

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING &amp; INSPECTION

**PERMIT**

Permit Number: 090424

Please Read  
Application And  
Notes, If Any,  
AttachedThis is to certify that AUSTERER, WARREN & RECCA/Portland Builders / Ben hashas permission to Addition 8'x10' Bathroom Dormer to the Second FloorAT 55 HOLM AVE

CP 274 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building &amp; Inspection Services

**PENALTY FOR REMOVING THIS CARD**

PERMIT ISSUED

5/15/09

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

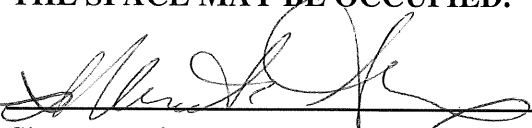
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

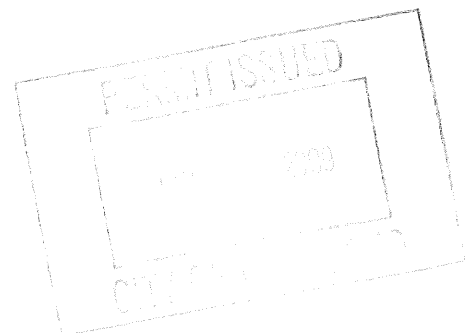
**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
Signature of Applicant/Designee

5-18-2009  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0424	Issue Date:	CBL: 274 B001001
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Location of Construction: 55 HOLM AVE	Owner Name: AUSTERER, WARREN & REBEC	Owner Address: 55 HOLM AVE	Phone: 207-899-3054
Business Name:	Contractor Name: Pollard Builders / Ben Pollard	Contractor Address: 386 Fore Street, Suite 303 Portland	Phone: 2077738450
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family - Addition 8'x10' Bathroom Dormer to the Second Floor	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 3	9,000
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>		

Proposed Project Description: Addition 8'x10' Bathroom Dormer to the Second Floor	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

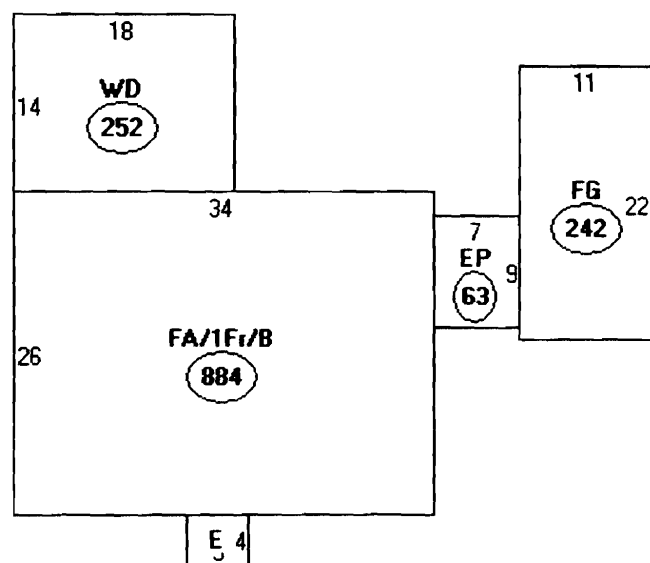
Permit Taken By: lmd	Date Applied For: 05/06/2009	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>meeting lot size &amp; setbacks</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/12/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	Date: <i>[Signature]</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Descriptor/AreaA: FA/1Fr/B  
884 sqftB: WD  
252 sqftC: EP  
63 sqftD: FG  
242 sqftE: OFP  
20 sqft

$$9000^F \times 35\% = 3150^F_{MAX}$$

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0424	<b>Date Applied For:</b> 05/06/2009	<b>CBL:</b> 274 B001001
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<b>Location of Construction:</b> 55 HOLM AVE	<b>Owner Name:</b> AUSTERER, WARREN & REBEC	<b>Owner Address:</b> 55 HOLM AVE	<b>Phone:</b> 207-899-3054
<b>Business Name:</b>	<b>Contractor Name:</b> Pollard Builders / Ben Pollard	<b>Contractor Address:</b> 386 Fore Street, Suite 303 Portland	<b>Phone:</b> (207) 773-8450
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family - Addition 8'x10' Bathroom Dormer to the Second Floor	<b>Proposed Project Description:</b> Addition 8'x10' Bathroom Dormer to the Second Floor
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/12/2009

**Note:****Ok to Issue:** 

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/15/2009

**Note:****Ok to Issue:** 

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**

5/7/2009-lmd: Requested P&amp;S from contractor on 5/6/09.

5/11/2009-lmd: Homeowner brought in P&amp;S paperwork, forwarded the permit to the zoning department



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>55 HOLM AVENUE, PORTLAND, ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>545 SF</u>	Square Footage of Lot <u>9,000 SF</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>274</u> Block# <u>B</u> Lot# <u>1</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>WARREN AUSTERER</u> Address <u>55 HOLM AVENUE</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>207.899.3054</u>
Lessee/DBA (If Applicable) <u>N/A</u> <u>MAY 6 2009</u>	Owner (if different from Applicant) Name <u>SAME AS APPLICANT</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>15,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>BATHROOM DORMER ADDITION</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>WE PROPOSE TO ADD AN 8'X10' BATHROOM DORMER TO THE SECOND FLOOR OF A SINGLE FAMILY RESIDENCE</u>		
Contractor's name: <u>POLLARD BUILDERS / BEN POLLARD</u> Address: <u>386 FOREST ST, SUITE 303</u> City, State & Zip <u>PORTLAND, ME 04101</u> Telephone: <u>773.8450</u> Who should we contact when the permit is ready: <u>BEN POLLARD</u> Telephone: <u>773.8450</u> Mailing address: <u>386 FOREST ST, SUITE 303, PORTLAND, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: gBPollard Date: 2009.04.30

This is not a permit; you may not commence ANY work until the permit is issue

**WARRANTY DEED**  
Maine Statutory Short Form

**KNOW ALL PERSONS BY THESE PRESENTS**, That **Gregory A. Morehead** of Portland, County of Cumberland and State of Maine, for consideration paid, grants to **Warren Austerer and Rebecca Austerer** whose mailing address is 178 Cottage Road, South Portland, ME 04106 with **WARRANTY COVENANTS**, as joint tenants, the real property situated in Portland, County of Cumberland and State of Maine more particularly described in Exhibit A attached hereto and incorporated herein by reference.

**IN WITNESS WHEREOF**, I have hereunto set my hand and seal this

March 6, 2009.

Witness

Gregory A. Morehead

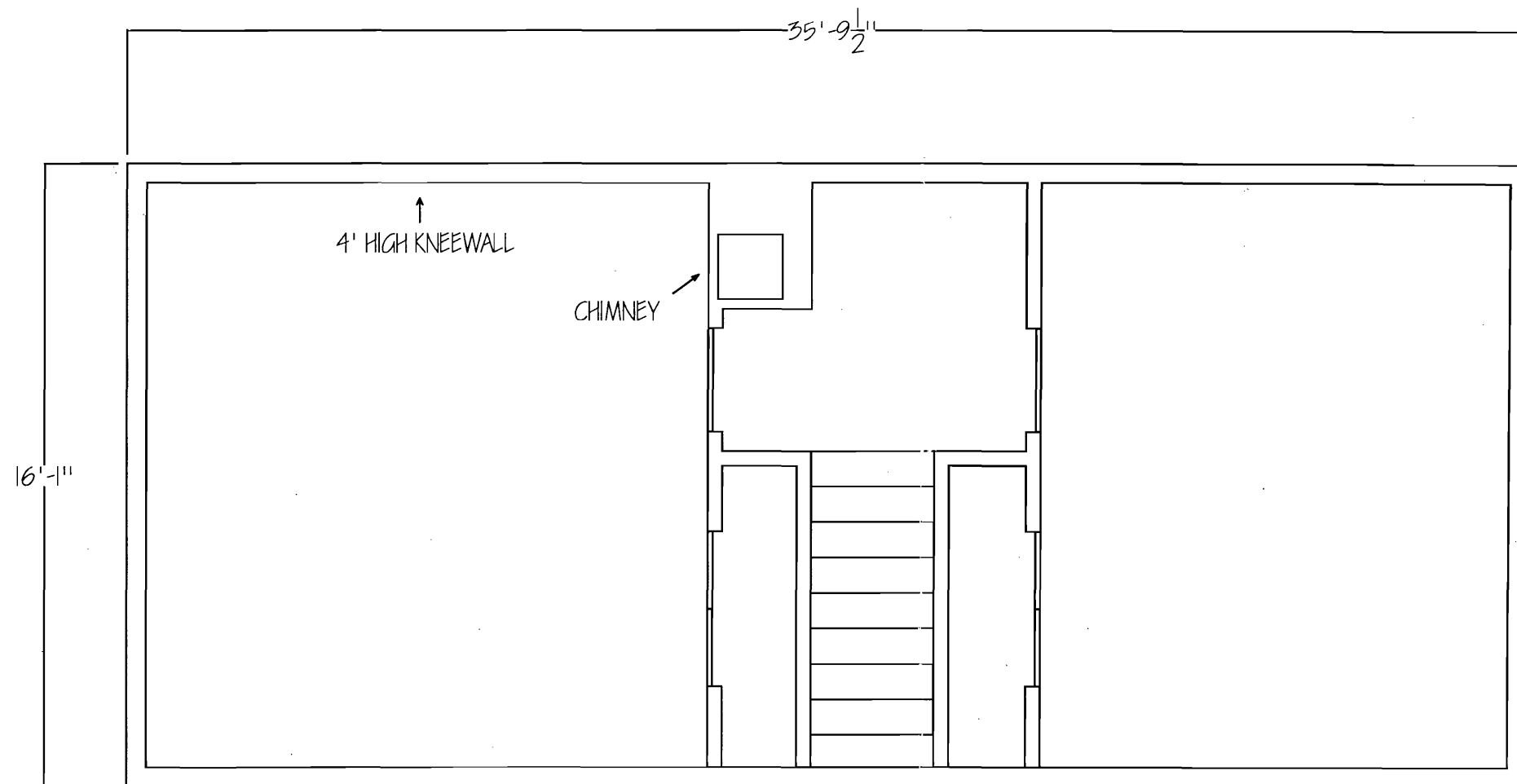
State of Maine  
County of Cumberland

March 6, 2009

Personally appeared before me the above named Gregory A. Morehead and acknowledged the foregoing instrument to be his free act and deed.

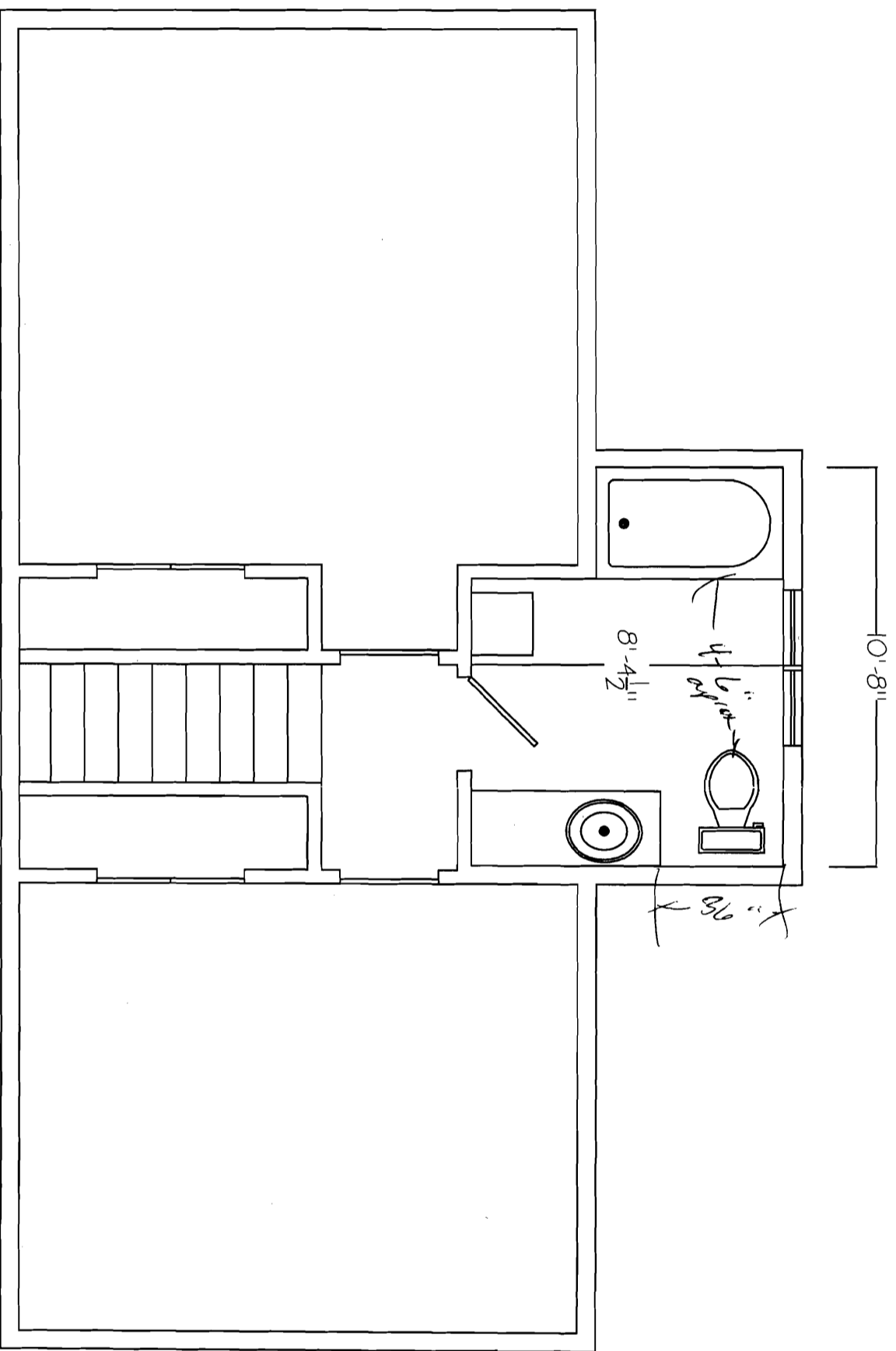
Melinda P. Shain  
Attorney at Law

MAY 11 2009



AUSTERER DORMER	
55 HOLM AVENUE, PORTLAND, ME	
EXISTING SECOND FLOOR PLAN	
DRAWING NUMBER 1 OF 5	
POLLARD BUILDERS	
PORTLAND, ME	
DRAWN BY: J. B. POLLARD	
DATE: 2009.04.30	SCALE: 1/4" = 1'





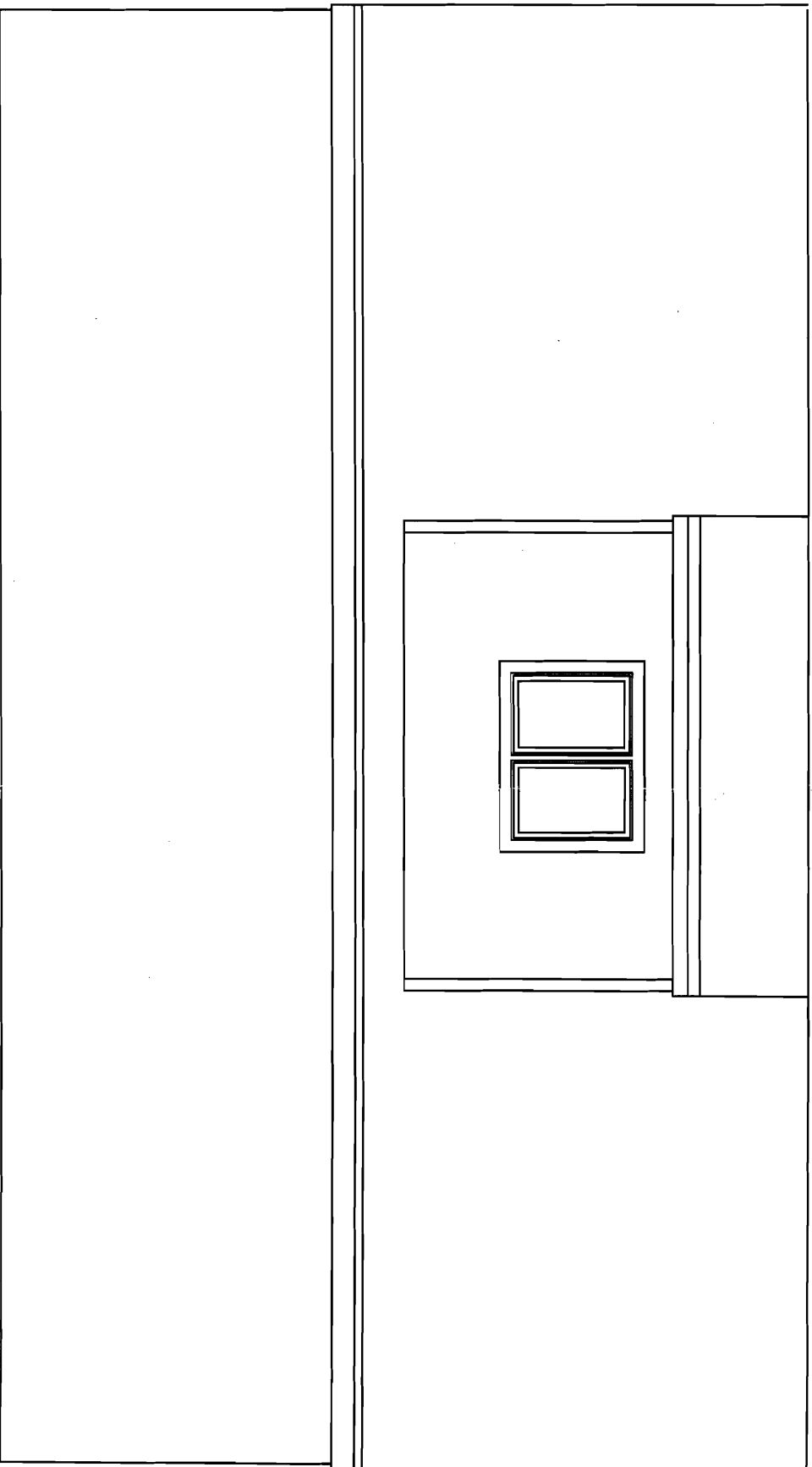
AUSTERER DORMER  
 55 HOLM AVENUE, PORTLAND, ME

PROPOSED SECOND FLOOR PLAN  
 DRAWING NUMBER 2 OF 5

POLLARD BUILDERS  
 PORTLAND, ME

DRAWN BY: J. B. POLLARD  
 DATE: 2009.04.30

SCALE: 1/4" = 1'



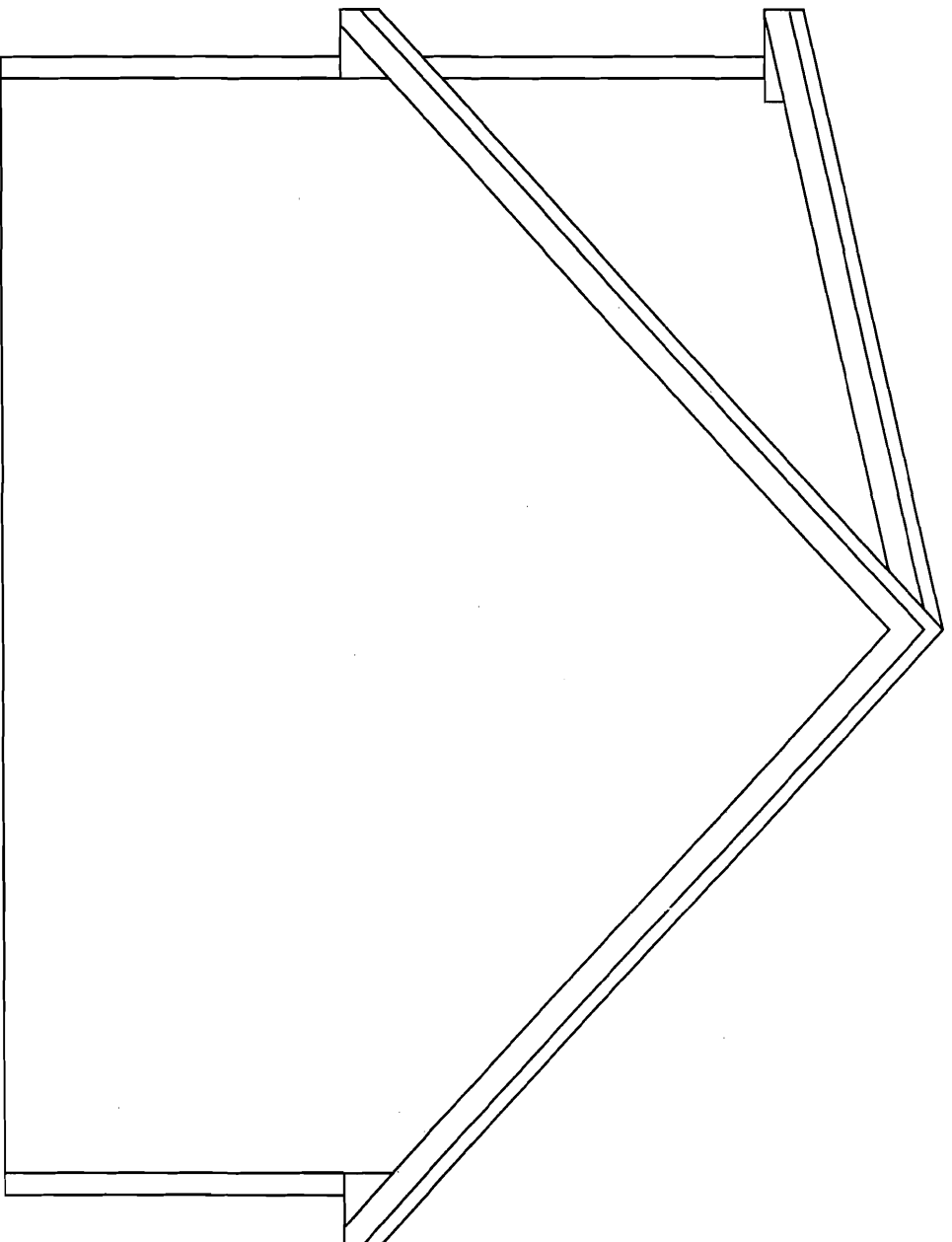
AUSTERER DORMER  
55 HOLM AVENUE, PORTLAND, ME

SOUTHEAST ELEVATION  
DRAWING NUMBER 3 OF 5

POLLARD BUILDERS  
PORTLAND, ME

DRAWN BY: J. B. POLLARD  
DATE: 2009.04.30

SCALE: 1/4" = 1'



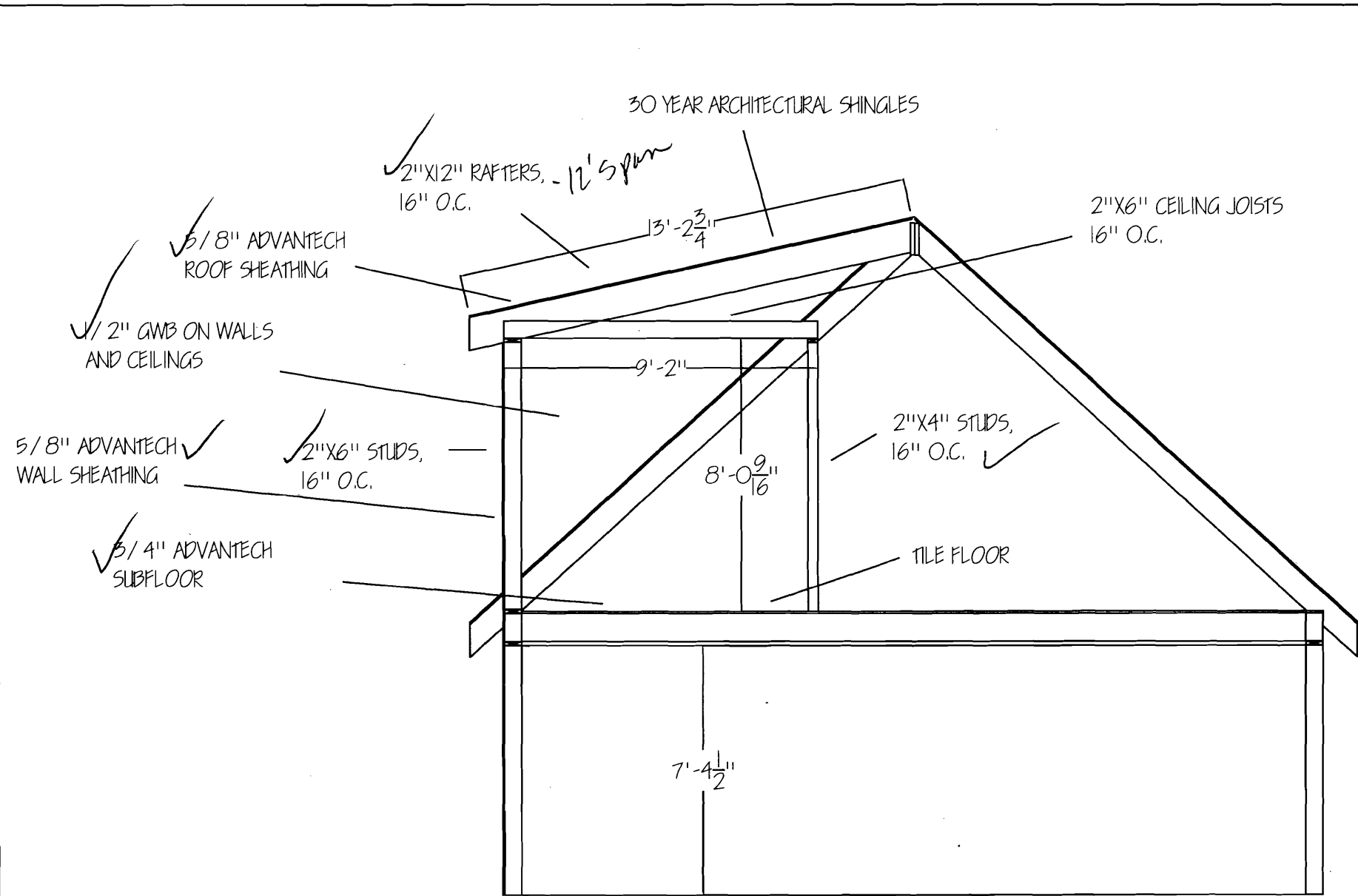
AUSTERER DORMER  
55 HOLM AVENUE, PORTLAND, ME

NORTHEAST ELEVATION  
DRAWING NUMBER 4 OF 5

POLLARD BUILDERS  
PORTLAND, ME

DRAWN BY: J. B. POLLARD  
DATE: 2009, 04, 30

SCALE: 1/4" = 1'



- CONSTRUCTION SPECIFICATIONS:
- EXTERIOR WALLS SHALL BE 2"X6" KD ✓
  - SECOND FLOOR JOISTS ARE EXISTING, PRESUMABLY 2"X10" KD ✓
  - FLOOR DECKS SHALL BE 3/4" ADVANTECH OSB ✓
  - WALL AND ROOF SHEATHING SHALL BE 5/8" ADVANTECH OSB ✓
  - WALL COVERINGS SHALL BE 1/2" GWB ✓
  - DORMER RAFTERS SHALL BE 2"X12" KD ✓
  - ROOFING SHALL BE 30 YR WARRANTY ARCHITECTURAL SHINGLES ✓
  - SIDING SHALL BE WHITE CEDAR SHINGLES WITH PINE TRIM
  - INSULATION SHALL BE BLOWN IN DENSE PACK CELLULOSE
  - WALLS SHALL BE R-21, ROOF SHALL BE R-43 ✓
  - FLOORING SHALL BE TILE

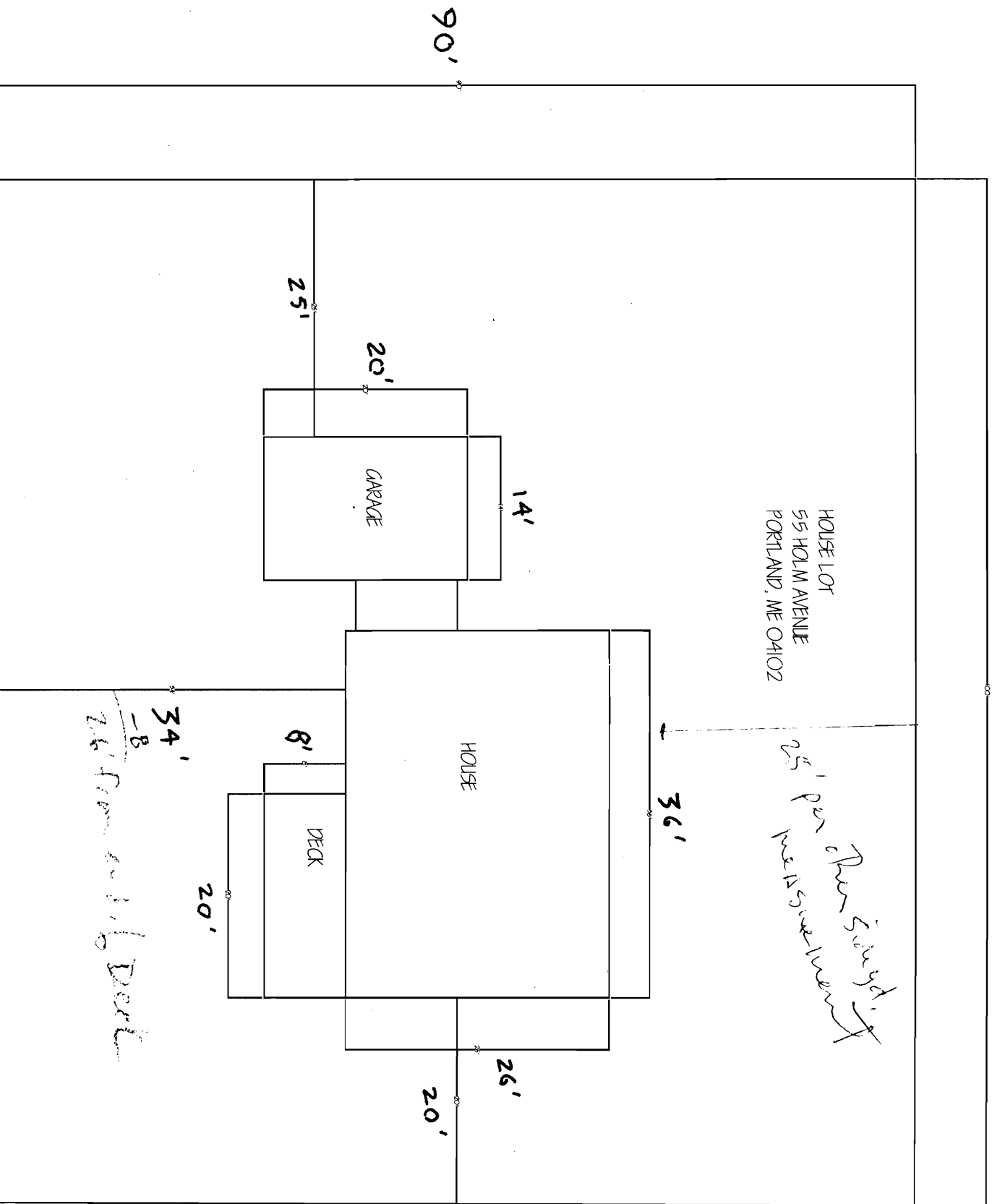
AUSTERER DORMER 55 HOLM AVENUE, PORTLAND, ME	
FRAMING CROSS SECTION DRAWING NUMBER 5 OF 5	
POLLARD BUILDERS PORTLAND, ME	
DRAWN BY: J. B. POLLARD	
DATE: 2009,04.30	SCALE: 1/4" = 1'

Street Front

100'

HOUSE LOT  
55 HOLM AVENUE  
PORTLAND, ME 04102

25' per floor setback



2-3

Front 25' min leg 25' Show  
 Rear - 25' min leg - 26' Show  
 Sides 14' 25' 20' Show

AUSTERER DORMER  
 55 HOLM AVENUE, PORTLAND, ME  
 PLOT PLAN  
 POLLARD BUILDERS  
 PORTLAND, ME  
 DRAWN BY: J. B. POLLARD  
 DATE: 2009.04.30

Copy of Figure of the Site