal	c4
<input checked="" type="checkbox"/>	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
<input checked="" type="checkbox"/>	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6 c6

<u>✓</u>	(42)	An estimate of the time period required for completion of the development	7
<u>✓</u>	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. Include the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8 h8
<u>✓</u>	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	
<u>✓</u>	(48)	Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u>✓</u>	(49)	A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u>✓</u>	(50)	A jpeg or pdf of the proposed site plan, if available.	
<u>✓</u>	(51)	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- an environmental impact study
- erosion and sedimentation controls to be used during construction
- a sun shadow study
- a parking and/or traffic study
- a study of particulates and any other noxious emissions
- a noise study
- a wind impact analysis

Other comments:

Site plan attached indicates the location of the new building in relation to the City of Portland reference points as requested by Mr. William Clark. The boundary survey information was taken from the attached copy of the Deed.

12.14.2009

Zoning Summary for Boys and Girls Club of Maine-Sagamore Village Branch

1. Property is located in the R-5 Zone.
2. Parcel acreage: 29.34 acres (1,277,344 sf)

Regulations	Required/Allowed	Provided
Min lot area	6000 sf/unit	1,277,344 sf
Min Street Frontage	50'	65'+
Min Front Yard Setback	20'	75'
Min Rear Yard Setback	20'	500'+
Min Side Yard Setback	8'	60'/42'
Max Building Height	35'	18'
4. Parking- Accessory use/ Educational	1 per classroom	2
5. Maximum Building Coverage:	40%	Currently-6.9% With New Structure-7%
6. Wetland Fill:		N/A

**PORTLAND FIRE DEPARTMENT SITE REVIEW
FIRE DEPARTMENT CHECKLIST
(CAN BE FOUND ON DRAWING F1)**

BOYS AND GIRLS CLUB OF MAINE-SAGAMORE VILLAGE BRANCH-12.14.09

1. APPLICANT'S NAME

PORTLAND HOUSING AUTHORITY
14 BAXTER BOULEVARD
PORTLAND, MAINE 04101
ATTEN: MARK ADELSON
207.773.4753

2. ARCHITECT

GTA2 ARCHITECTS
44 OAK STREET
PORTLAND, MAINE 04101
ATTEN: STEPHEN M. THOMAS
207.771.5461

3. PROPOSED USE OF STRUCTURE:

BOYS AND GIRLS CLUB BRANCH
ASSEMBLY

4. SQUARE FOOTAGE OF STRUCTURE:

1041 SF ADDITION, PLUS 678 SF RENOVATED EXISTING STRUCTURE

5. ELEVATIONS OF STRUCTURE:

SEE DRAWING F1

**6. PROPOSED FIRE PROTECTION OF
STRUCTURE:**

ADDITION WILL HAVE SMOKE DETECTORS, STROBE/ENUNCIATOR ALARMS,
EMERGENCY LIGHTS, EXIT LIGHTS, PULL STATIONS AT EXITS, PANIC
HARDWARE AT DOORS.

THE ADDITION WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND SEPARATED FROM
THE EXISTING BUILDING WITH A ONE HOUR FIRE SEPARATION WALL.

THE HOUSING AUTHORITY WILL PRESENT A LETTER WITH OUTLINING A PLAN TO INSTALL AN
AUTOMATIC SPRINKLER SYSTEM IN THE EXISTING ADJACENT STRUCTURE.

7. HYDRANT LOCATIONS:

TWO SHOWN ON VICINITY PLAN,
THIS SHEET

8. WATER MAIN:

8" WATER MAIN IN POPHAM STREET

9. ACCESS TO FIRE DEPT CONNECTIONS:

NONE

10. ACCESS TO STRUCTURES:

DRIVEWAY LEADS TO SIDE AND REAR OF BUILDING; PUBLIC STREET AT FRONT OF BUILDING

**11. CODE SUMMARY REFERENCING NFPA 1
AND ALL TECH STDS:**

THE ADDITION WILL BE A PLACE OF ASSEMBLY WITH FEWER THAN 300 OCCUPANTS.
IT WILL ADJOIN A BUSINESS USE AND AN ORDINARY HAZARD USE.
IT WILL BE CONSIDERED A 'MULTIPLE OCCUPANCY, SEPARATED OCCUPANCY'

CONSTRUCTION IS TYPE 5 UNPROTECTED

12. NO ELEVATOR

13. N/A

REVIEW

gta'2 architects

44 oak street

portland, me 04101

207.771.5461



February 2, 2010

Shukria Wiar
Planner
Planning Division
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

Re: Boys and Girls Club- Sagamore Village Branch
#09-79900021
Response to Planning Department Comments

Dear Ms. Wiar,

It was nice to chat with you again, I think we addressed all of the concerns you and the Staff had in the course of our phone conversation. I'll recap the areas we discussed.

A. Planning Shukria Wiar

1. Your concern about the dumpster.

The dumpster on site is temporary. It is being used to consolidate construction debris generated during the rehab in the units.

2. The plan for the paved area that will be eliminated.

As shown on the planting plan of the original submittal, the paved area that will be blocked off from vehicles will be removed and replaced with loam and seed.

3. Who will be using this branch.

The Boys and Girls Club will be open to all of the neighborhood but the main emphasis will be the Sagamore Village children.

4. The hours of operation.

The branch will be open from 3:30pm to 6:00pm, Monday thru Friday during the school year.

During the summer it will be open from 1:00pm to 4:00pm, Monday thru Friday.

Mark Adelson of the Portland Housing Authority has spoken to a neighbor who had some questions concerning the hours and who would be using the facility. Mr. Adelson indicated that after discussing the project with the neighbor, he seemed satisfied.

5. Bus drop offs.

No.

6. Utility capacity letters.

This was included in the original submittal. I will send another copy.

D. Traffic Engineer Tom Errico

1. Parking stall depth

The attached drawing shows the parking spaces having been reduced in depth to 19 feet. Also, we have reduced the width of the walkway in front of the parking spaces to 4 feet from the original 6 feet, further reducing the total pavement area.

2. Plans for the balance of the parking area.

The dumpster is temporary. It is being used by contractors doing work in some of the units. No dumpster is planned for the parking lot area.

Please refer to the attached drawing indicating the parking lot layout for the rest of the paved area. Access to the garage door is provided as well as room for maneuvering when entering or exiting the garage.

The number of employees in the Community building totals approximately ten. Four in the day care, part time; one full time in the office and two part time; three in the maintenance garage. Some of the employees live in Sagamore Village and walk to work. The hours vary, but presently no one is present later than 4:00pm.

The hours for the Boys and Girls Club of Maine will be from 3:30pm to 6:00pm, Monday thru Friday during the school year.

During the summer it will be open from 1:00pm to 4:00pm, Monday thru Friday.

Please let me know if you need any additional information or have any questions.

Sincerely,

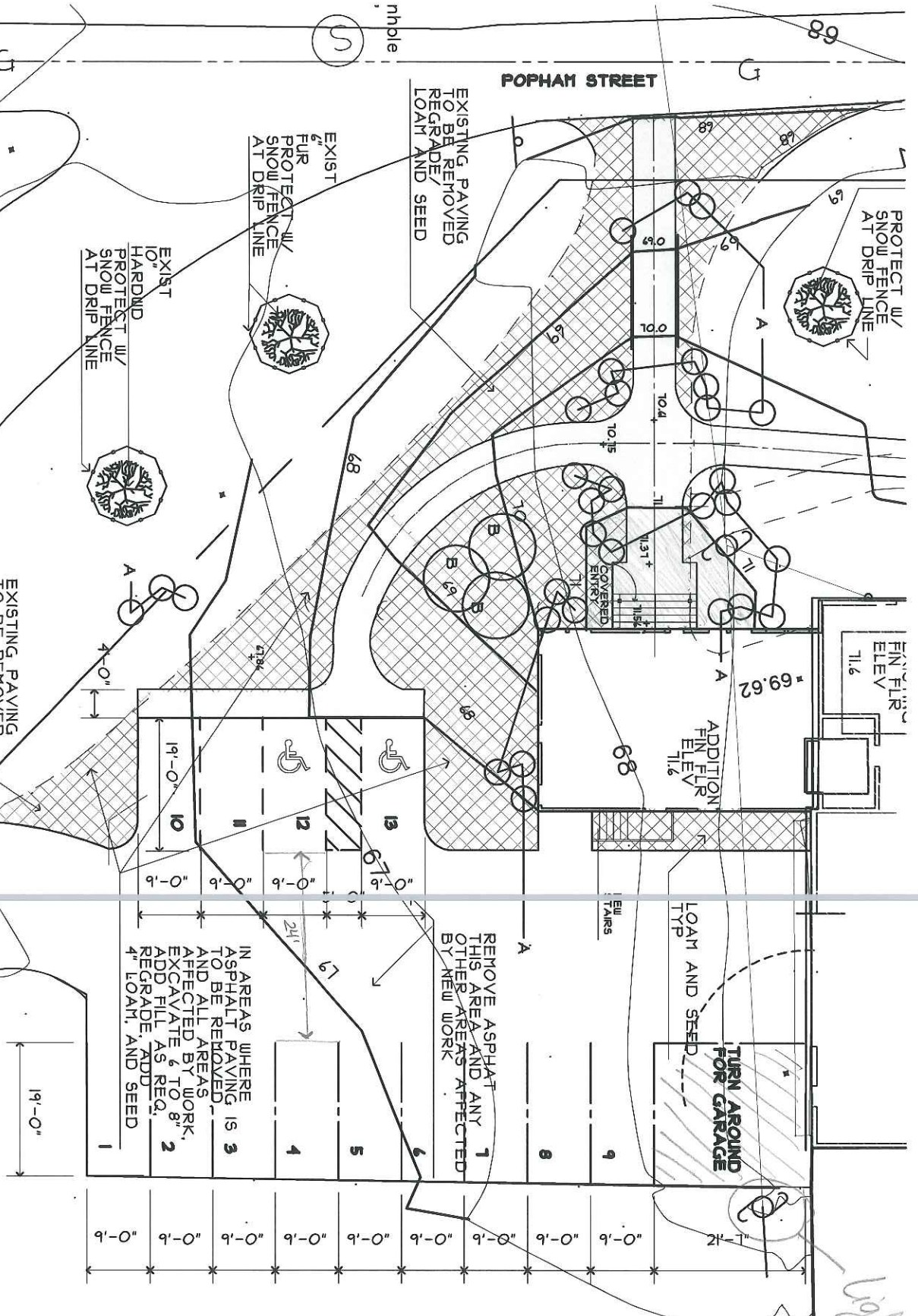
Stephen M. Thomas
gta2 architects
44 oak street
Portland, Maine 04101
207.771.5461

**MODIFIED SITE PLAN SHOWING SHORTER
PARKING SPACES AND 48" SIDEWALK VS
AND OVERALL PARKING LOT LAYOUT**

SCALE: 1"=20'

2.2.2010
catch basin

PURCHASE STREET



13 spaces provided
2 handicapped

any lighting being proposed?
lighting is being proposed?



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

15 January 2010

Public Services Department
Michael J. Bobinsky, Director

Mr. Stephen M. Thomas,
GTA2 Architects,
44 Oak Street,
Portland, Maine 04101

**RE: The Capacity to Handle Anticipated Wastewater Flows, from a Proposed Addition,
to the Sagamore Village Community Building, at 21 Popham Street.**

Dear Mr. Thomas:

The existing ten-inch diameter SDR-35 sewer pipe, located in Popham Street, has adequate capacity to **transport**, while The Portland Water District sewage treatment facility, located off Marginal Way, has adequate capacity to **treat**, the total anticipated wastewater flows of **405 GPD**, from the proposed addition.

<u>Anticipated Wastewater Flows from the Proposed Addition:</u>	
40 Proposed Children @ 9 GPD/Child	= 360 GPD
3 Proposed Adult Staff @ 15 GPD/Adult Staff	= <u>45 GPD</u>
Total Proposed Wastewater Flows for this Project	= 405 GPD
<u>Anticipated Stormwater Flows from the Proposed Addition:</u>	
The Average Stormwater for a Two Year Design Storm	= CFS

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and with the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, from all projects, in order to offset any increase in sanitary flows.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND

Frank Brancely
Frank J Brancely, B.A., M.A.
Senior Engineering Technician

FJB

- CC: Penny Littell, Director, Department of Planning, and Urban Development, City of Portland
 Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
 Shukria Wiar, Planner, Planning Division, Department of Planning, and Urban Development, City of Portland
 David Margolis-Pineo, Deputy City Engineer, City of Portland
 Michael Farmer, P.E., Project Engineer, City of Portland
 Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
 Stephen K. Harris, Assistant Engineer, City of Portland
 John Emerson, Wastewater Coordinator, City of Portland
 Jane Ward, Administrative Assistant, City of Portland
 Desk file

Shukria Wiar - Boys and Girls Club Sagamore Village

From: Thomas Errico <Thomas.Errico@tylin.com>
To: Shukria Wiar <SHUKRIAW@portlandmaine.gov>
Date: 1/8/2010 8:33 AM
Subject: Boys and Girls Club Sagamore Village
CC: David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@portlandmaine.gov>

Shukria – I have reviewed the site plan prepared by GTA.2 Architects dated December 14, 2009 and offer the following comments.

- The parking stall depth for the four illustrated spaces exceed the City standard of 19 feet. I would suggest the spaces conform to the standard such that pavement area can be reduced.
- It is unclear how the remainder of the parking lot will be organized. During my field investigation a dumpster was located in the parking lot and it appears access to a garage door may be required. I would suggest that the applicant provide formal painted parking spaces for the entire parking lot for review and comment. I would note that eight vehicles were parked in the lot during my field review.
- At the property line the driveway on Purchase Street is approximately 25 feet wide and therefore I find it to be acceptable.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

TYLININTERNATIONAL

12 Northbrook Drive
Building A, Suite One
Falmouth, ME 04105

207.347.4354 (Direct)
207.781.4721 (Main)
207.781.4753 (Fax)
207.400.0719 (Mobile)

PORTLAND HOUSING AUTHORITY
14 BAXTER BOULEVARD, PORTLAND, ME 04101-1822
www.porthouse.org

Mark B. Adelson
Acting Executive Director

COMMISSIONERS

Maryann Carroll, Chairperson
Clifford Ginn, Vice Chairperson
Tom Valteau, Commissioner
Kathryn Durgerian, Commissioner
Shirley Peterson, Commissioner
Robyn Tucker, Commissioner
Faith McLean, Commissioner

December 15, 2009

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street
Portland, ME 04101

RE: PHA Sagamore Village Facility - Letter of Financial Viability

Dear Ms. Barhydt,

In regard to the Portland Housing Authority's revised site plan application for the new Boys and Girls Club facility within our Sagamore Village property, this letter is to confirm that there is sufficient funding to undertake this development.

We have estimated the cost of the revised plan to be approximately \$190,000. The Boys and Girls Clubs of Southern Maine has been awarded \$60,135 from the City's CDBG allocation for this project which became available for expenditure on July 1, 2009. At its meeting on December 3, 2009, PHA's Board of Commissioners increased its financial commitment to this project to \$120,000. This amount will come from our HUD FY2009 Capital Fund Grant allocation. The total amount of PHA's FY2009 Capital Fund Grant is \$1,770,720. The balance of the funds will be provided by the Boys and Girls Clubs of Southern Maine. They have committed \$15,650 to the development of this project.

Please let me know if you need additional information.

Sincerely,



Mark B. Adelson
Acting Executive Director



April 16, 2009

Mr. Bruce Loring
Executive Director
Portland Housing Authority
14 Baxter Boulevard
Portland, Maine 04101

RE: Sagamore Village Site Plan Application – Letter of Commitment

Dear Bruce,

We are pleased to partner with Portland Housing Authority to establish the Sagamore Village Boys & Girls Club unit of Boys & Girls Clubs of Southern Maine.

As part of the partnership, we are committed to fund up to the balance of the \$15,650 needed to complete Phase One of the project. We are pleased that Community Development Block Grant funding will enable Portland Housing Authority and Boys & Girls Clubs of Southern Maine to complete Phase Two of the project.

We look forward to seeing the site plans approved and the portable unit in place and open to serve the young people of the Sagamore Village area.

Thank you for your continued strong support of this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Clark".

Robert Clark
Chief Professional Officer



QUITCLAIM DEED

This QUITCLAIM DEED made this 30th day of June, 1953 as of the 30th day of June, 1953 (which last date is herein called the "CONVEYANCE DATE") by and between the

UNITED STATES OF AMERICA acting by and through the PUBLIC HOUSING ADMINISTRATION (herein called the "GRANTOR") in accordance with delegations of authority published in 15 F.R. 372 and 2517 and 17 F.R. 5401 and under and pursuant to the powers and authority contained in the so-called Lanham Act (Public Law 849 - 76th Congress, as amended, particularly the amendments contained in Public Law 475 - 81st Congress), Reorganization Plan No. 3 of 1947 (12 F.R. 4981), and Executive Order 10339 dated April 5, 1952 (17 F.R. 3012); and the PORTLAND HOUSING AUTHORITY (herein called the "GRANTEE") a public body corporate and politic organized and existing under the laws of the State of Maine.

WITNESSETH:

That subject to the conditions hereinafter set forth and for and in consideration of the Grantee for a period of 40 years following the Conveyance Date (1) maintaining and operating the hereinafter described properties for low-rent use in accordance with the provisions of that certain contract between the Grantor and the Grantee dated June 30, 1953 as of June 28, 1951 (herein called the "ADMINISTRATION CONTRACT"), a copy of which Contract is attached hereto as part hereof identified as Exhibit "A", and (2) annually paying to the Grantor, its successors or assigns, the RESIDUAL RECEIPTS of such properties (as these are defined in the Administration Contract), the Grantor by these presents does remise, release and forever quitclaim unto the Grantee, its successors or assigns, the following described property situate in the County of Cumberland, State of Maine, to-wit:

A parcel of land located in the City of Portland, Cumberland County, State of Maine, and described as follows:

Beginning at a point on the Northerly line of Brighton Avenue 375.68 ft. southeasterly from the northeast corner of Brighton and Taft Avenues; thence along the northerly line of Brighton Avenue South 62° 34' 30" East, 421.04 ft; thence along the northerly line of Glenwood Subdivision North 62° 19' 30" East, 412.41 ft; thence North 62° 34' 30" East 95.42 ft, thence North 27° 25' 00" East 140.00 ft; thence South 62° 34' 30" East, 50.09 ft; thence North 27° 29' 30" East, 650.38 ft. to the extension of Godfrey Street, thence North 27° 29' 30" East, 50 ft. across the extension of Godfrey Street; thence North 27° 29' 30" East, 369.43 ft; thence North 62° 30' 30" West, 100 ft. to Purchas Street; thence North 62° 30' 30" West, 50 ft. across Purchas Street; thence North 62° 30' 30" West, 225.61 ft. to the Easterly line of Gorges Street; thence North 28° 05' 30" East, 52.42 ft. to the easterly line of the Portland Gardens Subdivision; thence along the easterly line of the Portland Gardens Subdivision South 56° 44' 20" West, 104.29 ft; thence along the southerly line of Portland Gardens Subdivision North 39° 19' 00" West, 283.24 ft. to a point on the westerly line of Josslyn Street; thence South 77° 70 ft. along the westerly line of Josslyn Street; thence North 69° 25' 00" West to a point on the easterly line of Taft Avenue; thence along this easterly line of Taft Avenue South 30° 35' 00" West, 1196.57 ft; thence South 62° 46' 20" East, 413.91 ft; thence South 37° 25' 00" West, 352.14 ft. to the point of beginning, containing approximately 29.815 acres. Said area comprising Parcels Nos. 2 through 91 inclusive all as shown on a map entitled "Sagamore Village/Owner:-United States of America/City of Portland/Cumberland County, Maine/September 28, 1948, 17036/New England Survey Service, Inc.,/Civil Engineers & Surveyors/73 Tremont Street, Boston, Mass./by /s/ H. B. Ullian, C.E./Reg. No. 746", said map, to which reference is herein made, having been recorded in the Registry of Deeds, Cumberland County, City of Portland, State of Maine, At Plan Book 34, Pages 34 and 38.

Said property being part of the property acquired in fee simple by the Grantor by Declaration of Taking in condemnation proceedings entitled "United States of America vs. Certain Parcels of Land in the City of Portland, County of Cumberland, State of Maine, and Marie Barber, et al., Civil 1605 in the District Courts of the United States for the District of Maine".

TOGETHER WITH: All buildings, structures, improvements, utilities, and fixtures and appurtenances thereto, and those certain personal properties and chattels described in an inventory attached hereto as part hereof identified as Exhibit "B". All of said land, buildings, structures, improvements, utilities, fixtures, appurtenances and personal properties and chattels are herein called the "PROJECT".

PROVIDED, that upon the occurrence of a SUBSTANTIAL BREACH or a SUBSTANTIAL DEFAULT under the Administration Contract (as such terms are defined in such Contract), the estate hereby conveyed shall terminate, and in case of Substantial Breach, upon notice thereof to the Grantee, possession of the Project shall revert to and revert in the Grantor, its successor or successors, or in the case of Substantial Default, at the option of the Grantor and upon notice thereof to the Grantee, either title to the Project or possession of the Project shall revert to and revert in the Grantor, its successor or successors, without any other act of the Grantor, its successor or successors, free of any right of the Grantee, its successors or assigns, except as otherwise provided in the Administration Contract.

The Project is conveyed herein subject to additional conditions as follows:

- (1) Reserving to the GRANTOR, pursuant to Executive Order No. 9908, dated December 5, 1947: All uranium, thorium, and all other materials determined pursuant to section 5 (b)(1) of the Atomic Energy Act of 1946 (60 Stat. 761) to be peculiarly essential to the production of fissionable material, contained, in whatever concentration, in deposits in the lands covered by this instrument are hereby reserved for the use of the United States, together with the right of the United States through its authorized agents or representatives at any time to enter upon the land and prospect for, mine, and remove the same, making just compensation for any damage or injury occasioned thereby. ~~However, such land may be used, and any rights otherwise~~ acquired by this disposition may be exercised, as if no reservation of such materials had been made; except that, when such use results in the extraction of any such material from the land in quantities which may not be transferred or delivered without a license under the Atomic Energy Act of 1946, as it now exists or may hereafter be amended, such material shall be the property of the United States Atomic Energy Commission, and the Commission may require delivery of such material to it by any possessor thereof after such material has been separated as such from the ores in which it was contained. If the Commission requires the delivery of such material to it, it shall pay to the person mining or extracting the same, or to such other person as the Commission determines to be entitled thereto, such sums, including profits, as the Commission deems fair and reasonable for the discovery, mining, development, production, extraction, and other services performed with respect to such material prior to such delivery, but such payment shall not include any amount on account of the value of such material before removal from its place of deposit in nature. If the Commission does not require delivery of such material to it, the reservation hereby made shall be of no further force or effect;

- (2) Subject to a DEED OF DEDICATION, dated April 24, 1952 from the UNITED STATES OF AMERICA, acting by and through the PUBLIC HOUSING ADMINISTRATION to the CITY OF PORTLAND of the Streets and Sewers (described more particularly in said Deed of Dedication) at War Housing Project, ME-17036;
- (3) Subject to a Deed dated June 16, 1948, of the Electrical Distribution System at said Project by the UNITED STATES OF AMERICA, acting by and through the PHA, to the CENTRAL MAINE POWER COMPANY;
- (4) Subject to an Agreement, dated October 14, 1943, (as amended by Supplement No. 1, April 14, 1944, and Supplement No. 2, March 20, 1945) between the UNITED STATES OF AMERICA and the NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY, giving said Company the right to attach to and use the poles owned by the Government and located on the project; and
- (5) Also reserving to the GRANTOR or its assigns, such necessary easements or rights-of-way in the described areas herein conveyed, for the purpose of ingress and egress to and from Parcels Nos. 1, 92, 93, 94, 95 and 96, as may be necessary.

This instrument is executed and delivered to the said Grantee, its successors or assigns, without covenants by the Grantor either express or implied. The Grantee, for itself and its successors or assigns, joins in the execution of this instrument for the purpose of accepting the conveyance of the Project subject to the conditions hereinbefore set forth and hereby covenants: (1) not to convey or encumber the Project except as in the Administration Contract expressly authorized; (2) to maintain and operate the Project for a period of 40 years following the Conveyance Date for low-rent use in accordance with the provisions of the Administration Contract; (3) to annually pay to the Grantor, its successors or assigns, the Residual Receipts of the Project (as defined in the Administration Contract); (4) to deliver possession of the Project to the Grantor, its successors or assigns, upon the occurrence of a Substantial Breach (as defined in the Administration Contract); and (5) to reconvey title to or possession of the Project (at the option of the Grantor) to the Grantor, its successors or assigns, upon the occurrence of a Substantial Default (as defined in the Administration Contract).

TO HAVE AND TO HOLD the Project, subject to the conditions, reversions, rights to revert, covenants, exceptions, and reservations aforesaid, unto the said Grantee, its successors or assigns, forever.

IN WITNESS WHEREOF the UNITED STATES OF AMERICA, Grantor herein, has caused these presents to be executed in its name by the PUBLIC HOUSING ADMINISTRATION and the seal of the Public Housing Administration to be hereunto affixed on the year and day first above written and the PORTLAND HOUSING AUTHORITY, Grantee herein, has caused these presents to be executed in its name and its seal to be hereunto affixed on the 30th day of June, 1953, all as of the Conveyance Date.

(SEAL)

ATTEST:

John W. Brewer
Attesting Officer

PH.A. #
B-32

(SEAL)

ATTEST:

Harold L. Arno
Title Secretary

UNITED STATES OF AMERICA
HOUSING AND HOME FINANCE AGENCY
PUBLIC HOUSING ADMINISTRATION, GRANTOR

By John P. Aane
Director Boston Field Office,
Public Housing Administration

PORTLAND HOUSING AUTHORITY, GRANTEE

By Robert C. Finkle
Title Chairman

Type _____
 Catalog No. _____

GeoMatrixx™ Series

GXSW Series Small Architectural WallPack

APPLICATIONS

- The GeoMatrixx is a perfect blend of architectural design and performance for Accent, Façade, Parking, Roadway, Security and Sign applications.

CONSTRUCTION

- Precision die-cast aluminum construction. All exposed hardware is stainless steel.
- Duraplex II dark bronze polyester powder finish is standard but the GeoMatrixx is available in a variety of designer colors.
- Injection-molded triple-finger silicone gasket.

ELECTRICAL

- Integral heat sink ensures cool operation.
- Contractor-friendly design with integral cable permitting easy, hands-free wiring.

OPTICS

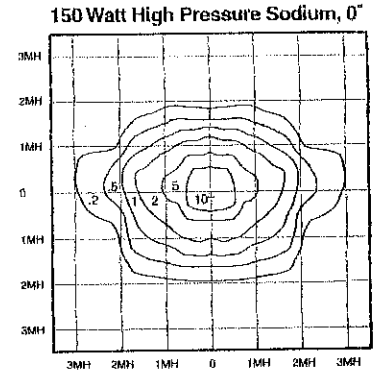
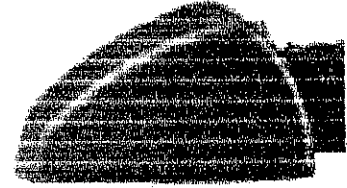
- Hinged door frame with clear tempered glass lens.
- Multifaceted reflector system provides uniform distribution.
- Meets IESNA cutoff requirements in 0° position.

MOUNTING

- The GeoMatrixx can be surface mounted in various positions. Use it as a cutoff wallpack or tip it up 22.5° for forward throw with semi-cutoff.

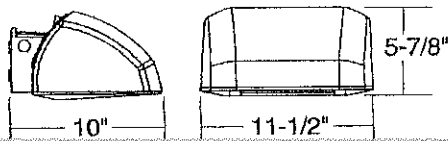
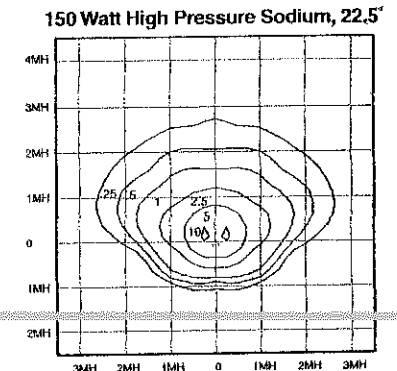
WARRANTY/LISTINGS

- UL wet location listed for above- or below-horizontal aiming.
- Complete with a UL-Approved mounting box rated for 90°C supply wire with integral bubble level.



ACCESSORIES

GMSSHIELD - Vandal Guard for Small Fixtures



GMSSHIELD - Mounting Box for Small and Medium Fixtures

Ordering Guide Example: GXSW42HFLLBLK-1

GX	S	W	42	HFL	L	BLK	—	1
							—	

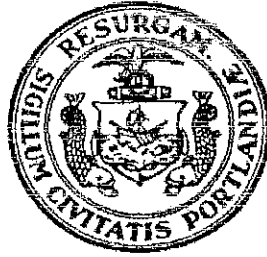
Series	Size	Type	Wattage	Lamp Source	Option	Color	Voltage
GX	S=Small	W=Wall	42=42w HFL 70=70w NLX 100=100w NLX 150=150w NLX	HFL=Compact Fluorescent NLX=High Pressure Sodium (NPF)	L=Lamp Included	BLK=Textured Black WHW=Textured White SL=Slate GA=Galvanite TM=Dark Titanium CL=Clay LS=Limestone BRW=Textured Bronze (BLANK)=Flat Bronze	1=120



Product information is subject to change without notice



CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION



Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991

Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: April 16, 2009

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 23 Popham Street, Portland, ME 04102

(Regarding addressing, please contact Lussie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)

Chart Block Lot Number: 274-H-1

Proposed Use: Boys & Girls Club

Previous Use: Open Lawn

Si Commercial
te Industrial *(complete part 4 below)*
C Governmental
at Residential
e Other *(specify)*
g
o
y Residential

Existing Sanitary Flows: 0 GPD

Existing Process Flows: n/a GPD

Description and location of City sewer, at
proposed building sewer lateral connection:

Purchase Street 150+/- feet north of

Popham Street

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: 405 GPD

Peaking Factor/ Peak Times: 1, because the club will be used only 4 hours/day

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," "Portland Water District Records," "Other (specify) Chapter 5, Table 501.2 of the Maine Subsurface Wastewater Disposal*

Rules 10 CMR 241 (August 1, 2005)

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: Portland Housing Authority, Mark Adelson
Owner/Developer Address: 14 Baxter Blvd., Portland, ME 04101
Phone: (207) 773-4753 Fax: (207) 761-5886 E-mail: madeison@porthouse.org
Engineering Consultant Name: Pinkham and Greer, Stephen Stearns, P.E.
Engineering Consultant Address: 380 US Route 1, Falmouth, ME 04105
Phone: (207) 781-5242 Fax: (207) 781-4245 E-mail: sstearns@pinkhamandgreer.com
City Planner's Name: Alex Jaegerman Phone: (207) 874-8724

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: n/a GPD
Do you currently hold Federal or State discharge permits? Yes No
Is the process wastewater termed categorical under CFR 40? Yes No
OSHA Standard Industrial Code (SIC): _____ (<http://www.osha.gov/oshstats/sicscr.html>)
Peaking Factor/Peak Process Times: _____

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:

Proposed Use:

~~A Boys & Girls Club, Temporary for now using a modular portable classroom~~
building with two bathrooms, a kitchen sink and a utility sink for cleaning up arts
& crafts equipment.

Hours of Operation: Monday - Friday 2:30 PM - 6:30 PM during school year
Monday - Friday 12:00 PM - 4:00 PM during summer

Kids: 30 - 40 max.

Adult Staff: 3

I consider this use to be similar to the junior high school in Table 501.2 (9 GPD per
student plus 15 GPD per teacher): $40 \times 9 + 15 \times 3 = 405$ GPD

Stephen

From: "Kath Thomas" <stephengta2@gmail.com>
To: "Stephen" <hh660@maine.rr.com>
Sent: Wednesday, June 03, 2009 3:00 PM
Subject: Fwd: Sagamore Village, Portland Housing Authority

----- Forwarded message -----

From: Rico Spugnardi <RSpugnardi@pwd.org>
Date: Mon, May 4, 2009 at 10:12 AM
Subject: RE: Sagamore Village, Portland Housing Authority
To: Stephen Thomas <stephengta2@gmail.com>

Hello Stephen,

Thank you for the information. We have reviewed the submittal and have determined that the existing 5/8" meter is sufficient to serve the needs of both the existing and new building onsite. Since this water service is for one lot and one owner, it will be possible for you to make a connection after the meter and run a service pipe to the new building.

Please let me know if you have any questions or need anything further.

Sincerely,
Rico Spugnardi

Rico Spugnardi, P.E.
Business Development Engineer
Portland Water District

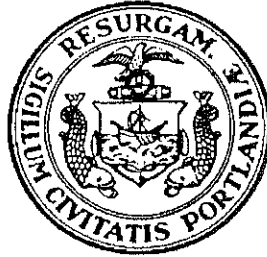
225 Douglass Street, PO Box 3553
Portland, ME 04104
Phone: 207-774-5961 Ext. 3199
Fax: 207-761-8307
E-mail: RSpugnardi@pwd.org
<http://www.pwd.org>



The Portland Water District NOTICE & DISCLAIMER Confidentiality Notice:

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED
CONTAIN INFORMATION THAT IS PRIVILEGED AND CONFIDENTIAL. Please notify the sender if you have received
in error. Recipients should be aware that replies to this message may not be considered confidential and may be
be subject to public disclosure.

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION



Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991

Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: _____

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: _____

(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)

Chart Block Lot Number: _____

Proposed Use: _____

Previous Use: _____

Si Commercial
te Industrial *(complete part 4 below)*
C Governmental
at Residential
e Other *(specify)*

g
or
y

Existing Sanitary Flows: _____ GPD

Existing Process Flows: _____ GPD

Description and location of City sewer, at
proposed building sewer lateral connection:

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," "Portland Water District Records," "Other (specify)"*

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: _____
Owner/Developer Address: _____
Phone: _____ Fax: _____ E-mail: _____
Engineering Consultant Name: _____
Engineering Consultant Address: _____
Phone: _____ Fax: _____ E-mail: _____
City Planner's Name: _____ Phone: _____

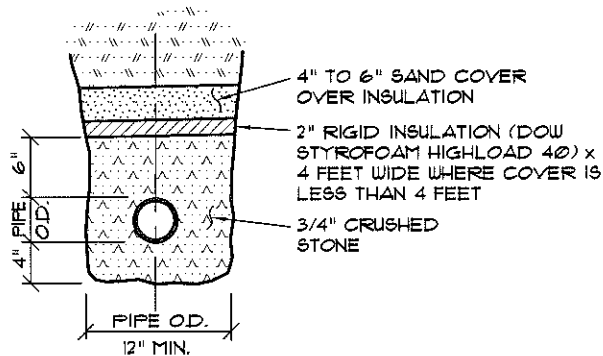
Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD
Do you currently hold Federal or State discharge permits? Yes ___ No ___
Is the process wastewater termed categorical under CFR 40? Yes ___ No ___
OSHA Standard Industrial Code (SIC): _____ (<http://www.osha.gov/oshstats/sicser.html>)
Peaking Factor/Peak Process Times: _____

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:



BEDDING SECTION

BACKFILL WITH SUITABLE SOILS FROM ON-SITE EXCAVATION OR IF SUITABLE SOILS ARE UNAVAILABLE USE GRANULAR BORROW (MDOT 103.19). SUITABLE SOILS SHALL MEET THE REQUIREMENTS OF MDOT 103.18. PLACE AND COMPACT IN LAYERS 12" THICK OR LESS.

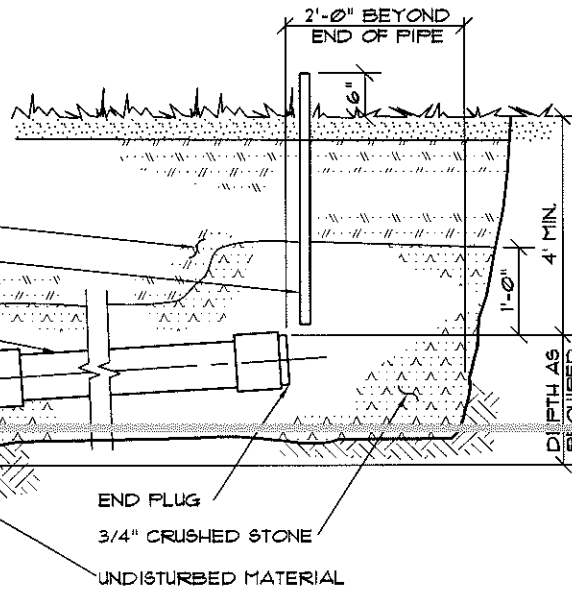
2"x4" SPRUCE MARKER

6" ϕ SERVICE CONNECTION MIN. SLOPE 1/8" PER FT.

22 1/2" BEND

6" INSERTA TEE

8" SEWER



1 HOUSE SERVICE CONNECTION

NOT TO SCALE

Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Boys & Girls Club

Project Name, Address of Project
 (The form is to be completed by the Applicant or Designated Representative)

Application Number

Check Submitted		Required Information	Section 14-525 (b,c)
Applicant	Staff		
_____	✓	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	_____	Name and address of applicant and name of proposed development	a
_____	_____	* Scale and north points	b
_____	_____	* Boundaries of the site	c
_____	_____	* Total land area of site	d
_____	_____	* Topography - existing and proposed (2 feet intervals or less)	e
_____	✓	Plans based on the boundary survey including:	2
_____	—	* Existing soil conditions	a
_____	NA	* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
_____	_____	* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	✓	* Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
_____	✓	* Location of on-site waste receptacles	e
_____	✓	* Public utilities	
_____	✓	* Water and sewer mains	e
_____	✓	* Culverts, drains, existing and proposed, showing size and directions of flows	c
_____	✓	* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	✓	* Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	✓	* Parking areas	
_____	✓	* Loading facilities	g
_____	✓	* Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	✓	* Curb and sidewalks	g
_____	✓	Landscape plan showing:	h
_____	_____	* Location of existing vegetation and proposed vegetation	h
_____	_____	* Type of vegetation	h
_____	_____	* Quantity of plantings	h
_____	_____	* Size of proposed landscaping	h
_____	_____	* Existing areas to be preserved	h
_____	_____	* Preservation measures to be employed	h
_____	_____	* Details of planting and preservation specifications	h
_____	_____	* Location and dimensions of all fencing and screening	i
_____	✓	Location and intensity of outdoor lighting system	j
_____	_____	Location of fire hydrants, existing and proposed (refer to Fire Department checklist – page 11)	k
_____	_____	Written statements to include:	c
_____	✓	* Description of proposed uses to be located on site	cl
_____	NA	* Quantity and type of residential, if any	cl
_____	✓	* Total land area of the site	c2
_____	✓	* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
_____	✓	* General summary of existing and proposed easements or other burdens	c3
_____	_____	* Type, quantity and method of handling solid waste disposal	c4
_____	_____	* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application – page 12)	c5
_____	—	* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

_____ ✓
 _____ NA
 _____ ✓
 _____ ✓
 _____ ✓

- * An estimate of the time period required for completion of the development 7
- * A list of all state and federal regulatory approvals to which the development may be subject to, the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction. 8
- * Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.
- * Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.
- * A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.

A jpeg or pdf of the proposed site plan, if available.

Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study

City data:
 Number 1824
 North: 306740.84200
 East: 2911466.27500
 Row Desc: L752-22-24

Survey Data:
 North: 306740.9073
 East: 2911466.2552
 Elevation: 87.07
 Desc: City R/W monument w/ brass plug in sidewalk below grade east side Brighton Ave. at anglepoint.

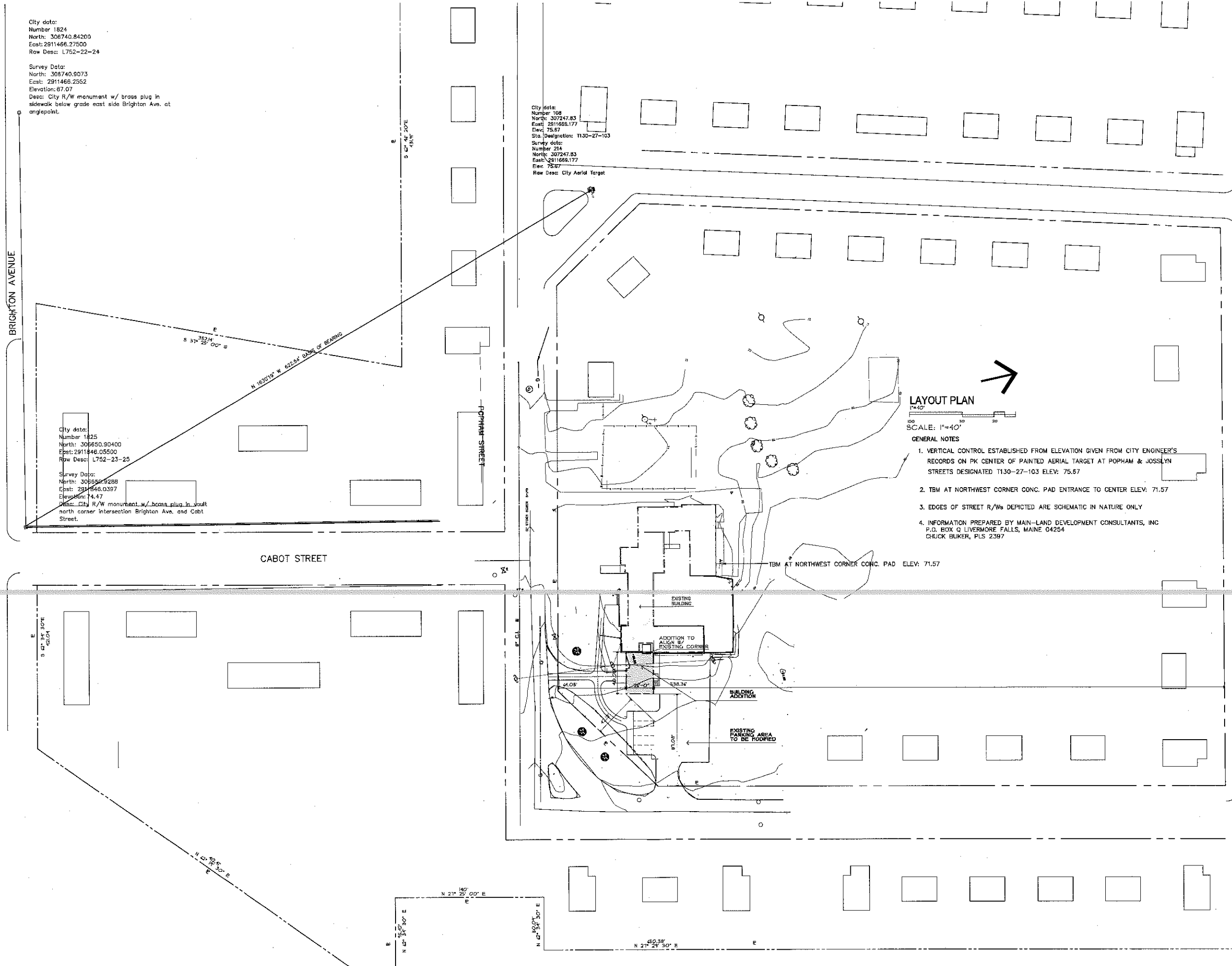
City data:
 Number 1825
 North: 306650.90400
 East: 2911846.05500
 Row Desc: L752-23-25

Survey Data:
 North: 306650.9288
 East: 2911846.0397
 Elevation: 74.47
 Desc: City R/W monument w/ brass plug in vault north corner intersection Brighton Ave. and Cabot Street.

City data:
 Number 108
 North: 307247.83
 East: 2911666.177
 Elev: 75.57
 Sta. Designation: T130-27-103
 Survey data:
 Number 214
 North: 307247.83
 East: 2911666.177
 Elev: 75.57
 Row Desc: City Aerial Target

project title
**BOYS and GIRLS CLUB
 SAGAMORE VILLAGE**

**PORTLAND
 HOUSING
 AUTHORITY**
 14 BAXTER BOULEVARD
 PORTLAND, MAINE



LAYOUT PLAN

1"=40'
 SCALE: 1"=40'

GENERAL NOTES

1. VERTICAL CONTROL ESTABLISHED FROM ELEVATION GIVEN FROM CITY ENGINEER'S RECORDS ON PK CENTER OF PAINTED AERIAL TARGET AT POPHAM & JOSSELYN STREETS DESIGNATED T130-27-103 ELEV: 75.57
2. TBM AT NORTHWEST CORNER CONC. PAD ENTRANCE TO CENTER ELEV: 71.57
3. EDGES OF STREET R/Ws DEPICTED ARE SCHEMATIC IN NATURE ONLY
4. INFORMATION PREPARED BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC P.O. BOX Q LIVERMORE FALLS, MAINE 04254 CHUCK BUKER, PLS 2397

GTA.2 architects
 44 oak street
 portland, maine 04101

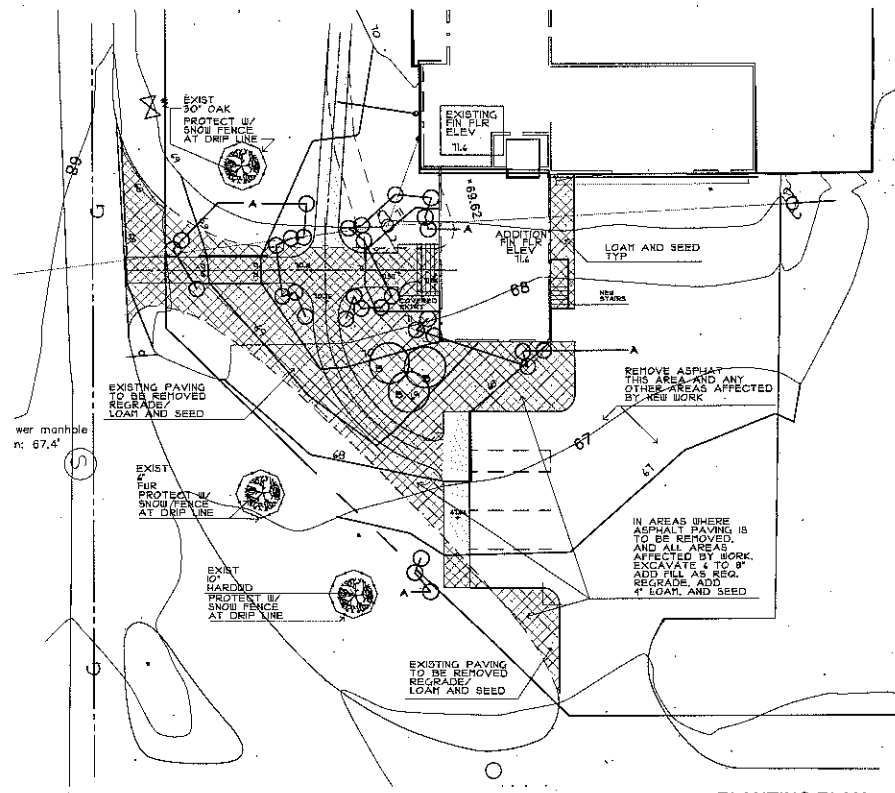
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date
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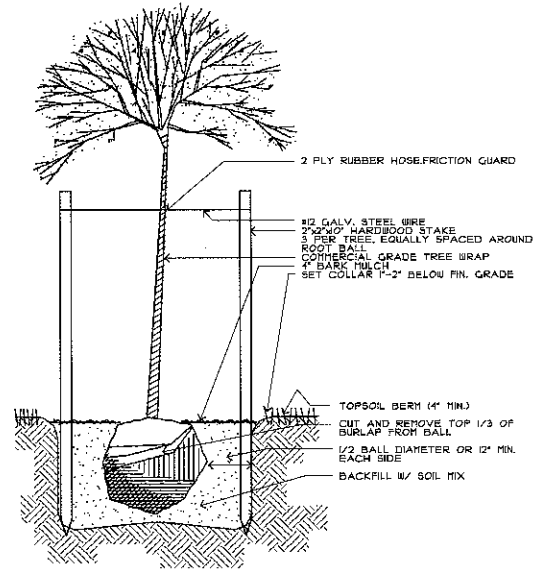
sheet title
 LAYOUT PLAN

scale
 AS NOTED
 drawn by
 SMT
 project number
 0208

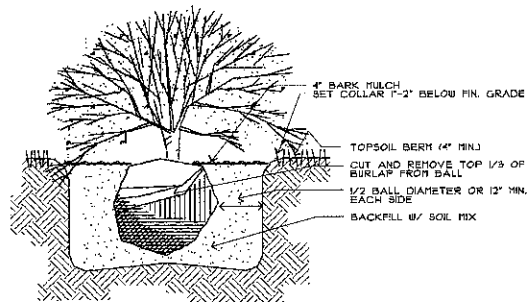
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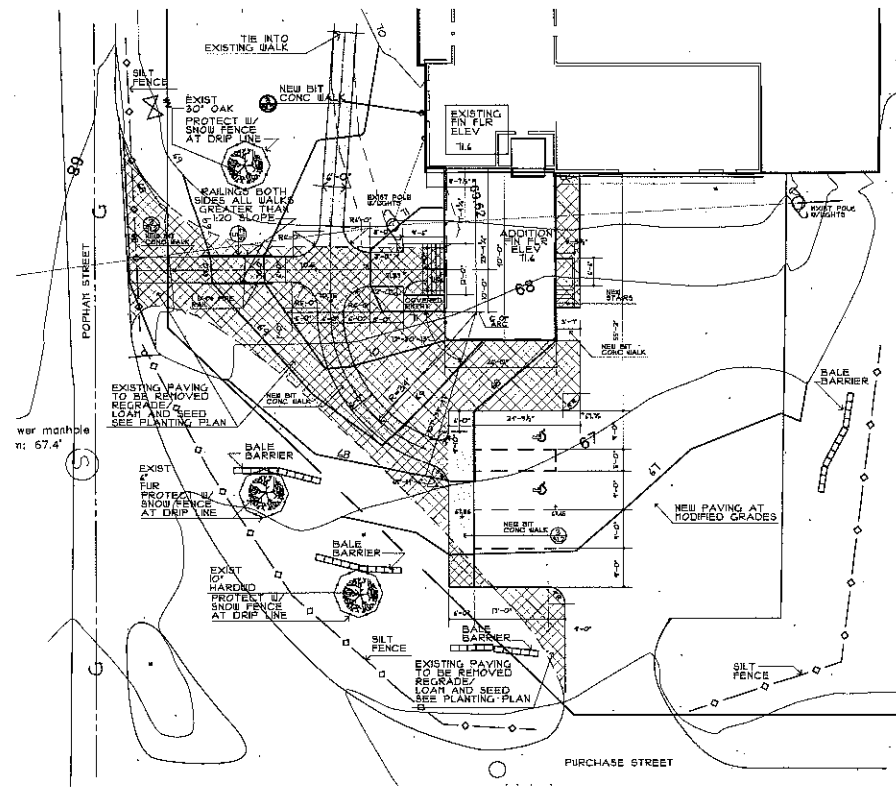
PLANTING PLAN
 SCALE: 1"=20'



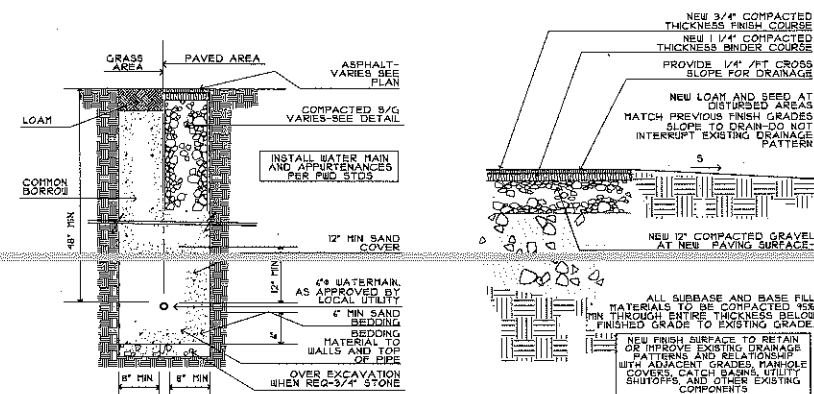
TREE PLANTING DETAIL
 SCALE: 3/4"=1'-0"



SHRUB PLANTING DETAIL
 SCALE: 3/4"=1'-0"

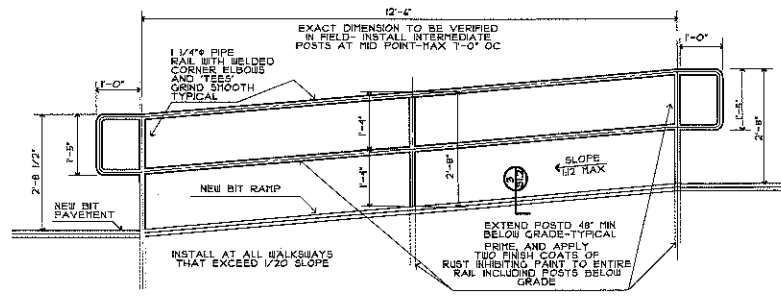


SITE PLAN



WATERMAIN TRENCH DETAIL
 SCALE: 3/4"=1'-0"

WALK PAVING DETAIL
 SCALE: 3/4"=1'-0"



RAMP HANDRAIL DETAIL
 SCALE: 1/2"=1'-0"

PLANTING SCHEDULE						
SYMB	NAME	COMMON NAME	SIZE	NOTES	NUMBER	
A	J. CHINENSIS PRITZERIANA	PRITZER JUMPER	3' SPREAD	S1B	22	
B	SYRINGA VULGARIS	SLAC	5'-6" H	S1B	5	

PLANTING NOTES:

ANY PLANT SUBSTITUTIONS TO BE APPROVED BY OWNER.
 ANY TREE OR SHRUB THAT COMES OVER OR UNDER ANY UTILITY SHALL BE RELOCATED ON SITE BY THE OWNER.
 ALL LAWN AND GRASS AREAS TO HAVE 4" MIN TOPSOIL UNLESS NOTED OTHERWISE.
 ALL TREES AND SHRUBS SHALL BE PLACED IN THE DESIGNATED AREAS AS SHOWN ON THE PLAN AND SHALL BE PLACED USING SHOWN PLANTING RELATIONS.
 LANDSCAPE CONTRACTOR SHALL RELOCATE ANY TREE OR SHRUB AS DIRECTED BY THE OWNER.
 ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK LATEST EDITION.
 THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ANY AND ALL UTILITIES, PAVING, CURBS, ETC., DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.

EROSION CONTROL

SILT FENCE AND FILTER BARRIERS TO CONSIST OF TERRATEX PREASSEMBLED SILT FENCE OR EQUAL. STAKES TO BE 1 1/2x2 1/2 OAK STAKES AT 12' OC MAX. STAKES TO BE DRIVEN INTO THE GROUND AND SHALL NOT PROJECT MORE THAN 3" ABOVE GRADE. FABRIC TO EXTEND BELOW GRADE 4".

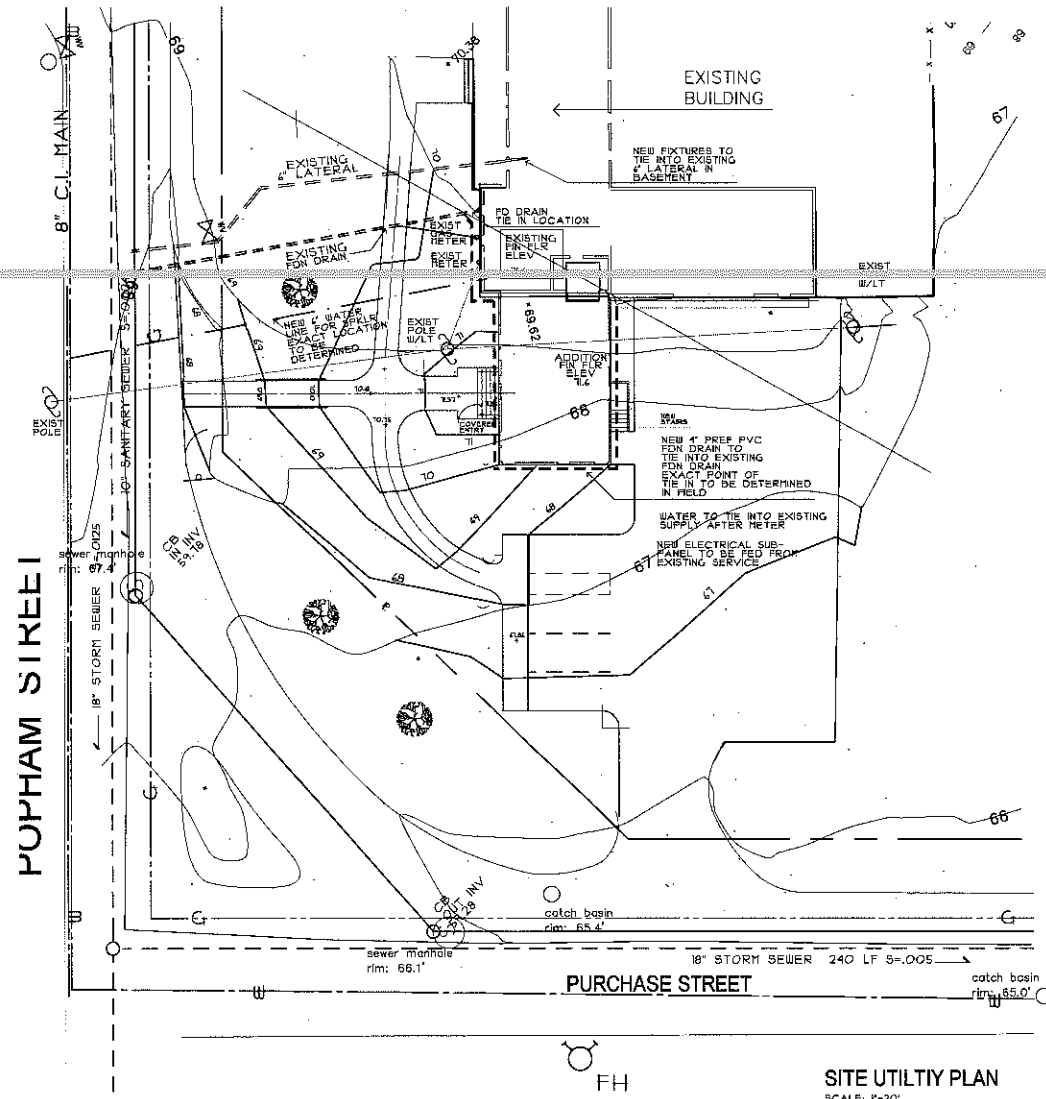
BALES MAY BE HAY OR STRAW AND ARE TO BE 1'-0"x3'-0" WRAPPED WITH NYLON OR BURLAP. SET BALES IN DRAINAGE AREAS UPON CONTOURS OF THE GROUND, IN A ROW WITH ENDS TIGHT AGAINST THE ADJACENT BALE. EACH BALE IS TO BE EMBEDDED INTO THE SOIL A MINIMUM OF 4" AND ANCHORED IN PLACE WITH STAKES DRIVEN INTO THE GROUND A MINIMUM OF 18". THE STAKES ARE TO BE DRIVEN IN SUCH A WAY TO FORCE THE BALES TOGETHER. STAKES MAY BE 2x2 SOFTWOOD, HARDWOOD, OR STEEL REBAR.

TRENCH NOTES

CONTRACTOR SHALL COMPLY WITH OSHA REGS. PERTAINING TO THE EXCAVATION OF ALL TRENCHES. CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION. TRENCHES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OSHA STANDARDS. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR DENSITY. PLACE 4" TO 12" LIFTS WITH 100% COMPACTION (DOT 103A). SUITABLE SOILS SHALL MEET THE REQUIREMENTS OF DOT 103A.

COMPACTION NOTES

INSTALL FILL IN HORIZONTAL LAYERS NOT EXCEEDING 12 INCHES THICK AND COMPACTED TO REQUIRED DENSITY. DENSITY ALL STRUCTURAL FILL INCLUDING RECOMPACTED EXISTING FILL AND BACKFILL TO A MINIMUM DEGREE OF COMPACTION OF 95%. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% HMMPT THROUGH ENTIRE THICKNESS BELOW FINISHED GRADE TO EXISTING GRADE. FILL NOT BENEATH STRUCTURAL ELEMENTS SHALL BE COMPACTED TO 95% HMMPT THROUGH ENTIRE THICKNESS. CONTRACTOR TO PROVIDE TEST RESULTS ON COMPACTION OF STRUCTURAL FILL AS REQUIRED. AT LEAST ONE TEST SHALL BE TAKEN FOR EVERY 1000 CU YD OF EXCAVATION OR SITUATION TO RECEIVE CONCRETE SLAB.



SITE UTILITY PLAN
 SCALE: 1"=20'

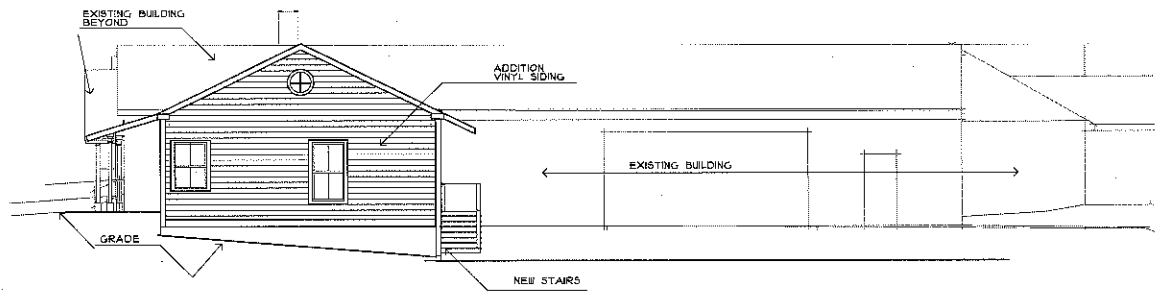
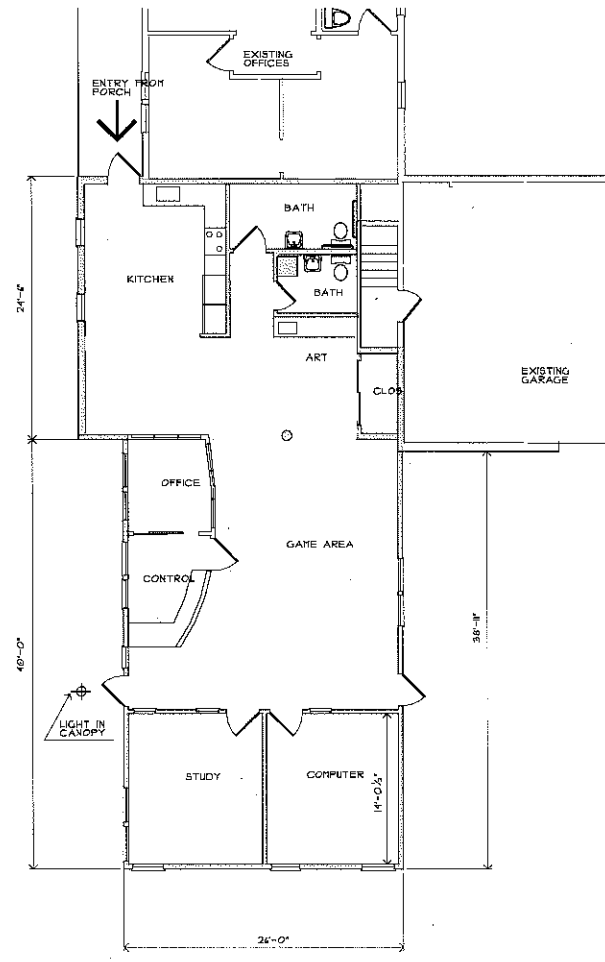
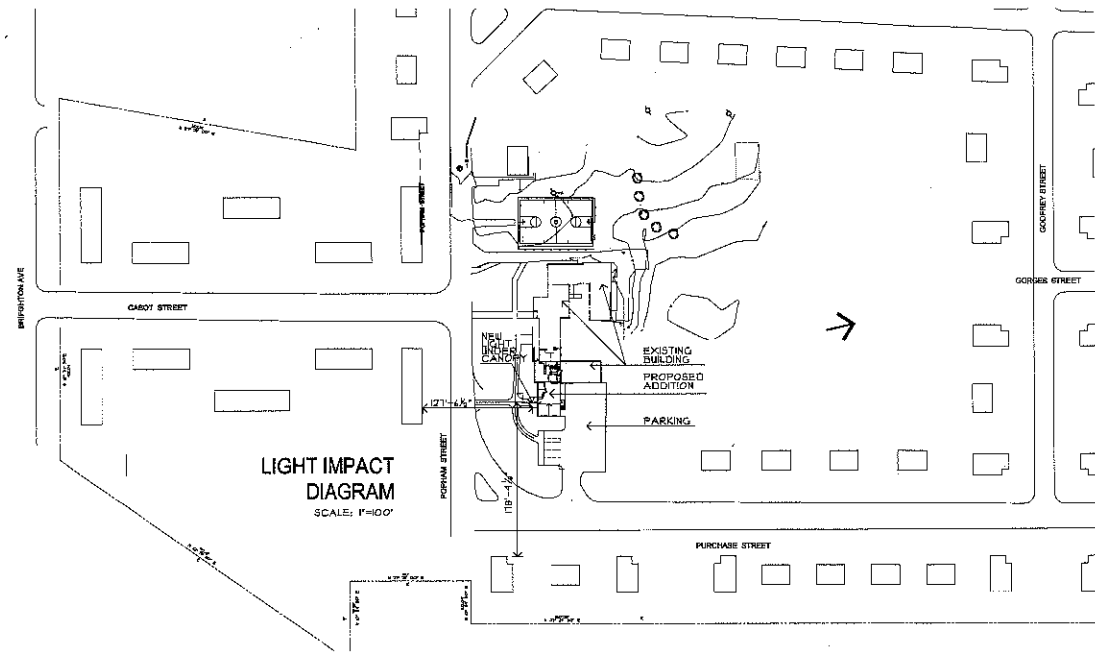
GTA.2 architects
 44 oak street
 portland, maine 04101
 207-771-5461 fax 774-0848

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 date
 DECEMBER, 2009

sheet title
**SITE PLAN
 PLANTING PLAN**

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 project number
 0208

sheet number
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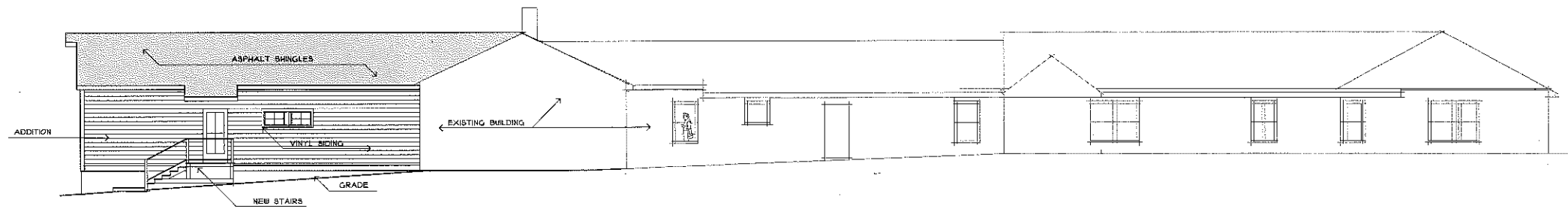
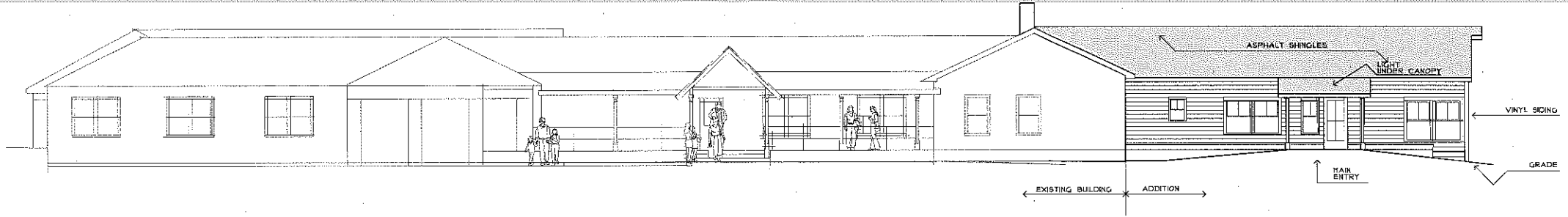


boys and girls club of maine
PROPOSED FLOOR PLAN
SAGAMORE VILLAGE
SCALE: 1/8"=1'-0"

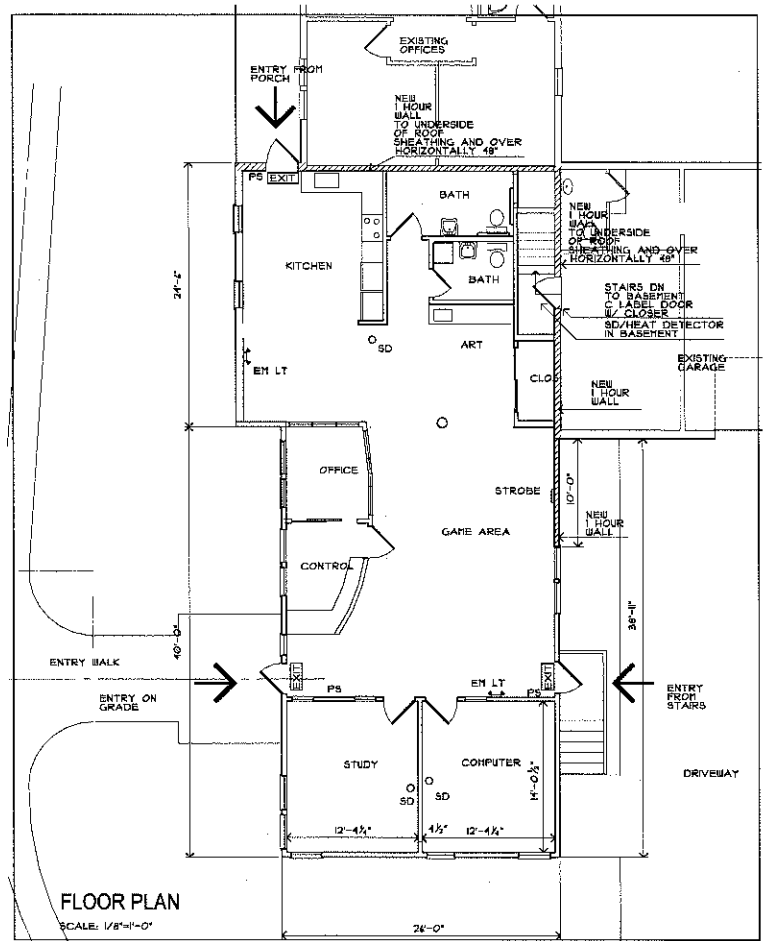
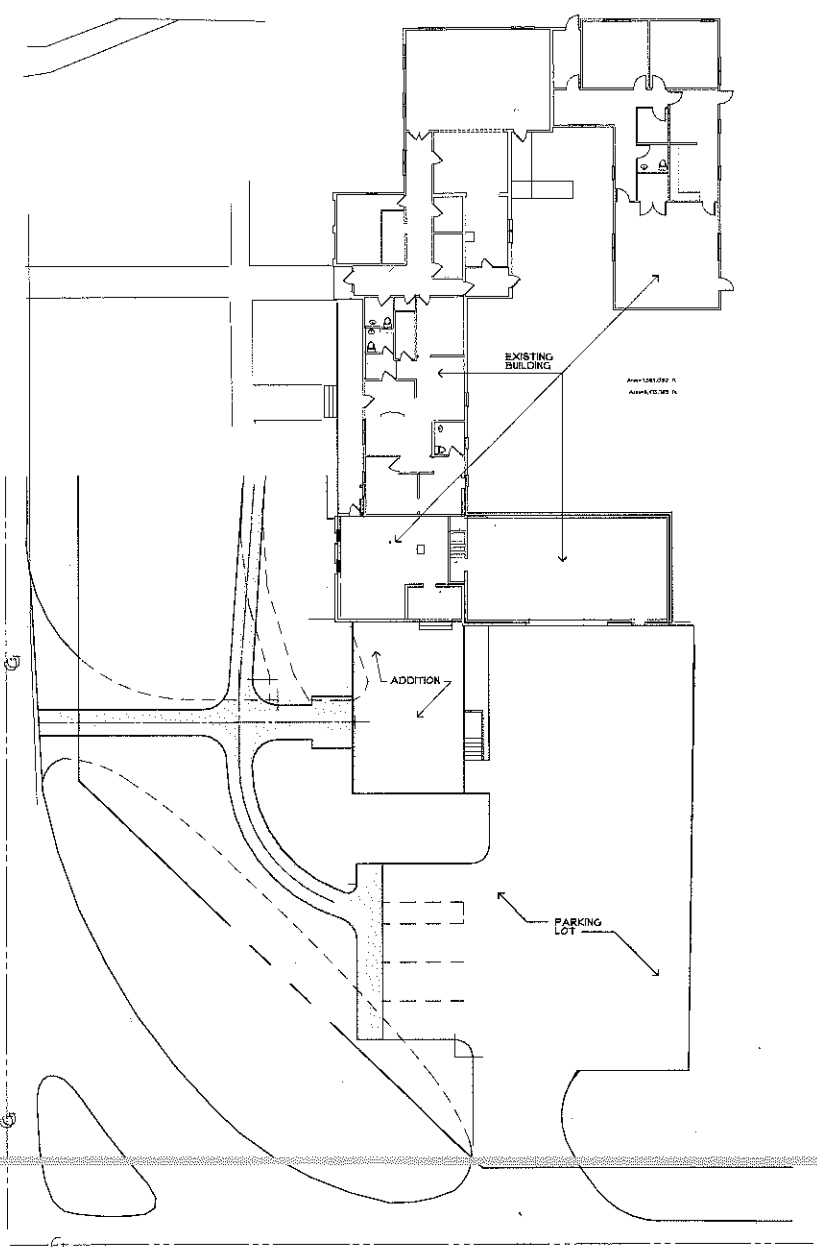
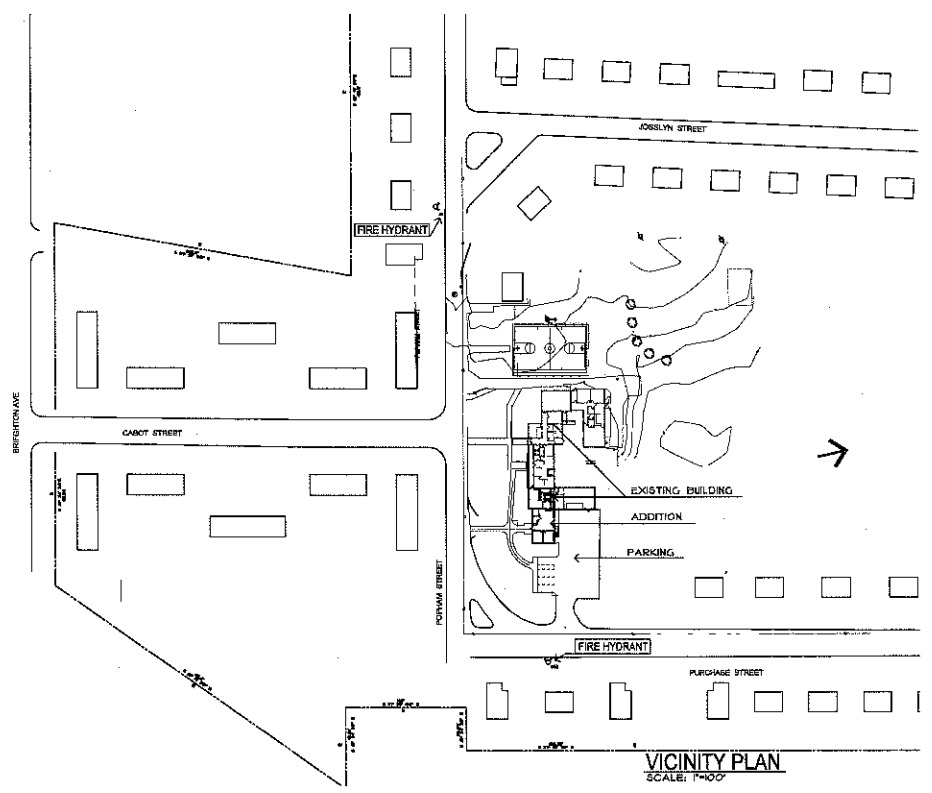
project title
BOYS and GIRLS CLUB
SAGAMORE VILLAGE

PORTLAND HOUSING AUTHORITY
14 BAXTER BOULEVARD
PORTLAND, MAINE

GTA.2 architects
44 oak street
portland, maine 04101
201-771-5061 FAX 774-9096



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sheet number



BOYS AND GIRLS CLUB OF MAINE SAGAMORE VILLAGE BRANCH

OUTLINE OF POSSIBLE PHASING OF INSTALLATION OF A FULLY AUTOMATIC SPRINKLER SYSTEM INTO TWO PHASES:

PHASE 1
 INSTALLATION OF SPRINKLER SYSTEM IN NEW ADDITION AND INSTALLATION OF 1 HOUR FIRE BARRIERS BETWEEN ADDITION AND ADJACENT SPACES

PHASE 2
 INSTALLATION AND SEPARATION OF EXISTING OCCUPANCIES-
 1. EXISTING GARAGE SPACE
 2. EXISTING OFFICE SPACE
 3. EXISTING DAYCARE SPACE
 4. EXISTING COMMUNITY SPACE

FIRE CLASSIFICATION AND RATINGS

ADDITION FOR BOYS AND GIRLS CLUB OF MAINE-USE GROUP ASSEMBLY (300)

MULTIPLE OCCUPANCY-SEPARATED OCCUPANCIES (4114.0)
 PART ASSEMBLY, PART ORDINARY HAZARD, PART BUSINESS

REQUIRED SEPARATION OF OCCUPANCIES (TABLE 4114.4.1.1)

ASSEMBLY AND BUSINESS-1 HOUR
 ASSEMBLY AND ORDINARY HAZARD-2 HOURS, W/ SPRINKLER, 1 HOUR

EXISTING, OTHER-
 BUSINESS AND DAYCARE-2 HOURS, W/SPRINKLER 1 HOUR

FIRE BARRIERS 104J
 CONSTRUCTION TYPE
 SB UNPROTECTED

GTA2 architects
 44 oak street
 portland, maine 04101
 207-771-5461 fax 774-0948

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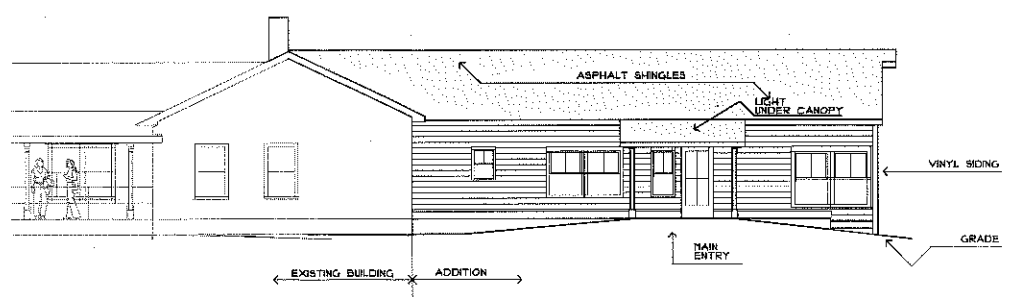
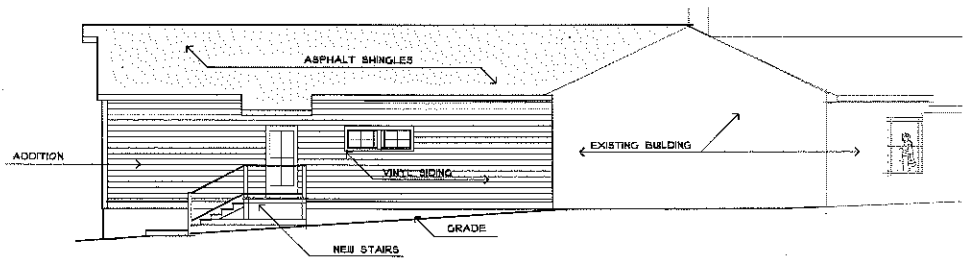
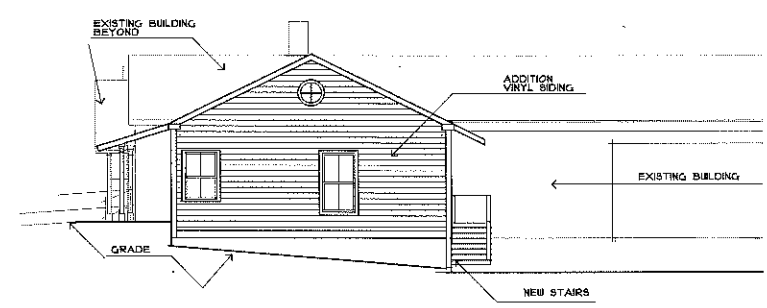
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FIRE DEPARTMENT INFORMATION

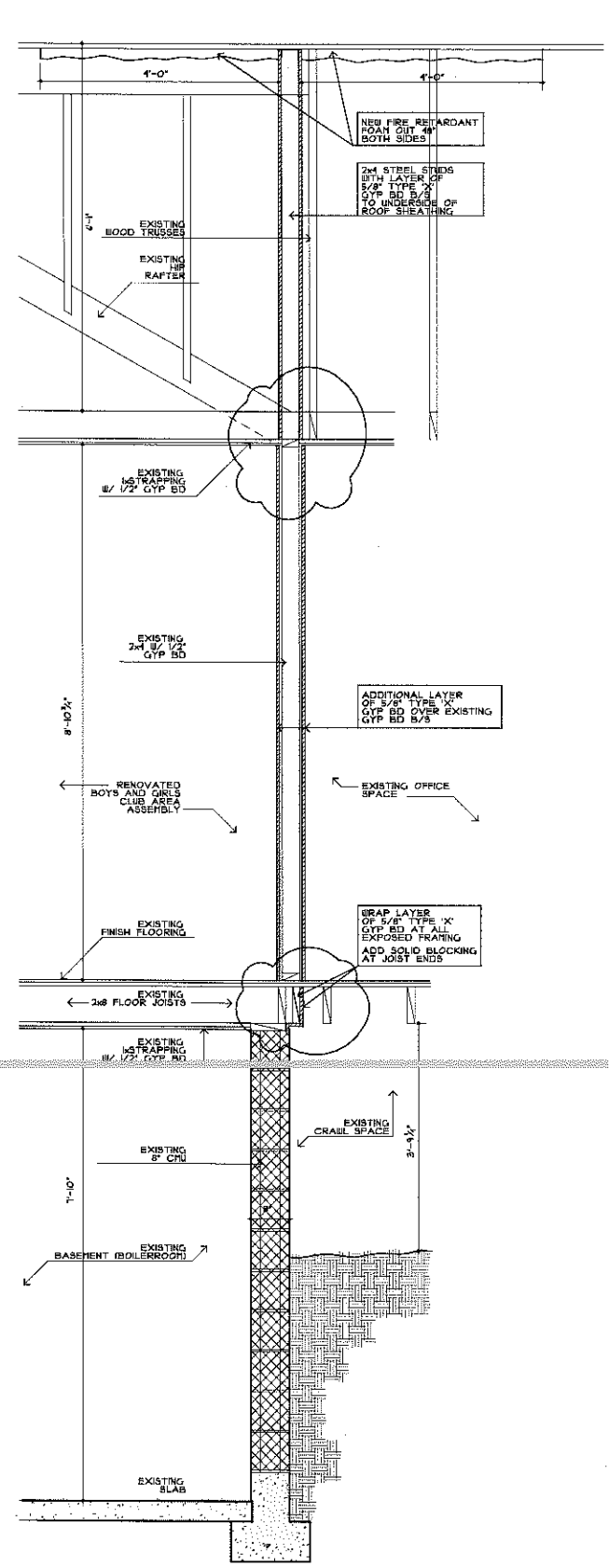
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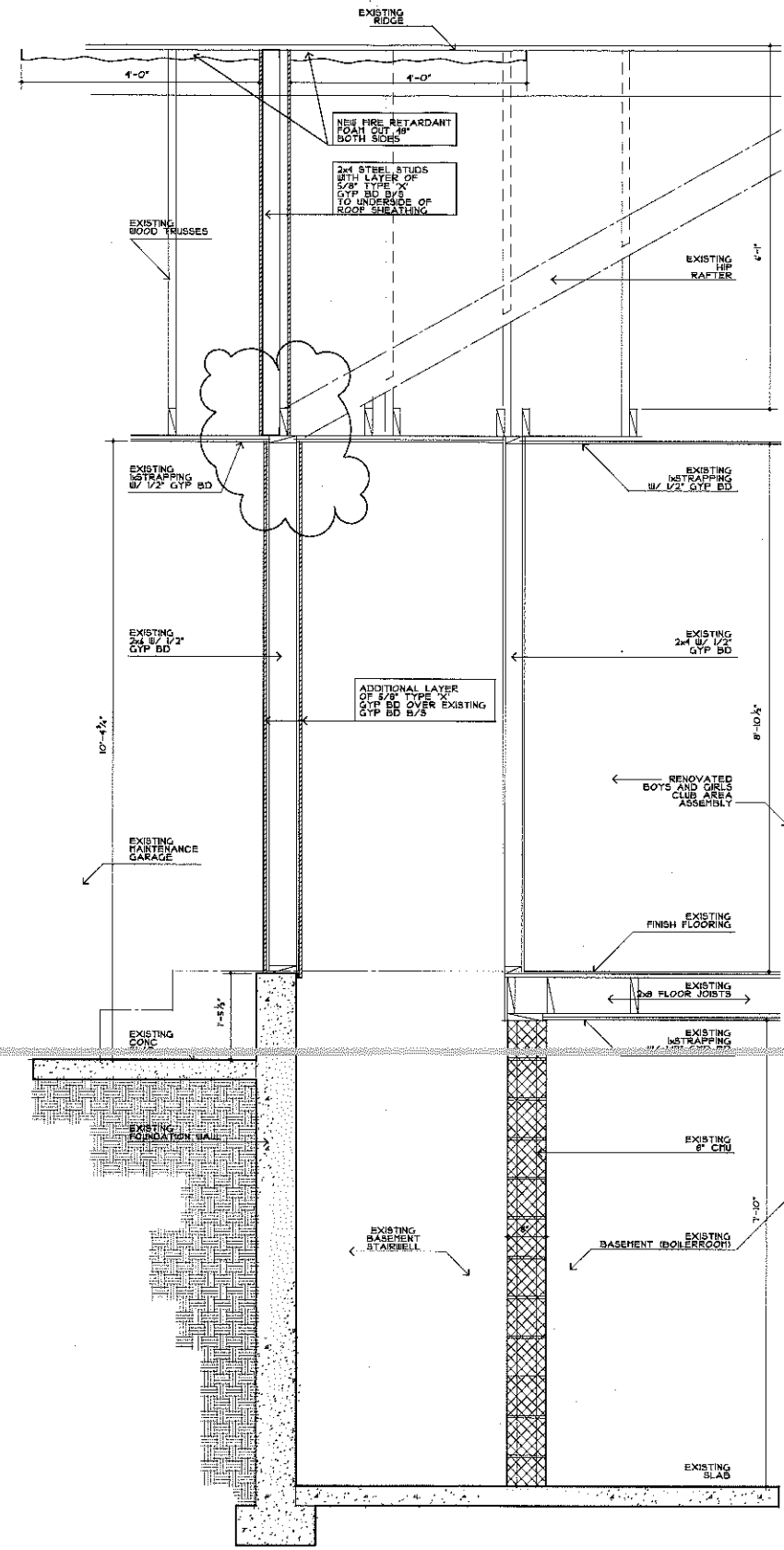
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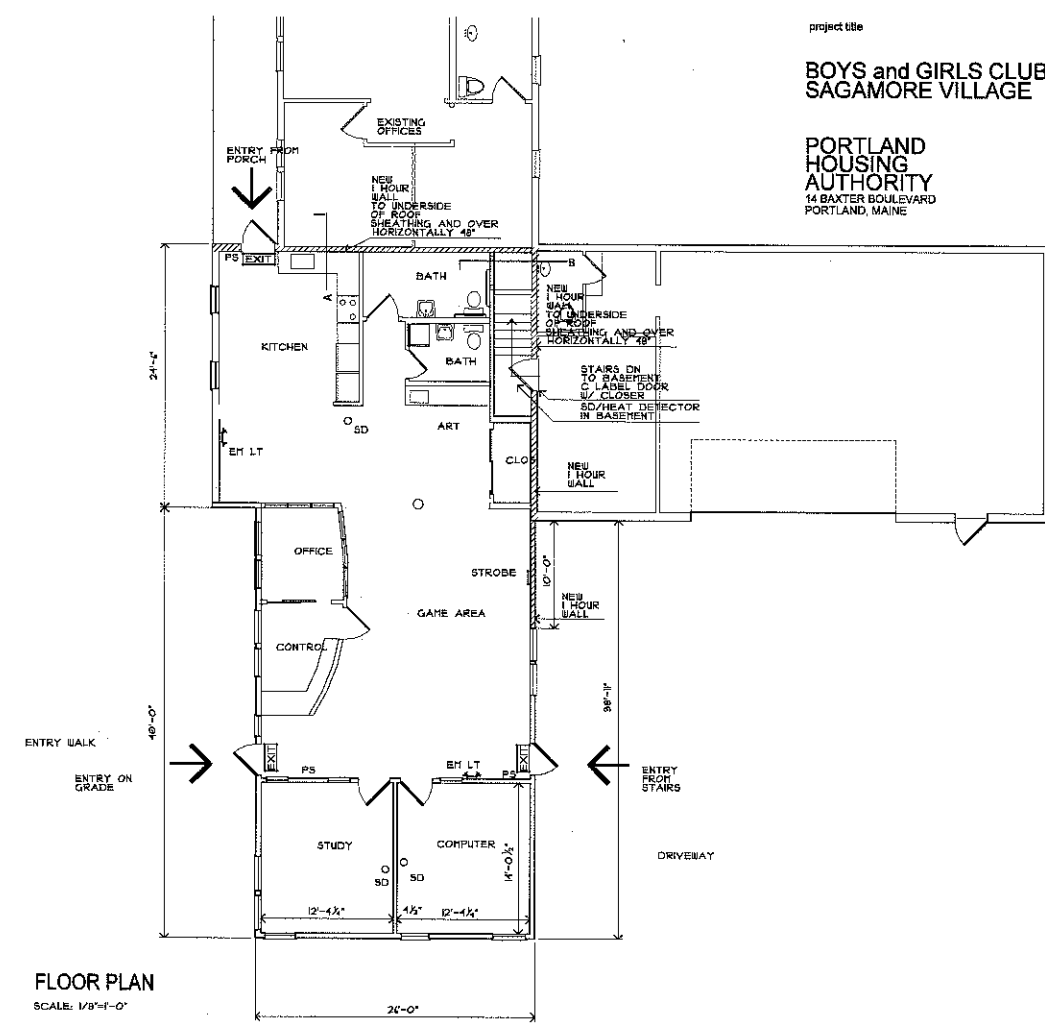




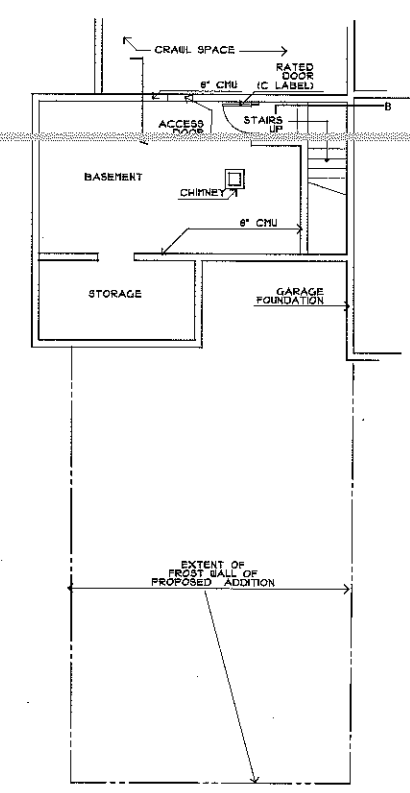
A SECTION AT SEPARATION WALL
 SCALE: 3/4"=1'-0"



B SECTION AT SEPARATION WALL
 SCALE: 3/4"=1'-0"



FLOOR PLAN
 SCALE: 1/8"=1'-0"



BASEMENT PLAN-existing conditions
 SCALE: 1/8"=1'-0"

GTA2 architects
 44 oak street
 portland, maine 04101
 207-771-6461 fax 774-0646

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**FIRE DEPARTMENT
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