

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 63 Holm Ave (59-73)		Owner: V.P. Builders		Phone:		Permit No: 981249	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: * V.P. Builders, Inc.		Address: P.O. Box 41 Westbrook, ME 04098		Phone: 854-1888 <i>call pl</i>		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit issued:  <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <b>OCT 30 1998</b> </div> <b>CITY OF PORTLAND</b> </div>	
Past Use:  Vacant Land		Proposed Use:  1-fam		COST OF WORK: \$ 65,000.00 PERMIT FEE: \$ 345.00			
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group <i>A3</i> Type <i>5B</i> <i>BOCA 96</i> Signature: <i>[Signature]</i>			
Proposed Project Description:  Construct Single Family Dwelling				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		Zoning: <i>R-3</i> CBL: 274-B-004+ Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <i>10/4/98</i> <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>- Zone C - NA Panel 11</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input checked="" type="checkbox"/> mm	
Permit Taken By:  SP		Date Applied For:  28 September 1998					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT		ADDRESS:		DATE: 29 September 1998		PHONE:	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE						PHONE:	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Appoved  
 Approved with Conditions  
 Denied

Date: *[Signature]*

*[Signature]*  
**CEO DISTRICT** 3

COMMENTS

11/25/98 Excavation hole dug footly  
Not in yet mury

12/1/98 checked foundations wall ok  
do backfill

12-12-98 checked framing roof trusses, headers ok  
to close in

512100 - all limiting conditions complete. Close permit JK mury

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 63 Holm Ave 274-B-004

Issued to V.P. Builders

Date of Issue February 11, 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 981241, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling  
Use Group R-3  
Comb Type 5B  
BOCA 96

**Limiting Conditions:**

1. Landscape work must be completed by June 15, 1999 ✓
- done 2-11-99 ~~2-~~ Street number needs to be placed on house. ✓

This certificate supersedes certificate issued

Approved:

2/12/99

(Date)

*Marlene Wang*  
Inspector

*[Signature]*  
Inspector of Buildings



Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT REPORT

DATE: 7 OCT. 98 ADDRESS: 59-73 Holm Ave. CBI 274-B-004  
 REASON FOR PERMIT: To Construct a single family dwelling  
 BUILDING OWNER: V.P. Builders  
 CONTRACTOR: V.P. Builders, Inc.  
 PERMIT APPLICANT: ↑  
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*2, \*2.5, \*2.6, \*6, \*8, \*9, \*10, \*11, \*12, \*16, \*24, \*25, \*26, \*27, \*29, \*30, \*31, \*32, \*33, \*34

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of From corners of foundation and a maximum 6'o.c. between bolts. ( Section 2305.17 )
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-1, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0)
9. Headroom in habitable space is a minimum of 7'6". ( Section 1204.0 )
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. ( Section 1014.0 )
1. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
2. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height

not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. ( Section 1018.6 )

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). ( Chapter M-16 )
- 28. Please read and implement the attached Land Use-Zoning report requirements.

29. The proposed 9" open joist did not have design criteria - Before work begins please submit this information for review -

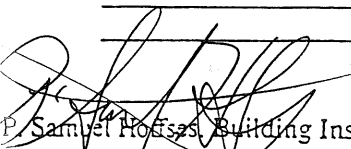
30. Your proposed plumbing's Schematic shows a 2" Trap & Trap Arm size - A minimum of 3" is required under the STATE PLUMBING Code Table 13-2

31. Attic & Crawl space access - Section 2211.0

32. Bridging as per section 2305.2 of The bldg. Code.

33. Boring, Cutting and Notching shall be done in accordance with section 2305.5.1, 2305.3 and 2305.4.4. and 2305.5

34. All glass & glazing shall be done in accordance with Chapter 24 of The BOCA National Code /1996

  
P. Samuel Hoffsas, Building Inspector

cc: Lt. McDougall, PFD  
Marge Schmuckal, Zoning Administrator

Applicant: V.P. Builders

Date: 10/6/98

Address: 59-73 Hdm Ave

C-B-L: 274-B-4,5,6

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - to construct single fam. dwelling <sup>26' x 42'</sup> - NO GARAGE  
NO DETS.

Sewage Disposal - City

Lot Street Frontage - 50' req. - 90' shown

Front Yard - 25' req. - 30' shown

Rear Yard - 25' req. - 30' shown

Side Yard - 8' req. - 9' i 34' shown -

Projections - front stairs - rt side stairs

Width of Lot - 75' req. - 90' shown

Height - ranch with skylight basement only in rear - 1 story

Lot Area - 6,500<sup>#</sup> - 7740<sup>#</sup> shown

Lot Coverage/ Impervious Surface - 25% = 1935<sup>#</sup>

Area per Family - 6,500<sup>#</sup>

Off-street Parking - 2 req. - 2 shown

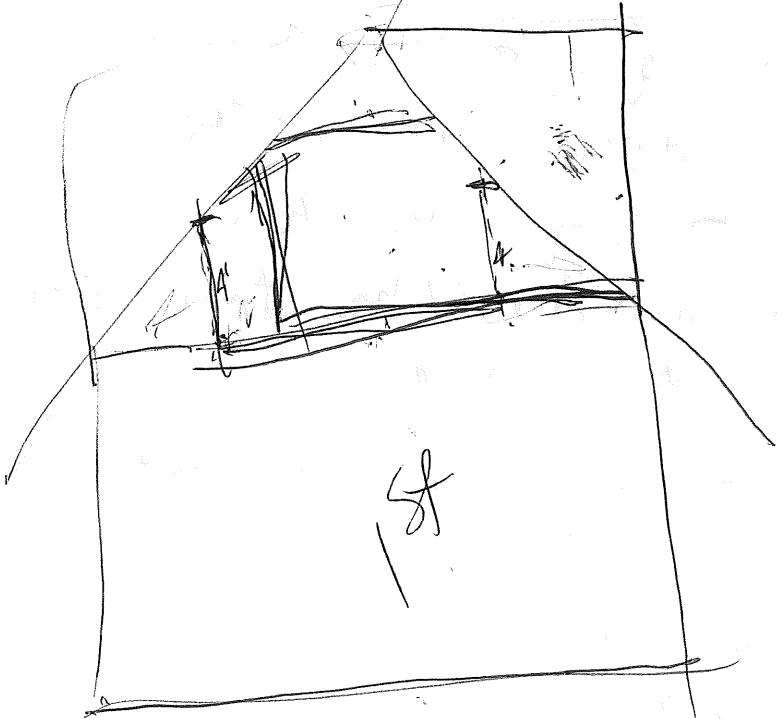
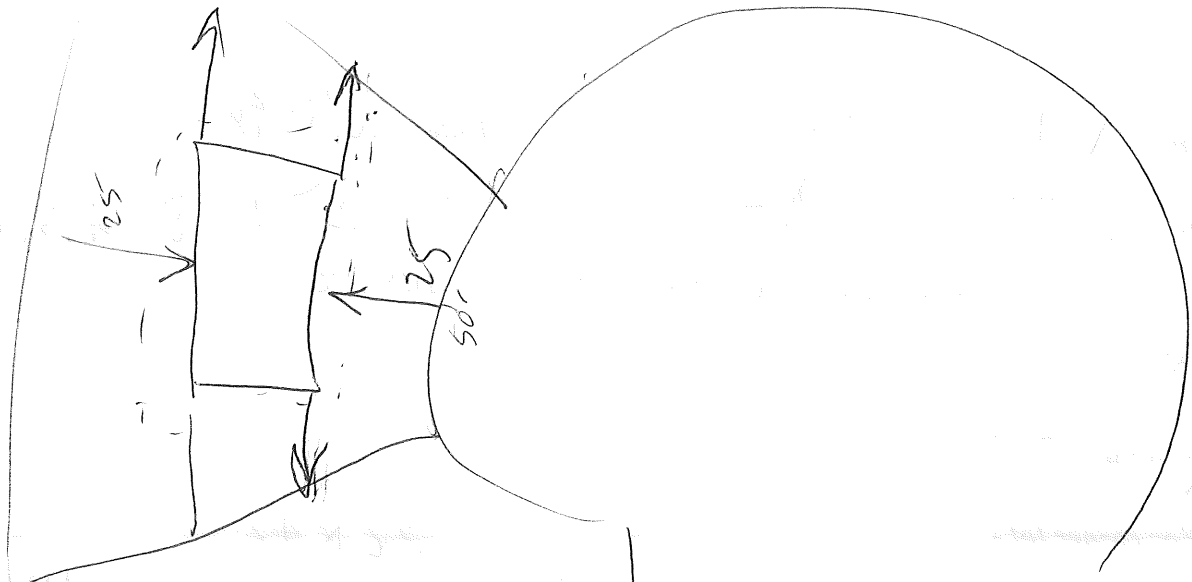
26' x 42' = 1092<sup>#</sup>

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A Zone C1 panel 6



**CITY OF PORTLAND, ME  
BOCA 1996 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$65,000.00 Plan Review # -  
 Fee: \$345.00 Date: 7 OCT. 98

Building Location: 59-73 Holm Ave. CBL: 274-B-004

Building Description: Single Family Dwelling

Reviewed by: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B.

\*NR: Not Required      NA: Not Applicable      SR: See Report      X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements must be completed before a certificate of occupancy can or will be issued.	111.4
2.	Foundation drains	1813.5.2
3.	Foundation anchors	2305.17
4.	Chimneys and vents	NFPA 211 BOCA mechanical code Chapter 12
5.	Guardrails & Handrails	1021.0 1022.0
6.	Headroom	1204.4
7.	STAIR CONST.	1014.0
8.	Egress windows	1018.6
9.	Smoke detectors	920.3.2
10.	Fastening Schedule	TABLE 2305.2
11.	Ventilations	BOCA Chapter 16 Mech.

REV: PSH 6-28-98



Correction List		
NO:	Description	Code Section
12	Joist data	SR
13	Plumbing requirement 3	SR
14	Waterproofing & damp proofing	1813
15	Access To Crawl and attic space	1241.0

rev:PSH 6-28-98

## Foundations (Chapter 18)

### Wood Foundation (1808)

- NA Design
- NA Installation

### Footings (1807.0)

- OK Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- NA Insulated footing provided
- OK Soil bearing value (table 1804.3)
- OK Footing width
- OK Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Foundation Walls

- OK Design (1812.1)
- OK Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- OK Water proofing and damp proofing Section 1813
- OK Sill plate (2305.17)
- SR Anchorage bolting in concrete (2305.17)
- OK Columns (1912)
- NA Crawl space (1210.2) Ventilation
- NA Crawl opening size (1210.2.1)
- SR Access to crawl and attic space ( 1211.0)
- \_\_\_\_\_

### Floors (Chapter 16-23)

- SR Joists - Non sleeping area LL40PSF (Table - 1606)
- SR Joists - Sleeping area LL30PSF (Table - 1606)
- SR Grade
- SR Spacing
- SR Span
- OK Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~OK~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~SR~~ Floor trusses (AFPANDS Chapter 35)
- ~~OK~~ Draft stopping (721.7)
- ~~OK~~ Framing of openings (2305.11) (2305.12)
- ~~OK~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~OII~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~OK~~ Design (1609) wind loads
- ~~OK~~ Load requirements
- ~~OK~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~OK~~ Wall framing (2305.4.1)
- ~~OK~~ Double top plate (2305.4.2)
- ~~OK~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~OK~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~OK~~ Wind bracing (2305.7)
- ~~OK~~ Wall bracing required (2305.8.1)
- ~~OK~~ Stud walls (2305.8.3)
- ~~OK~~ Sheathing installation (2305.8.4)
- ~~OK~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~OK~~ Exterior wall covering (Chapter 14)
- ~~OK~~ Performance requirements (1403)
- ~~OK~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~OK~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~NA~~ Roof rafters - Design (2305.15) spans
- ~~OK~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~OK~~ Roof trusses (2313.3.1)

\_\_\_\_\_  
 \_\_\_\_\_  
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**Roof Coverings (Chapter 15)**

- ~~OK~~ Approved materials (1404.1)
- ~~OK~~ Performance requirement (1505)
- ~~OK~~ Fire classification (1506)
- ~~OK~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~OK~~ Type of covering (1507)

**Chimneys and Fireplaces  
 BOCA Mechanical/1993**

- ~~SR~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~NA~~ Factory - built fireplace (1403)
- ~~SR~~ NFPA 211

**Mechanical  
 1993 BOCA Mechanical Code**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
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**State Plumbing Code**

*SR.*

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\_\_\_\_\_  
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\_\_\_\_\_

### Load Design Criteria

Floor live load sleeping	30 PSF	<u>SR</u>
Floor live load non sleeping	40 PSF	<u>SR</u>
Roof live load	42 PSF	<u>OK</u>
Roof snow load	46 PSF	<u>SR</u>
Seismic Zone	<u>C</u>	<u>OK</u>
Weathering area	<u>S</u>	<u>OK</u>
Frost line depth	4' MIN	<u>OK</u>

### Glazing (Chapter 24)

- SR Labeling (2402.1)
- SR Louvered window or jalousies (2402.5)
- SR Human impact loads (2405.0)
- SR Specific hazardous locations (2405.2)
- SR Sloped glazing and skylights (2404)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Private Garages (Chapter 4)

- NA General (407)
- NA Beneath rooms (407.3)
- NA Attached to rooms (407.4)
- NA Door sills (407.5)
- NA Means of egress (407.8)
- NA Floor surface (407.9)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Egress (Chapter 10)**

- ~~OK~~ One exit from dwelling unit (1010.2)
- ~~SR~~ Sleeping room window (1010.4)
- ~~OK~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~NA~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~OK~~ Stairways (1014.3) 36" W
- ~~SR~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SR~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SR~~ Handrails (1022.2.2.) Ht.
- ~~SR~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SR~~ Location and interconnection
- ~~SR~~ Power source

**Dwelling Unit Separation**

**Table 602**

~~NA~~

**Electrical**

**NFPA #**



FRONT ELEVATION

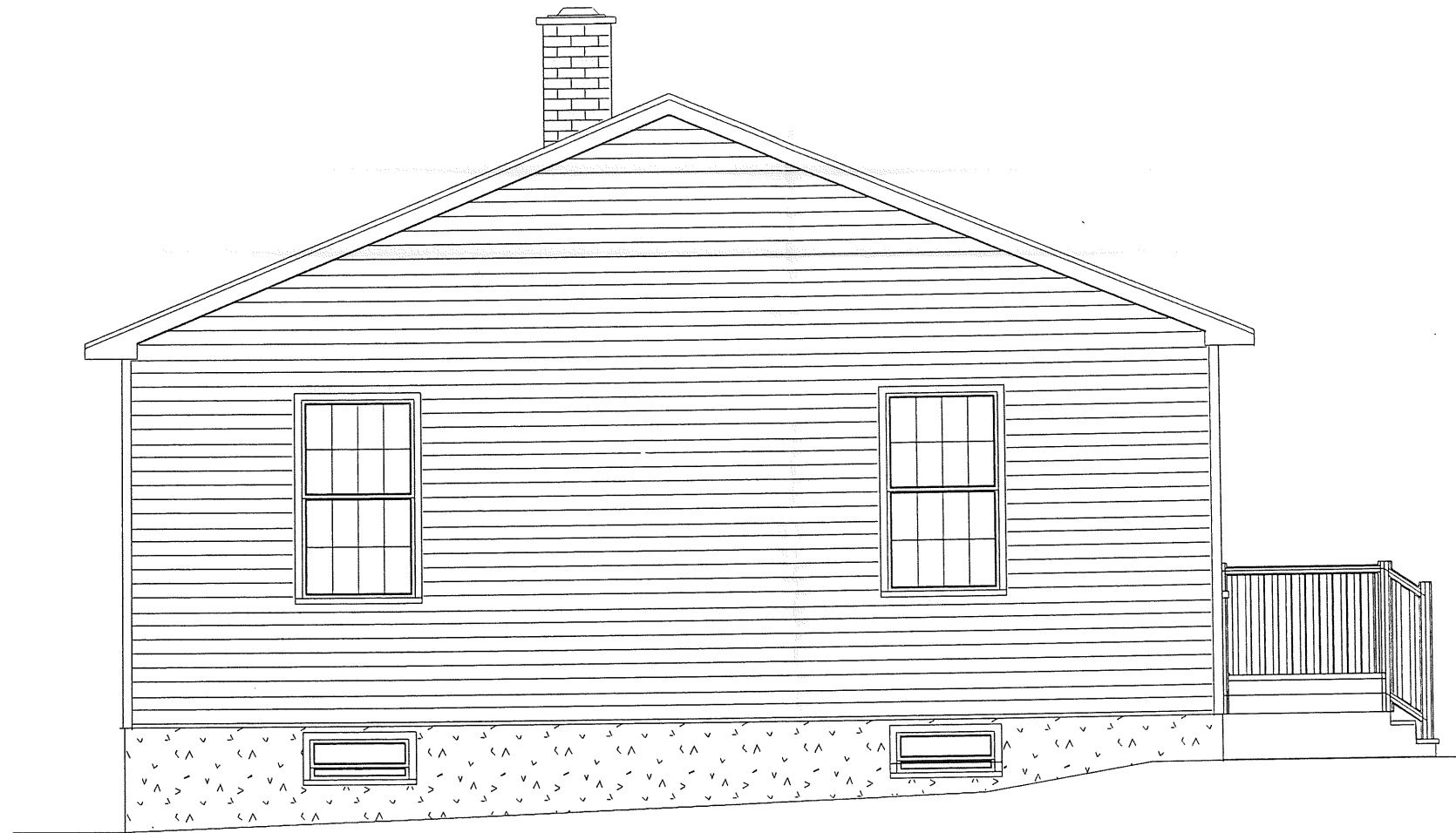
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"





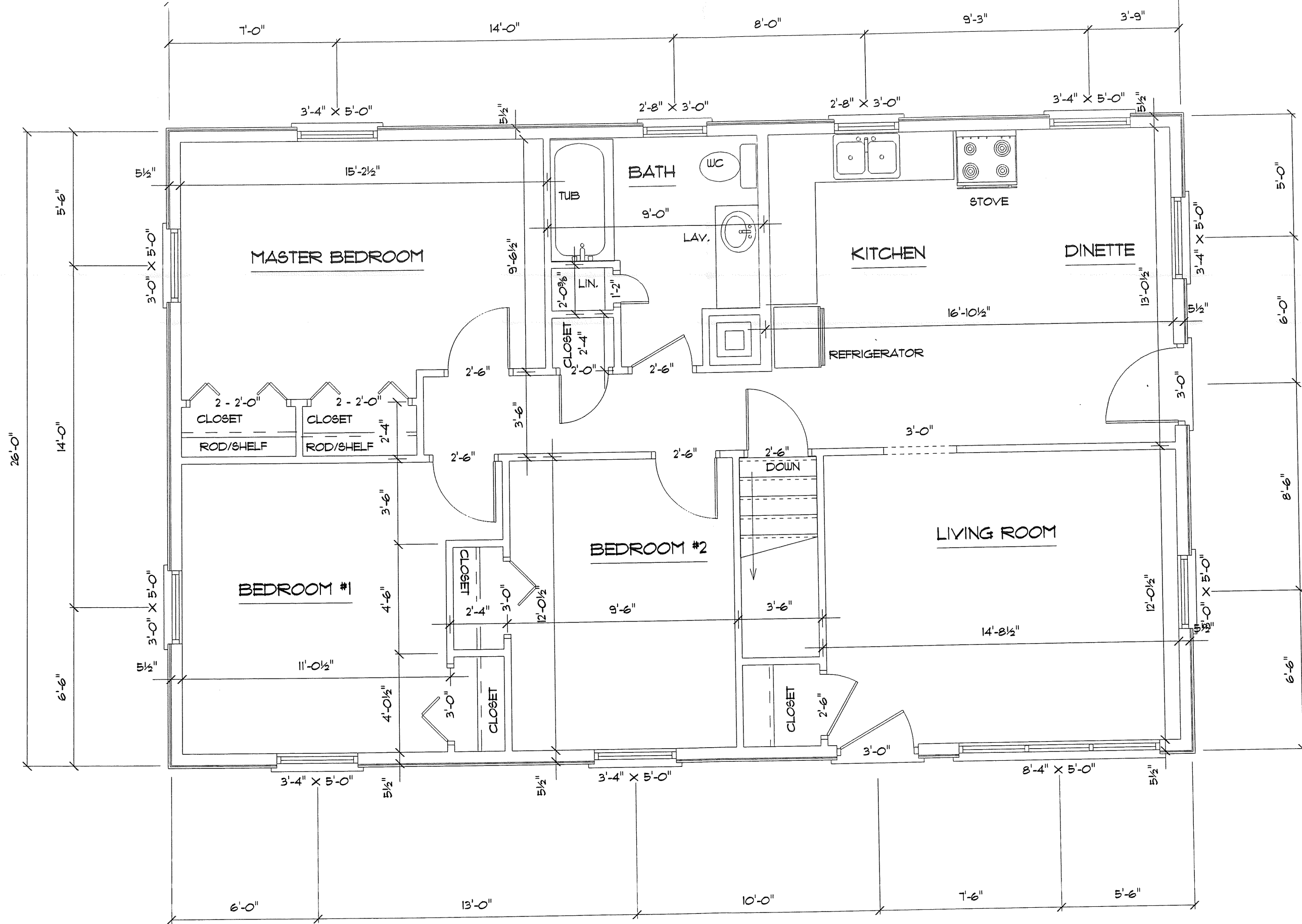
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

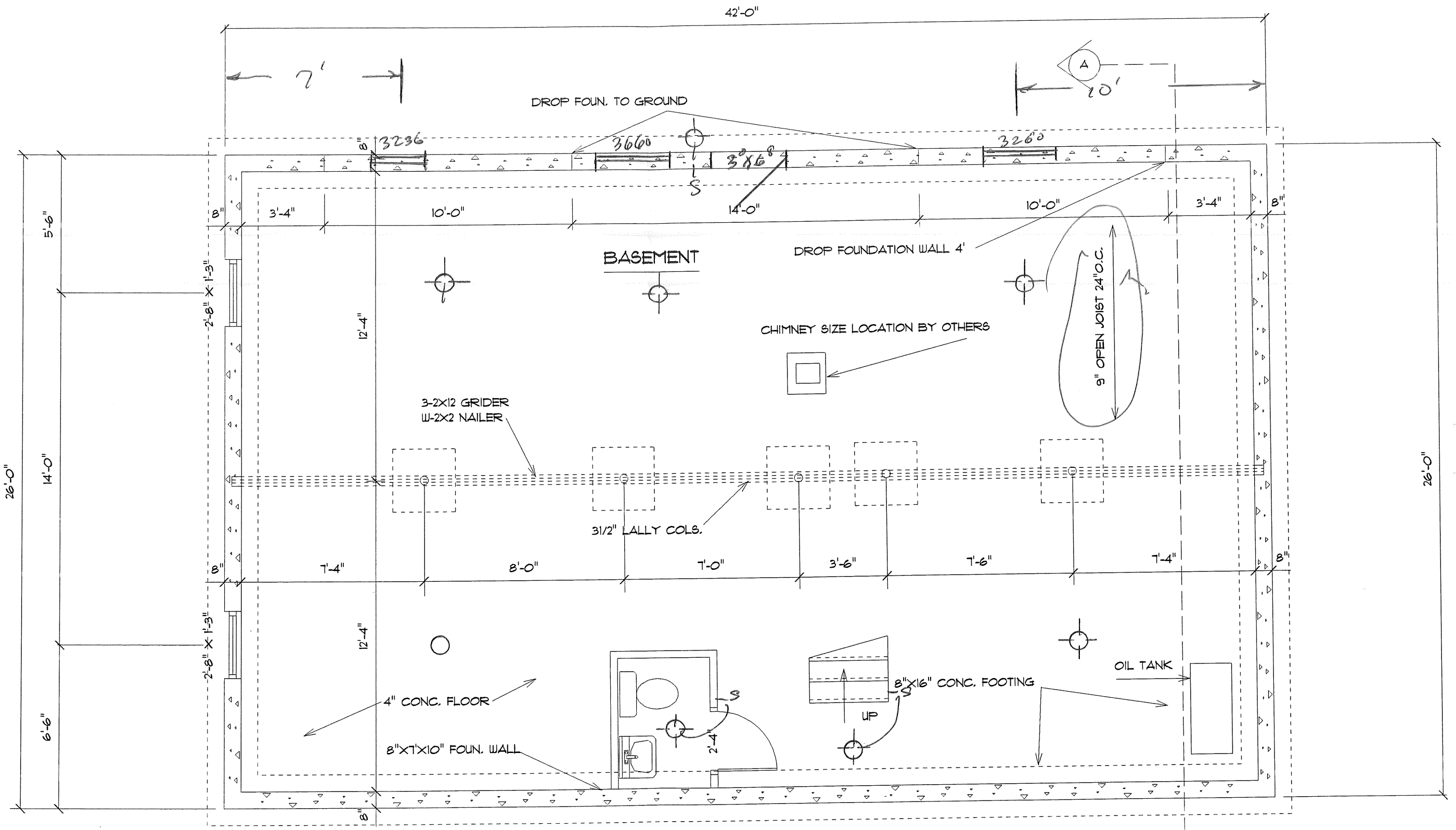
SCALE: 1/4" = 1'-0"



**MAIN FLOOR PLAN**

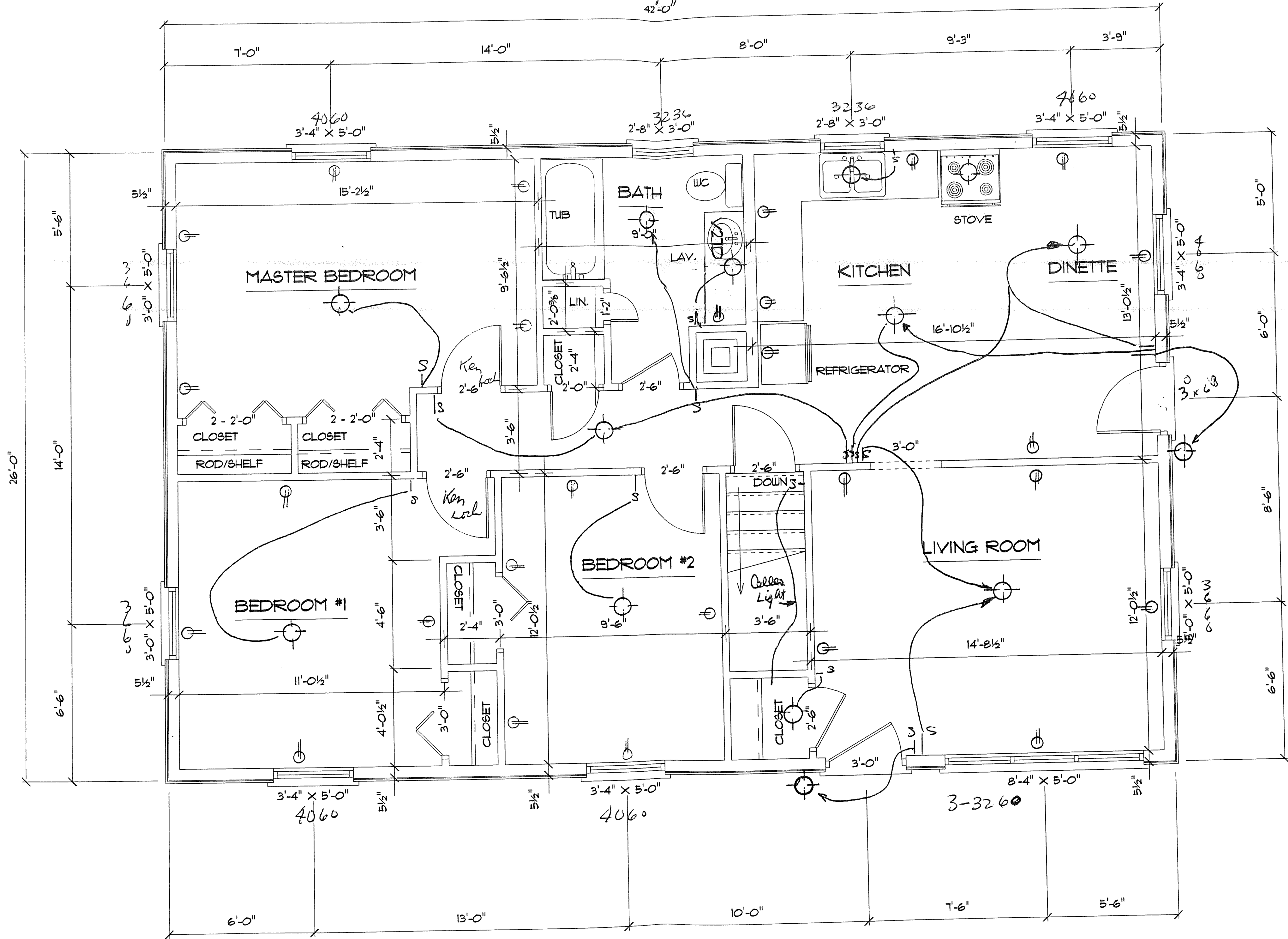
SCALE: 1/4" = 1'-0"

DRAWING FOR: V.P. BUILDERS INC.



**FOUNDATION PLAN**

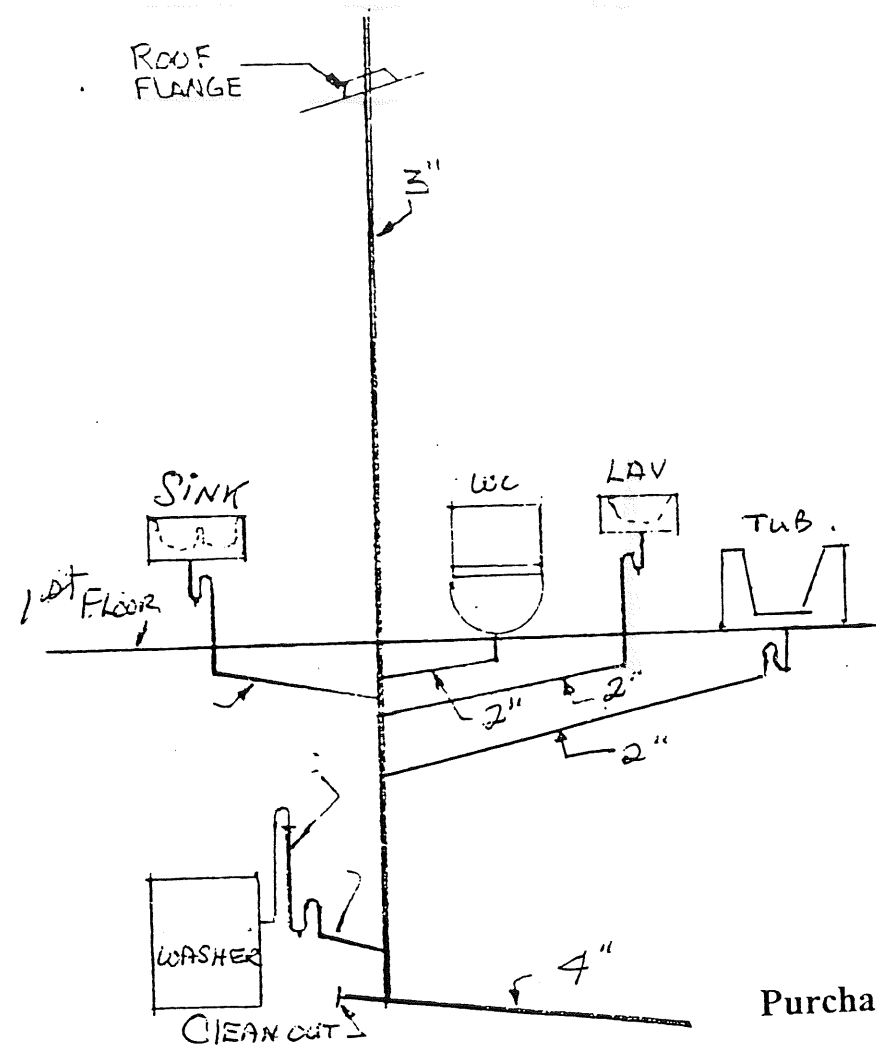
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN  
 MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWING FOR: V.P. BUILDERS INC.



NOTES :

1. PLUMBING TO BE INSTALLED ACCORDING TO ALL STATE, LOCAL, AND CABO CODES AND REQUIREMENTS.
2. THE CONTRACTOR SHALL INSTALL ALL REQUIRED FIRESTOPS USING NON-COMBUSTABLE MATERIALS AT OPENING AROUND VENTS, PIPES AND DUCTS AT CEILING, WALL AND FLOOR LEVELS.

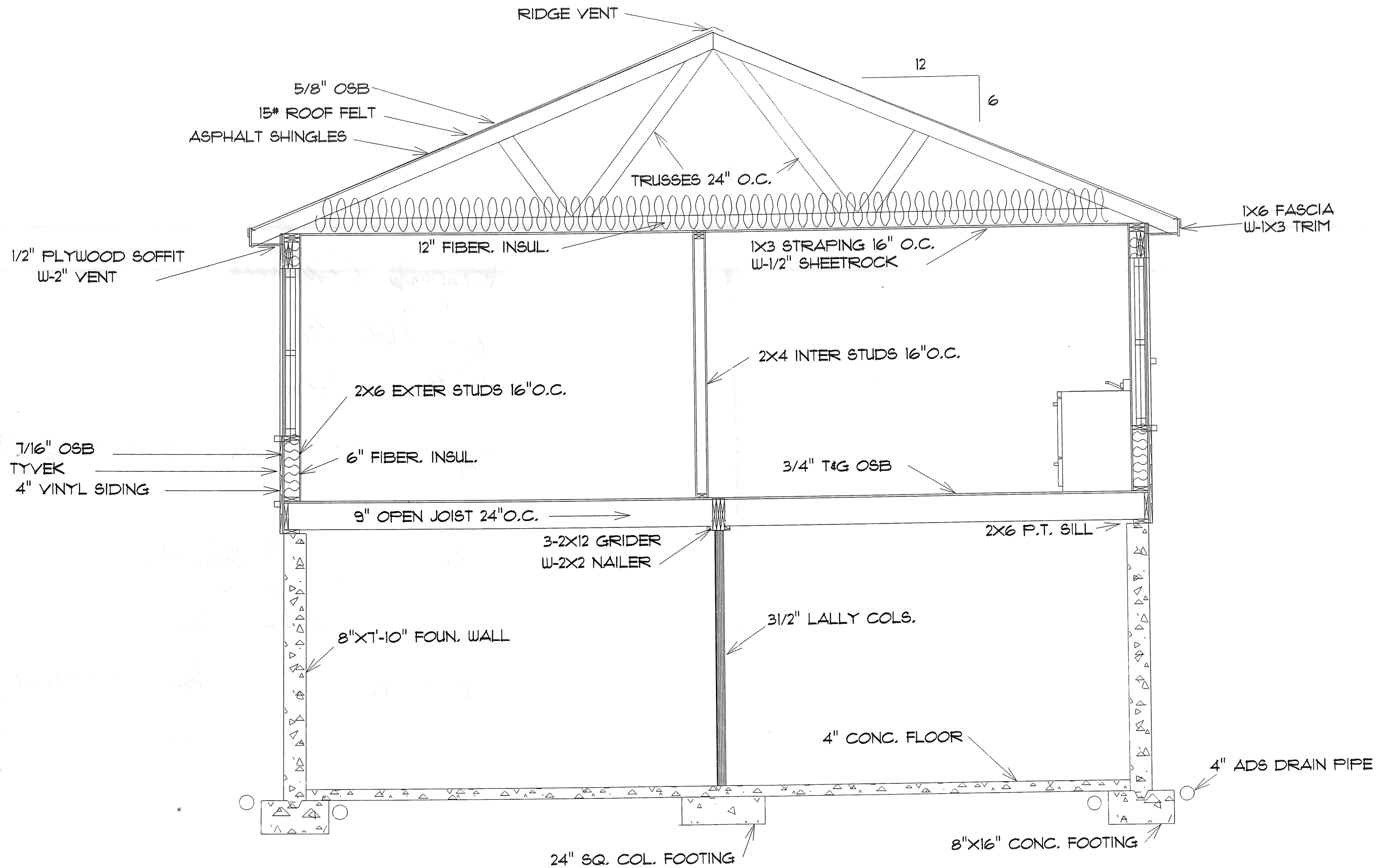
PLUMBING SCHEMATIC  
NO SCALE

Purchaser:

Builder: V.P. Builders Inc.  
P.O. Box 41  
Westbrook, Maine 04098  
207-854-1888

Property Location:

Date: 9-28-98



TYPICAL SECTION

SCALE: 3/8" = 1'-0"

8 FROM PUBLIC WORKS DEPARTMENT  
 9 AREA BETWEEN STOCKADE FENCE AND REAR LOT  
 10 SUBJECT TO AN EASEMENT GRANTED TO LANEY IN  
 11 BOOK 12626 PAGE 079  
 12 MARINO IS CONVEYING THE REAR 4' TO LANEY WITH  
 13 TO BE RECORDED

**NOTE:**

1. THE OWNER WILL BE REQUIRED TO  
 OBTAIN A PERMITS AND BALANCE  
 AGREEMENT WITH THE CITY OF PORTLAND

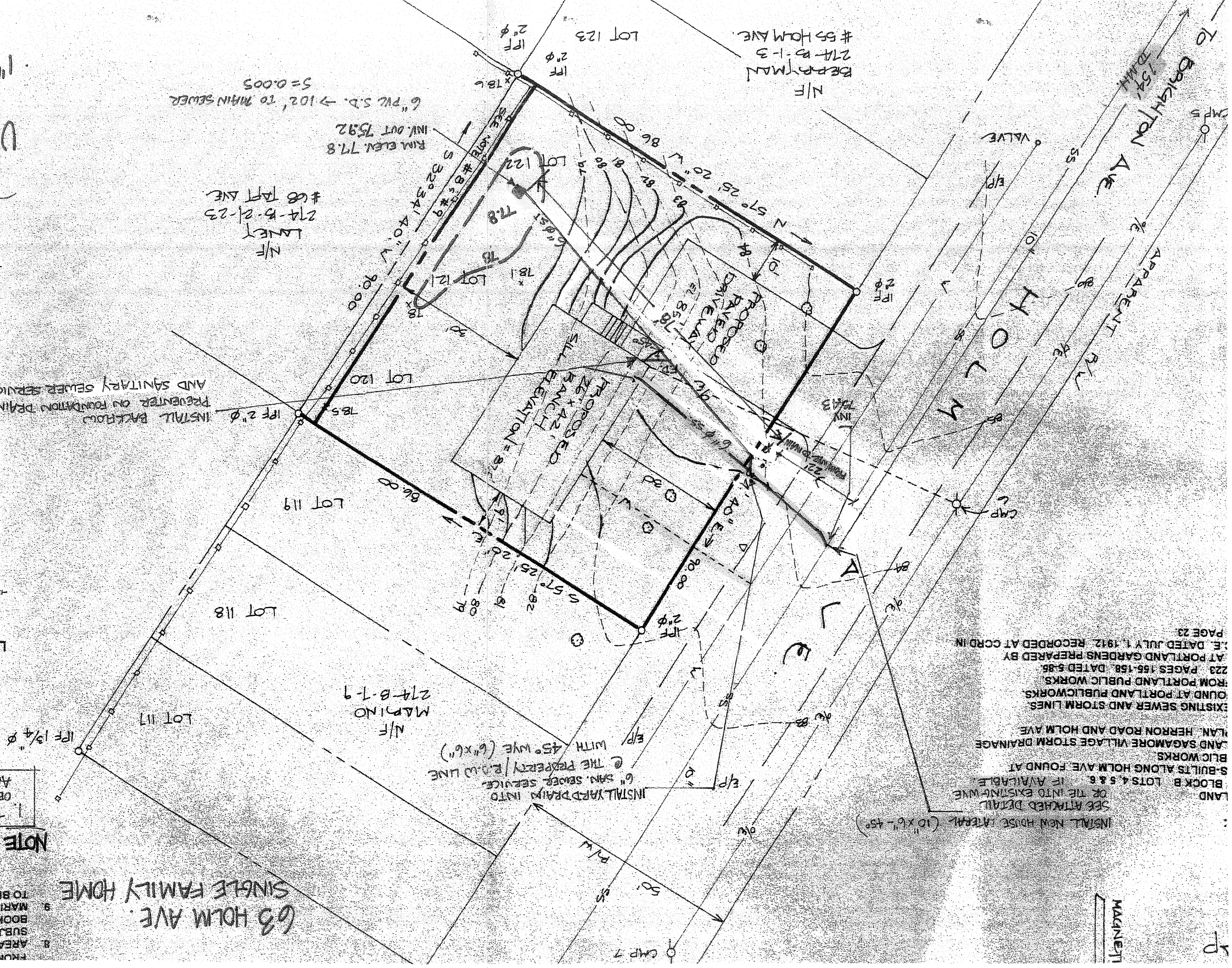
**63 HOLM AVE.  
 SINGLE FAMILY HOME**

**LEGEND:**

- FOUND MARKER
- WOOD FENCE
- ☼ (tree symbol) TREES(S)
- R/W RIGHT OF WAY
- N/F NOW OR FORMERLY
- E/P EDGE OF PAVEMENT
- O/E OVERHEAD ELECTRIC
- I/P IRON PIPE FOUND
- U/P UTILITY POLE
- ∅ DIAMETER
- C/D CUMBERLAND COUNTY
- MH MANHOLE
- SS SANITARY SEWER
- W WATER
- --- PROPOSED SERVICE
- x 78.1 SPOT GRADE
- 84 REPOSED GRADE

PROJECT: MINOR SITE PLAN  
 STI #98555  
 1" = 20 FT  
 LAYOUT

**UTILITY SKETCH  
 LAYOUT**



SEE ATTACHED DETAIL  
 OR THE INTO EXISTING WYE  
 S-BUILTS ALONG HOLM AVE FOUND AT  
 LAND SAGAMORE VILLAGE STORM DRAINAGE  
 PLAN, HERRON ROAD AND HOLM AVE  
 EXISTING SEWER AND STORM LINES  
 FOUND AT PORTLAND PUBLIC WORKS  
 FROM PORTLAND PUBLIC WORKS.  
 223 PAGES 155-158 DATED 5-85.  
 AT PORTLAND GARDENS PREPARED BY  
 E, DATED JULY 1, 1912 RECORDED AT CORDIN  
 PAGE 23



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>5122 HOLM AVE (A13) PORTLAND, MAINE</i>			
Total Square Footage of Proposed Structure <i>1092 Sq. Ft.</i>		Square Footage of Lot <i>7,740 Sq. Ft.</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>274</i> Block# <i>B</i> Lot# <i>4546</i>		Owner: <i>V.P. BUILDERS INC. P.O. BOX 41 WESTBROOK, MAINE 04098</i>	Telephone#: <i>854-1888</i>
Lessee/Buyer's Name (If Applicable)		Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>\$65,000</i> Fee: <i>\$345</i>
Proposed Project Description:(Please be as specific as possible) <i>CONSTRUCT A SINGLE FAMILY HOME ON THIS PARCEL OF LAND</i>			
Contractor's Name, Address & Telephone <i>V.P. BUILDERS INC. P.O. BOX 41 WESTBROOK, MAINE 04098 854-1888</i>			Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement ✓
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached) ✓

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

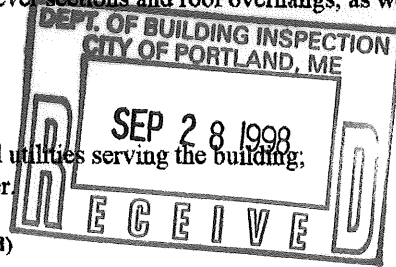
**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <i>9-28-98</i>
--	----------------------

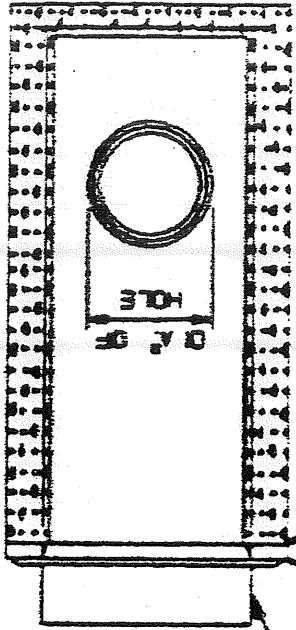
Site Review Fee: \$300.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

*Call for P/O 854-1888  
Pat Verrell*

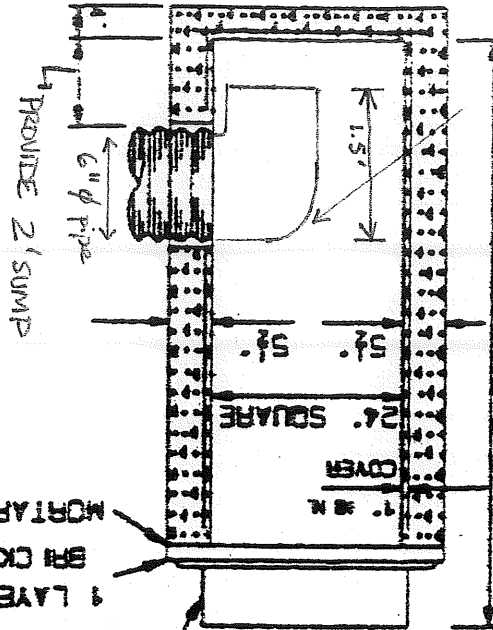


*345 Bldg  
300 ext  
645*

SECTION S-S



SECTION A-A



INSTALL 6" φ PIPE WITH ELBOW, BOTTOM OF ELBOW EXT. 1' BELOW INV. OUT ELEV.

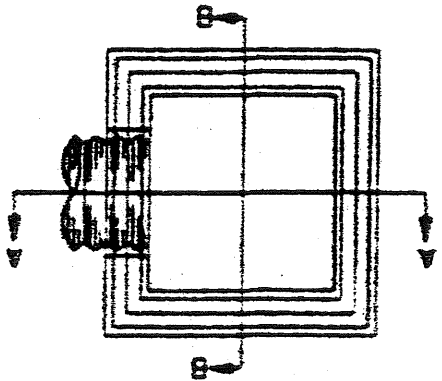
- 3. FOR TYPE F3 & F3-C
- 4. FOR TYPE F4 & F4-C
- 5. FOR TYPE F5 & F5-C
- 6. FOR TYPE F6 & F6-C

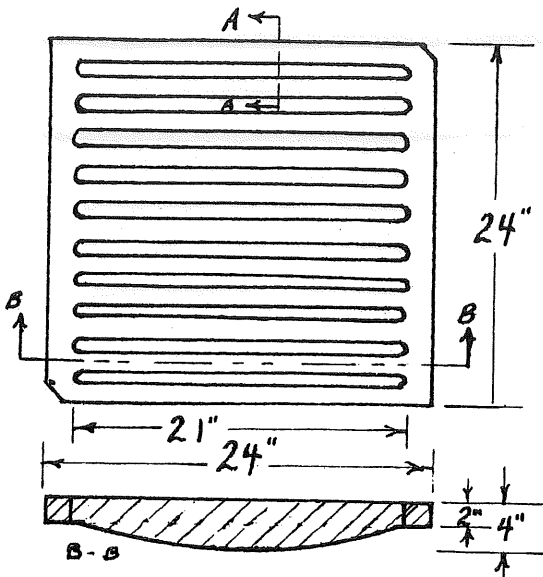
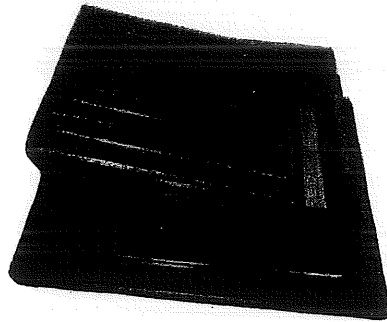
TYPE "A" BRICK FRAME AS REQUIRED  
 1 LAYER  
 BRICK  
 MORTAR

DIAMETER OF HOLE TO BE 3" LARGER THAN THE INSIDE DIAMETER OF FLEXIBLE PIPE OR THE OUTSIDE DIAMETER OF RIGID PIPE

ENTIRE CATCH BASIN WITH EXCEPT ON OF LEVELING BRICK FRAME AND GRATE TO BE PRECAST AS A SINGLE PORTLAND CEMENT CONCRETE UNIT

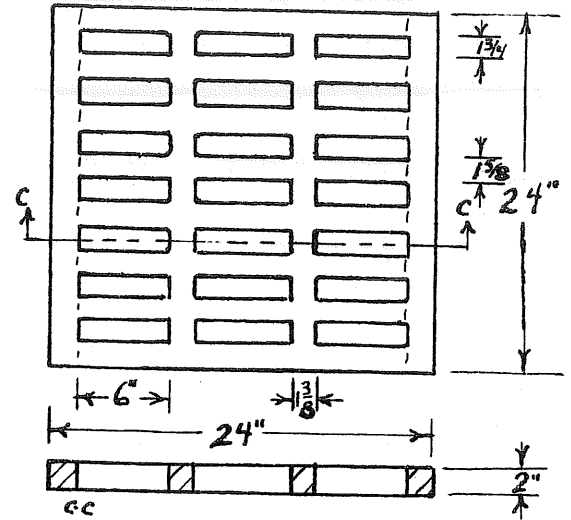
NOTE:





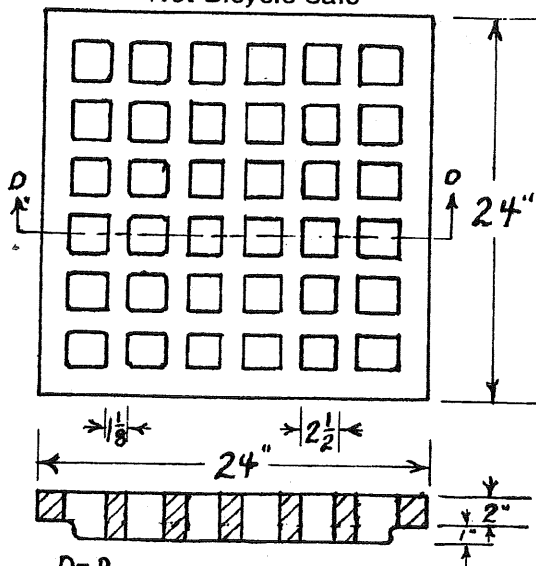
TYPE A

Wt. — 215 lbs.  
Flow Area — 249 in.<sup>2</sup>  
Not Bicycle Safe



TYPE K

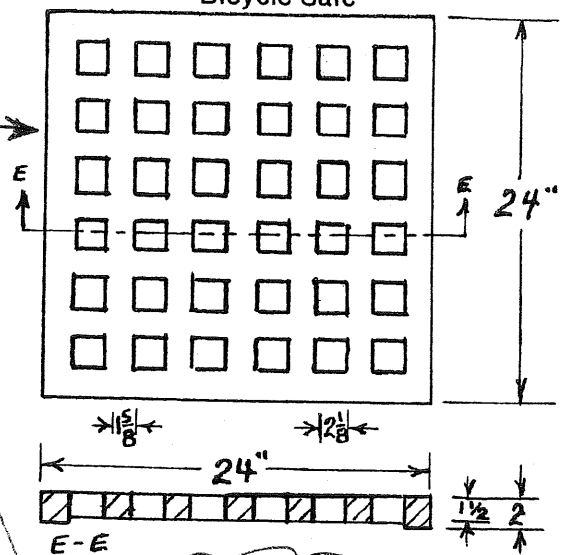
Wt. — 175 lbs.  
Flow Area — 228 in.<sup>2</sup>  
Bicycle Safe



TYPE M

Wt. — 200 lbs.  
Flow Area — 225 in.<sup>2</sup>  
Bicycle Safe

GRATE SELECTION



TYPE O

Wt. — 155 lbs.  
Flow Area — 172 in.<sup>2</sup>  
Bicycle Safe

24" SQUARE GRATINGS

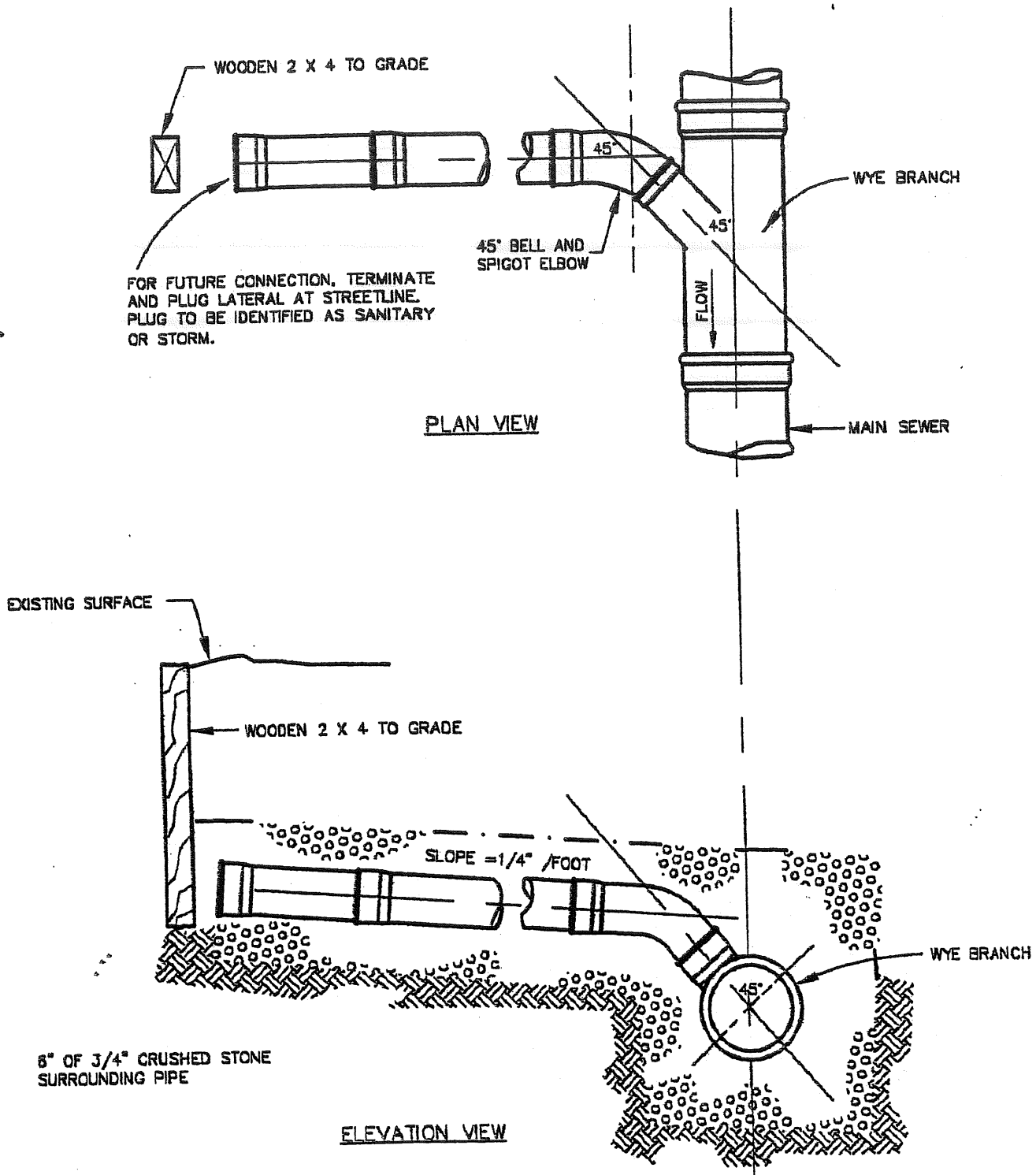
Type A — Maine Standard.

Type M — Navy Standard.

Dwg. 1037

SECTION II - SANITARY SEWER AND STORM DRAIN DESIGN STANDARDS

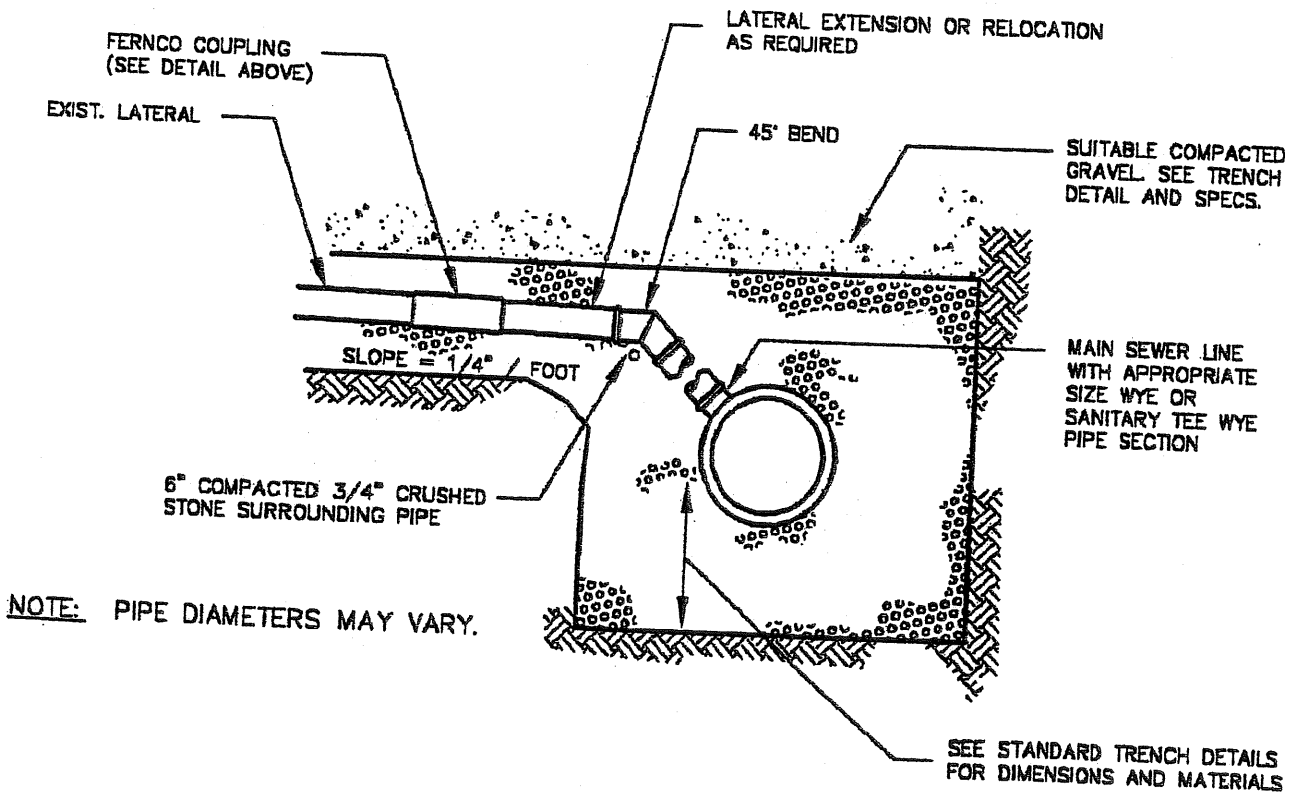
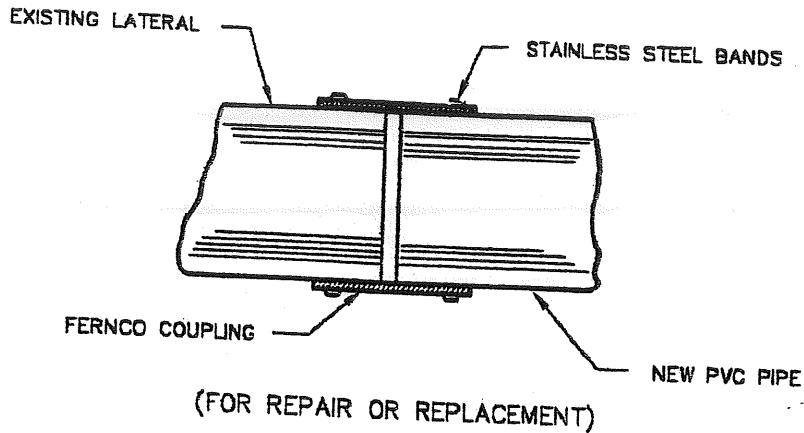
NOTE: LOCATION WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.



**FIGURE II - 19**  
**TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL**

## SECTION II -- SANITARY SEWER AND STORM DRAIN DESIGN STANDARDS

1. LOCATIONS AND ELEVATIONS OF STUBS SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.
2. HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT.



**FIGURE II - 18**  
**TYPICAL EXISTING LATERAL CONNECTION DETAIL**

CITY OF PORTLAND, MAINE  
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19980128

I. D. Number

V. P. Builders, Inc.

Applicant

P.O. Box 41, Westbrook, ME 04092

Applicant's Mailing Address

Consultant/Agent

854-1888

Applicant or Agent Daytime Telephone, Fax

9/28/98

Application Date

Holm Ave

Project Name/Description

59- 73 Holm Ave

Address of Proposed Site

274-B-004

Assessor's Reference: Chart-Block-Lot

---

**DRC Conditions of Approval**

---

**Planning Conditions of Approval**

---

**Inspections Conditions of Approval**

1. Separate permits shall be required for future decks, sheds, pools and/or garage.

---

**Fire Conditions of Approval**

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

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Project Name/Description

59- 73 Holm Ave

Address of Proposed Site

274-B-004

Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 63 Holm Avenue

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days

prior to date required for final site inspection. Please make allowances for completion of site plan requirements

determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must

be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of

Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater

and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to

schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828.

(Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works

Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in

conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide

for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor

elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours,

drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices

and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage

improvements as necessary due to field conditions.

A crushed stone construction entrance shall be installed at curb cut. Silt fence shall be

installed down gradient of all disturbed areas.

Final grading shall direct all runoff from the roof and paved driveway to the new catch

basin in the rear yard.

**Planning Conditions of Approval**

**Inspections Conditions of Approval**



PURCHASE AND SALE AGREEMENT

August 13, 19 98

Effective Date
The use of days in this agreement refers to calendar days from the effective date

RECEIVED OF: V.P. Builders Inc (hereinafter called "Buyer") the sum of (\$ 500. ) Five hundred dollars as earnest money and in part payment of the purchase price of the following described real estate, situated in municipality of Portland County of Cumberland State of Maine located at Certain lot of land on Holm Avenue with 90' of frontage, being the 90' to the right. Also identified at lots 120,121,122 in Plan Book 12 Page 23. Being (all part of X) the property at the above address owned by Adolph J Marino (hereinafter called "Seller") and described at said County's Registry of Deeds Book 3016 Page 333.

FIXTURES: The parties agree that all fixtures, including but not limited to existing storm and screen windows, shades and/or blinds, shutters, curtain rods and electrical fixtures are included with the sale except for the following:

PERSONAL PROPERTY: The following items of personal property are included with the sale at no additional cost:

The TOTAL purchase price being (\$ 21,000.00 ) Twenty one thousand dollars to be paid as follows: Five hundred dollars with this contract and balance at closing.

The purchase price balance shall be paid in cash, certified funds or bank check at closing.

This Purchase and Sale Agreement is subject to the following conditions:

- 1. EARNEST MONEY/ACCEPTANCE: CENTURY 21 NORTHEAST shall hold said earnest money in the amount of \$ 500. and act as escrow agent until closing; this offer shall be valid until August 17, 1998 (date) 9:00 AM/PM; and, in the event of Seller's non-acceptance, this earnest money shall be returned promptly to Buyer.
2. TITLE & CLOSING: That a deed, conveying good and merchantable title in accordance with standards adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on October 1, 1998 (closing date) or before if agreed in writing by both parties.
3. DEED: That the property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not adversely affect the continued current use of the property.
4. POSSESSION/OCCUPANCY: Possession/occupancy of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.
5. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller.
6. PRORATIONS: The following items, where applicable shall be prorated as of the date of closing: fuel (cash price as of date of closing), of closing), rent, real estate taxes (based on municipality's fiscal year), association fees, (other). Metered utilities such as electricity, water and sewer will be paid through the date of closing by Seller.

7. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real or personal property. This contract is subject to the following inspections, with results being satisfactory to Buyer:

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED TO SELLER	TYPE OF INSPECTION	YES	NO	RESULTS REPORTED TO SELLER
a. General Building	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	f. Asbestos Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
b. Sewage Disposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	g. Lead Paint	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
c. Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	h. Pests	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
d. Water Quantity	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	i. Radon Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
e. Radon Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	j. _____	<input type="checkbox"/>	<input type="checkbox"/>	Within _____ days

All inspections will be done by inspectors chosen and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer may declare the contract null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

8. FINANCING: This contract is subject to Buyer obtaining an approved N/A mortgage of \_\_\_\_\_ % of the purchase price, at an interest rate not to exceed \_\_\_\_\_ % and amortized over a period of \_\_\_\_\_ years.

- a. This contract is subject to a written statement from the lender, within \_\_\_\_\_ (\_\_\_\_\_) days of the Effective Date, that Buyer has made application.
- b. This contract is subject to final loan approval within \_\_\_\_\_ days of the Effective Date.
- c. If either of these conditions is not met within said time periods, Seller may declare this contract null and void, and the earnest money shall be returned to Buyer.
- d. Buyer is under a good-faith obligation to seek and accept financing on the above-described terms. Buyer acknowledges that a breach of this good-faith obligation will be a breach of this contract.
- e. Buyer agrees to pay no more than \_\_\_\_\_ points. Seller agrees to pay \$ \_\_\_\_\_ toward points and/or Buyer's closing costs.

9. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

The N/A Listing Agent of \_\_\_\_\_ Agency represents \_\_\_\_\_.

The N/A Selling Agent of \_\_\_\_\_ Agency represents \_\_\_\_\_.

When the transaction involves Disclosed Dual Agency, the parties acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the parties acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

10. MEDIATION: Any dispute or claim arising out of or relating to this contract or the property addressed in this contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. This clause shall survive the closing of the transaction.

11. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this contract and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this contract and return to Buyer of the earnest money. The escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

12. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This agreement completely expresses the obligations of the parties.

13. HEIRS/ASSIGNS: This agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the respective parties.

14. COUNTERPARTS: This agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

Page 2 of 3 Buyer's Initials UAV Seller's Initials QSM  
YAV JAN

15. ADDENDA: \_\_\_\_\_ Yes (If Yes, include number of addenda on line); \_\_\_\_\_ No

16. EFFECTIVE DATE: This contract is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to all parties or to their Agents.

17. AGENCY CONFIDENTIALITY: Buyer and Seller understand that the terms of this contract are confidential but authorize the agent(s) to disclose information to the parties' attorneys, lenders, appraisers, inspectors and others necessary for the purpose of closing this transaction. Parties authorize agents to receive copy of entire closing statements.

18. OTHER CONDITIONS:

Contingent upon Builder's Client receiving mortgage approval for a single family home on or before 9/15/98.

Contingent upon the Builder verifying with the City of Portland that lot is a buildable lot and building permit to be issued.

A copy of this contract is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

[Signature]  
BUYER V.P. Builder's Inc.

01-0428855  
SS# OR TAXPAYER ID#

BUYER \_\_\_\_\_

SS# OR TAXPAYER ID# \_\_\_\_\_

Buyer's Mailing Address is P O Box 41, Westbrook, Maine 04092 207-854-1888

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement. If the earnest money is forfeited by Buyer, it shall be distributed as follows: \_\_\_\_\_

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_\_.

Adolph J. Marino  
SELLER Adolph J. Marino

SS# OR TAXPAYER ID# \_\_\_\_\_

Jeanette A. Marino  
SELLER

SS# OR TAXPAYER ID# \_\_\_\_\_

Seller's Mailing address is P O box 293, Lock Mills, Maine 04255

Offer reviewed and refused on \_\_\_\_\_, 19 \_\_\_\_\_.

SELLER \_\_\_\_\_

SELLER \_\_\_\_\_

EXTENSION

The time for the performance of this contract is extended until \_\_\_\_\_.

BUYER \_\_\_\_\_ DATE \_\_\_\_\_ SELLER \_\_\_\_\_ DATE \_\_\_\_\_

BUYER \_\_\_\_\_ DATE \_\_\_\_\_ SELLER \_\_\_\_\_ DATE \_\_\_\_\_

Maine Association of REALTORS®/1997  
All Rights Reserved

274 B4



**CITY OF PORTLAND**  
**Planning and Urban Development Department**

**MEMORANDUM**

**TO:** Code Enforcement  
**FROM:** Jim Wendel, Development Review Coordinator  
**DATE:** February 5, 1999  
**SUBJECT:** Certificate of Occupancy  
63 Holm Avenue (274-B-004), Lots 120, 121, 122

On February 4, 1999 the site was reviewed for compliance with the conditions of approval dated 10-29-98. My comments are:

1. The landscape work could not be completed due to the time of year. This work must be completed by June 15, 1999.
2. The street number needs to be placed on the house.

It is my opinion that **when item 2 above is completed a temporary Certificate of Occupancy could be issued** assuming Code Enforcement has no outstanding issues.