

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0934	Issue Date:	CBL: 272 K001001
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Location of Construction: 0 Holm Ave 32-36 Robin St	Owner Name: Mckenna Jennifer L	Owner Address: 41 Tamarack Cir	Phone: 839-2538
Business Name:	Contractor Name: Country Lane Homes	Contractor Address: PO Box 444 Auburn	Phone: 2078392538
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: vacant lot	Proposed Use: Single family home	Permit Fee: \$1,266.00	Cost of Work: \$130,000.00	CEO District: 3
Proposed Project Description:		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R3 Modular ME Man. Housing Rule b Type: Signature: JMB 10/18/04	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: jodinea	Date Applied For: 07/07/2004	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland' N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 6 zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2004-0141 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> off with condit date: 3/1/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied S date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied S date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

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Business Name:	Contractor Name: Country Lane Homes	Contractor Address: PO Box 444 Auburn	Phone: (207) 839-2538
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single family home	Proposed Project Description: Erect 1100 sq ft Single family home w/3 bedrooms
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/01/2004
Note: 8/9/04 These lots were cut off from an adjoining single family home - I need to see that it also meets setbacks **Ok to Issue:**
on a survey - only one pkg space in the front yard is shown, two beyond the front yard are required. No steps or stairs are shown. I need all this information.
9/29/04 - received revised plans

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. NO DAYLIGHT BASEMENTS are being shown. NO DAYLIGHT BASEMENTS are being approved.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted on 9/29/04. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/18/2004
Note: 10/12/04 spoke w/Jennifer McKenna and discussed items on review checklist. She will get back. **Ok to Issue:**
Sandra from modular homes called and she will send more plans, stair details.
10/14 spoke w/Paul M. He will submit detailed foundation plans, see new submittal from Country Lane Homes w/all the third party approvals & sticker information.
10/18 received new notes from owner

- 1) A copy of the chimney disclosure was sent to Sandra at CLH. This must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans ie. Bituminous sealer & filter fabric.
- 3) See the submitted statement of third party inspection & sticker information in the permit package.
- 4) Separate permits are required for any electrical & plumbing hookups.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 09/30/2004
Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) Your new street address HAS NOT BEEN ASSIGNED, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Location of Construction: 32-36 Robin St	Owner Name: Mckenna Jennifer L	Owner Address: 41 Tamarack Cir	Phone: () 839-2538
Business Name:	Contractor Name: Country Lane Homes	Contractor Address: PO Box 444 Auburn	Phone: (207) 839-2538
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 09/30/2004
Note: **Ok to Issue:**

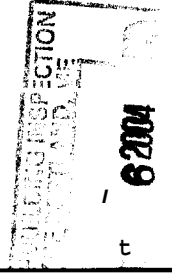
DR
2004-0141

272 K 001

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 00000 Holm Ave & Robin Street		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 272 Block# K 00 Lot# 1001	Owner: Jennifer & Paul McKenna	Telephone: 839-2538
Lessee/Buyer's Name (If Applicable) Jennifer & Paul McKenna	Applicant name, address & telephone: Jennifer & Paul McKenna 839-41 Tanager Cir. Co. Ham 2538	Cost Of Work: \$130,000. Fee: \$1,191.00
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Always Vacant</u>		
Approximately how long has it been vacant: <u>Forever</u>		
Proposed use: <u>Home Construction</u>		
Project description: <u>three bedroom Cape</u>		
Contractor's name, address & telephone: Country Lane Homes, P.O. Box 4744 Auburn, ME 207-786-3011 04212-0044		
Who should we contact when the permit is ready: Jennifer & Paul McKenna		
Mailing address: 41 Tanager Cir, Co. Ham, ME 04058		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 839-25-36		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michelle Jennifer McKenna</u>	Date: <u>7-5-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

32 - 36 Robin St. (Helm Ave)

272-K-001

04-0934

Manufactured Home

Soil type/Presumptive Load Value (Table 401.4.1) ? Les Wilson F&W Foundation

STRUCTURAL

Footings Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)

? bulkhead
8" X 20"
OK see Neuphaus

Foundation Drainage Dampproofing (Section 406)

?
OK

Ventilation (Section 409.1) Crawls Space ONLY

?
OK

AnchorBolts/Straps (Section 403.1.4)

?
OK } Shaps 30"
Per man spec O.C.

Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))

3 1/2 concrete

Built-Up Wood Center Girder Dimension/Type

(Table 502.3.4(2))

Sill/Band Joist Type & Dimesions

?
OK Neuphaus

First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))

Second Floor Joist Species Dimensions and Spacing Table 503.3.2(1) & Table 503.3.2(1))

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))			
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))			
(Table 503.2.1(1) Fastener Schedule (Table 602.3(1) & (2))			
Private Garage Section 309 and Section 407 1999 BOCA Living Space ? (Above or beside)		N/A	
Fire separation			
Fire rating of doors to living space			
Door Sill elevation (407.5 BOCA)			
Egress Windows (Section 310)			
Roof Covering (Chapter 9)			
Garage Glazing (Section 309)			
Attic Access (BOCA 1211.1)	?	cut Trusses Spike to Samba @ CLH	
Draft Stopping around chimney			

Header Schedule		
Type of Heating System	FHW	D11
Stairs Number of Stairways	? basement	
Interior		
Exterior	? side & front	
Treads and Risers (Section 314)		
Width		
Headroom		
Guardrails and Handrails (Section 315)		
Smoke Detectors Location and type/Interconnected		
Plan Reviewer Signature		

OK New sub.

See Chimney Summary Checklist DISCLOSE ~~INTAKE~~ SENT TO CANNY LAINE JONES

TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS
		Summary
		See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet. 12 inches for fireplace opening greater than or equal to 6 square feet.
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet. 20 inches for fireplace opening greater than or equal to 6 square feet.
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.
Firebox dimensions	E	20-inch minimum firebox depth. 12-inch minimum firebox depth for Rumford fireplaces.
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.
Distance from top of opening to throat	G	8 inches minimum.
Smoke chamber		
Wall thickness	H	6 inches lined; 8 inches unlined. Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner. 1/2-inch grout or airspace between liner and wall.
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.
Clearances		
From chimney	N	2 inches interior, 1 inch exterior.
From fireplace		2 inches front, back or sides.
Combustible trim or materials		6 inches from opening.
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.
Anchorage ^a		
Strap	O	3/16 inch by 1 inch.
Number		Two.
Embedment into chimney		12 inches hooked around outer bar with 6-inch extension.
Fasten to		Four joists.
Bolts		Two 1/2-inch diameter.
Roofing		
Thickness	P	12-inch minimum.
Width		6 inches each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

Jennifer & Paul McKenna

TO: Jeannie Bourge 874-8715
Bulkhead - 5ft Wide; 5'6" out

Footer for Lally Columns - 30" x 10" full length
of Basement.

10" Foundation Walls - 8" x 20" Footing
Around Foundation

Ventilation - 4 - 16" x 32" Windows; 2 in
Rear of Foundation & 1 on
both sides

Sill Anchored to Foundation - Straps
placed every 30" per specs

Sill Dimension - 2" x 6" pressure Treated
Sill Plate

Two 16 x 32 windows on sides
of foundation

OCT 18 2001

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

August 12, 2004

Jennifer Mckenna
41 Tamarack Circle
Gorham, ME 04038

Dear Mrs. Mckenna:

RE: Application for Single Family Dwelling, Holm Avenue/Robin Street

Thank you for your application for the single family home Holm Avenue. Attached is a checklist of items that need to be shown on a site plan in order to approve the application:

Also, the public works department has informed me that both Holm Avenue and Robin Streets have been resurfaced within the last 5 years. There are significant street opening fees that are associated with these streets and it is recommended that you contact the Public Works Department to research the potential costs.

Please feel free to call me at 874-8632 if you have any questions or comments.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager
Marge Schmuckal, Zoning Administrator

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0141

Application 1. D. Number

7/6/04

Application Date

Single Family

Project Name/Description

Mckenna Jennifer L

Applicant

41 Tamarack Cir , Gorham , ME 04038

Applicant's Mailing Address

Holm Ave , Portland, Maine

Address of Proposed Site

272 K001001

Assessor's Reference Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply) New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1100 sq ft

7740 sq ft

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Zoning Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** **Denied**
 See Attached

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
 signature date

Performance Guarantee **Required.** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

Applicant: Jennifer McKenna

Date: 8/9/04

Address: ~~227-231~~ ~~Robinson St~~
32-36 Robinson St

C-B-L: 272-k-00/2,3

CHECK-LIST AGAINST ZONING ORDINANCE

I need ~~A~~ ^{OK per} plans drawn
Date - 9/29/04
plans

permit # 04-0934 These lots were cut off
from 272-k-6-7-8
OK

The lot WAS cut off from

Zone Location - R-2
Interior or corner lot - corner of H 27.5 x 40

Proposed Use/Work - New single family Dwelling - No Decks
Sewage Disposal - City No GARAGES

Lot Street Frontage - 50' min req - 90' shown

Front Yard - 25' req - 25' req

Rear Yard - 25' req - 33.5 calculated

Side Yard - ~~14' req~~ - 20' shown @ 39' shown (can reduce on side to no less than 0' if add 6' to other side requirement of 26' → 39' shown) OK

9/29/04 PA 2 story
No stairs shown
Any where

Projections - none shown - front stairs 2.5 x 4' - side stairs 2.5 x 4' - rear bulkhead 4' x 6'

Width of Lot - 75' min - 90' shown

Height - 35' MAX ~ 24' to the ridge

NO SCALE given

Lot Area - 6,500 sq ft - 7740 sq ft

Lot Coverage/Impervious Surface - 25% MAX of 1935 sq ft MAX

Area per Family - 6,500 sq ft

revised plans dated 9/29/04

Off-street Parking - 25 spaces required - None shown 25 spaces

Loading Bays - N/A

Site Plan - minor 2004-0141

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Zone 6 - Zone X

NO DAYLIGHT BASEMENT

No grade elevations shown site plan

→ IS Robin Street There? up to City Standards? YES IS PAIRED

27.5 x 40 = 1100 sq ft
25.5 x 40 = 1020 sq ft
20' shown
4 x 6 = 24 sq ft
(2.5 x 4) 2 = 20 sq ft
1064 sq ft

272 K 001
6 2004

WARRANTY DEED

Theresa D. Joy of 234 Taft Ave., Portland, Cumberland County, Maine, being unmarried, for consideration paid grants to Jennifer L. McKenna of 41 Tamarack Circle, Gorham, ME 04038 with Warranty Covenants, the land in Portland, Cumberland County, Maine described in Exhibit A attached hereto and incorporated herein by reference.

This conveyance is a gift to a child of grantor.

Witness my hand and seal this 10th day of March, 2003.

Theresa D. Joy
Theresa D. Joy

State of Maine

Cumberland, ss.

March 10, 2003

Then personally appeared the above named Theresa D. Joy who acknowledged the foregoing instrument to be her free act and deed. Before me,

Brenda Caldwell

Notary Public

SEAL

Typed name of Notary:

D. BRENDA CALDWELL
Notary Public, Maine

SEAL

My Commission Expires June 17, 2005

EXHIBIT A

The following lots or parcels of land together with the improvements located thereon at or about Holm, Orchard and/or Taft Avenues in said Portland and being more particularly bounded and described as follows:

All the lots numbered 239 and 240 shown on a plan of "Portland Gardens," said Plan being recorded in Cumberland County Registry of Deeds in Plan Book 12, Page 23 and, in addition, that northeasterly portion of lot numbered 241 found by running a line from said Holm Avenue to said Taft Avenue parallel to said Orchard Avenue and remaining 16 feet distant from the southwesterly sidelines of said lot numbered 240.

Reference: Being part of the land conveyed to Josephine Aceto by deed recorded at Book 3194, Page 417 of Cumberland County Registry of Deeds.

Received
Recorded Register of Deeds
Mar 13, 2003 11:06:42A
Cumberland County
John B. O'Brien

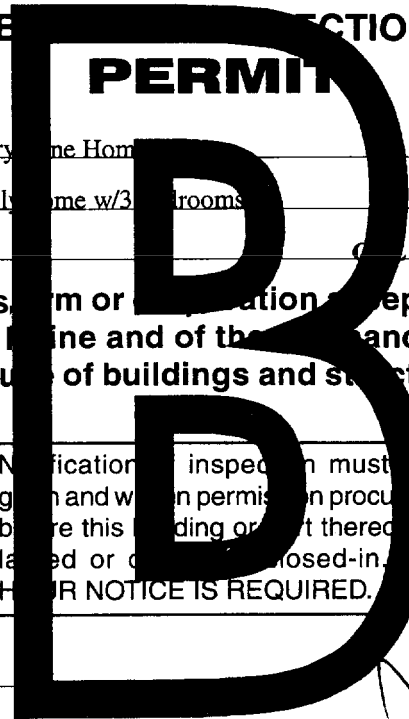
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

PERMIT ISSUE
OCT 26 2004
Permit Number: 040934
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT



This is to certify that Mckenna Jennifer L /Country Home Home
has permission to Erect 1100 sq ft Single family home w/3 bedrooms
AT 0 Holm Ave 272 K001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permission procured before this building or part thereof is laid or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanie Bourke 10/18/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection; Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Jennifer L McKenna
Signature of Applicant/Designee

10/18/04
Date

James Borte
Signature of Inspections Official

10/18/04
Date

CBL: 272-k-1 Building Permit #: 04-0934

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	272 K001001
Location	HOLM AVE
Land Use	VACANT LAND

Owner Address	MCKENNA JENNIFER L 41 TAMARACK CIR GORHAM ME 04038
---------------	--

Book/Page	19015/13
Legal	272-K-1-2-3 HOLM AVE 227-231 ROBIN ST 32-36 7740 SF

Valuation Information

Land	Building	Total
\$32,030	\$ 0.00	\$32,030

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.178	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
03/01/2003	LAND		19015-13

Picture and Sketch

Picture	Sketch
-------------------------	------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[New Search!](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	272 K006001
Location	234 TAFT AVE
Land Use	SINGLE FAMILY
 Owner Address	 JOY THERESA D 234 TAFT AVE PORTLAND ME 04102
 Book/Page	 272-K-6-7-8
Legal	TAFT AVE 228-234 ROBIN ST 24-30 8600 SF

Valuation Information

Land	Building	Total
\$32,660	\$55,120	\$87,780

Property Information

Year Built 1915	Style Old style	Story Height 2	Sq. Ft. 1010	Total Acres 0.197		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 7	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	2000	24X24	C	A
SHED-FRAME	1	1950	8X10	C	F
SHED-FRAME	1	1915	10X10	D	P

Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

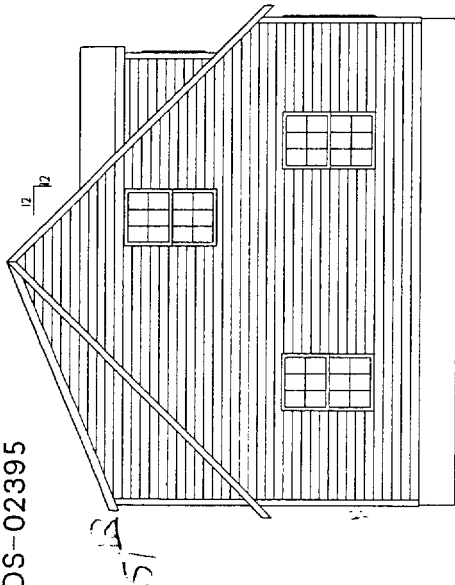
<u>Picture</u>	<u>Sketch</u>
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Click here to view Tax Roll Information.

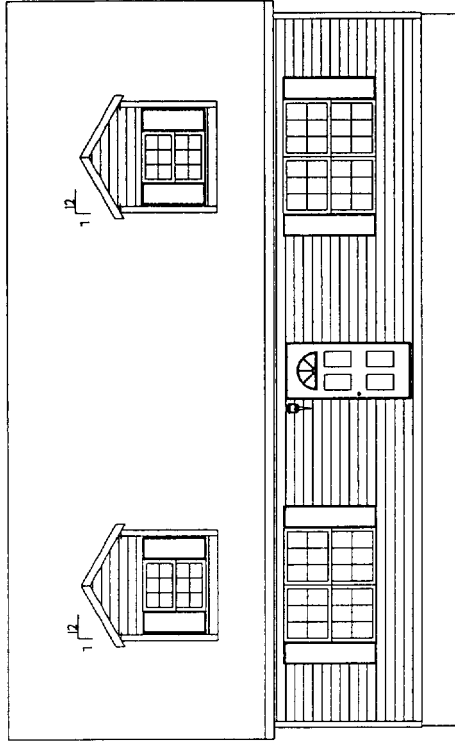
Any information concerning **tax** payments should be directed to the Treasury office at **874-8490** or e-mailed.

New Search

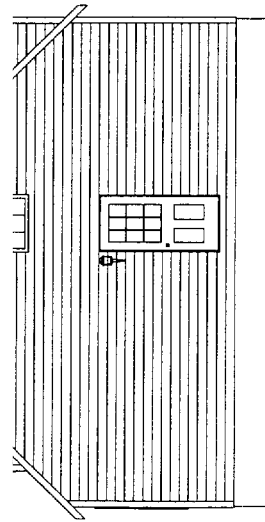
SERIAL NO: OH-MDS-02395



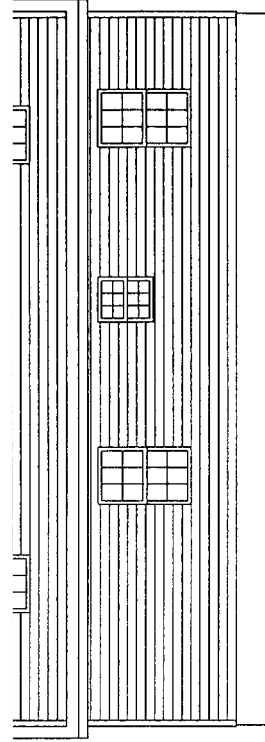
LEFT END ELEVATION



FRONT ELEVATION



RIGHT END ELEVATION



REAR ELEVATION

RECEIVED
272 R CCI
JUL 6 2004

NOTICE

THE ELEVATIONS AND PERSPECTIVES ARE HEREBY PROVIDED TO THE DISTRIBUTOR AS A GENERAL EXAMPLE OF THE POSSIBLE EXTERIOR APPEARANCE OF THE HOME BASED ON INFORMATION SUPPLIED TO OXFORD HOMES BY THE DISTRIBUTOR. SPECIFIC DIMENSIONS AND OPTIONS MAY ALTER THE EXACT ELEVATIONS AND PERSPECTIVES OF THE HOME. THE DISTRIBUTOR MUST REFER TO THE OXFORD HOMES ORDER FORM TO DETERMINE THE EXACT FEATURES.

** THESE RENDERINGS ARE USED FOR ILLUSTRATIVE PURPOSES ONLY **

DATE: MAY 21, 2004

CUSTOMER: MCKENNA

DEALER: COUNTRYLANE HOMES

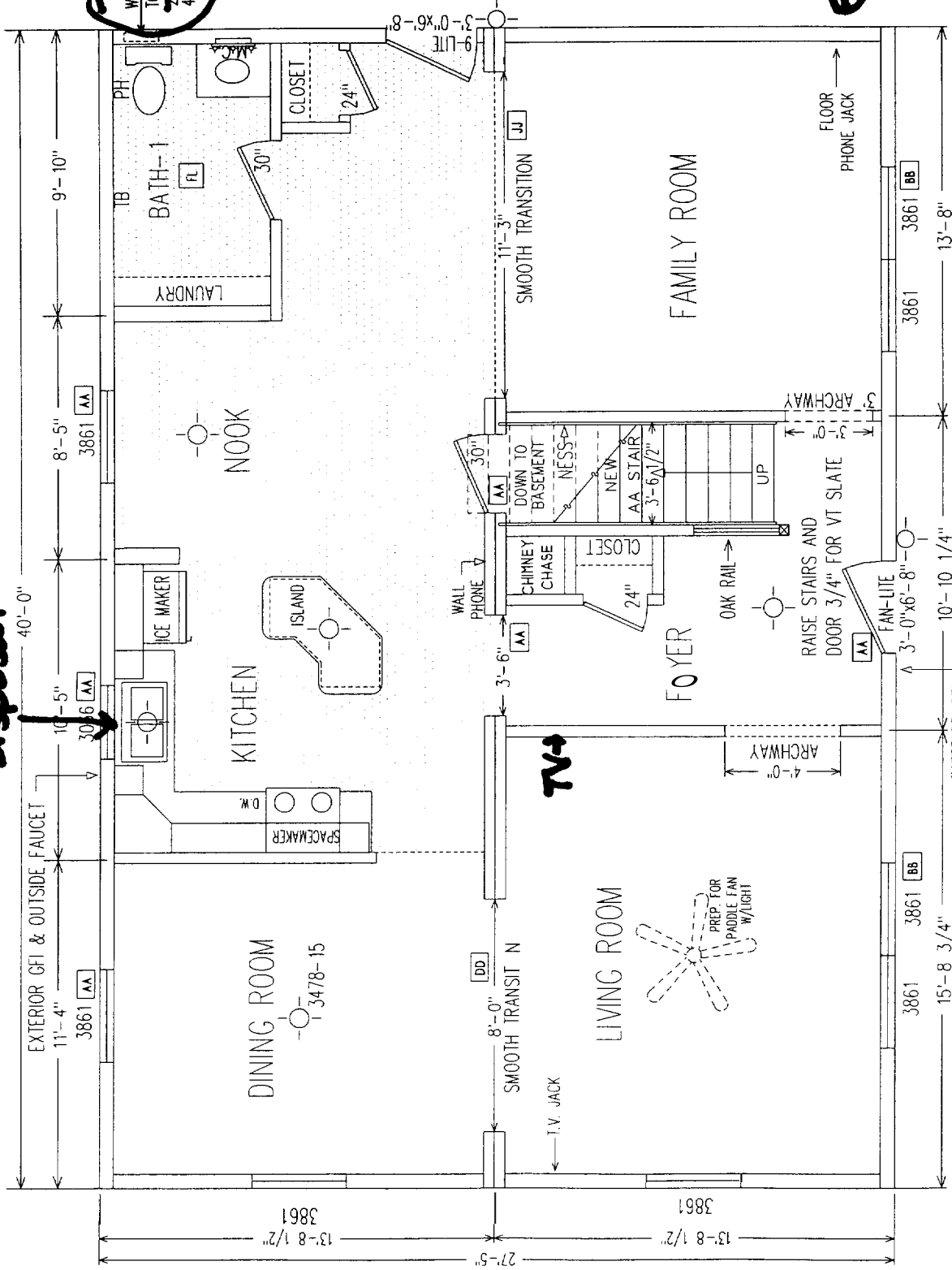


BUILT THE MAINE WAY SINCE 1975

7 Oxford Homes Lane • P.O. Box 679 • Oxford, Me. 04270-0879
(207) 539-4412 FAX: (207) 539-4259

Disposal

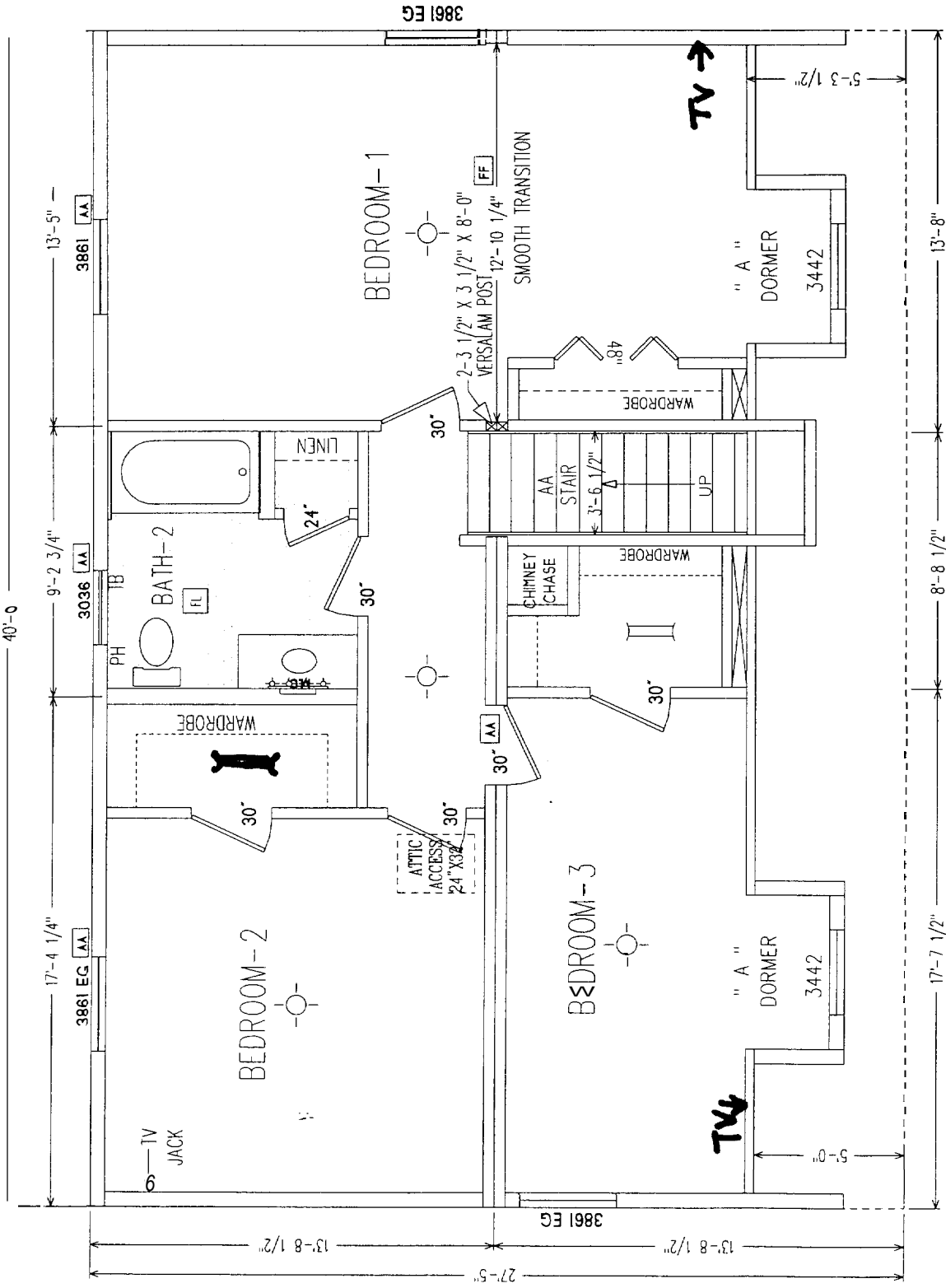
100 Amp
 WIRE DROP
 TO BSMNT.
 200 AMP
 40 CKT



PLEASE SIGN & RETURN:

TITLE: FIRST FLOOR PLAN	
MODEL: NORTHEAST BRADBURY FIN. CAFE 28440	
DRAFTER: SOB	DATE: 5/21/04
DEALER: COUNTRY, INC.	SERIAL #02395
7 Oxbow Homes, Inc., P.O. Box 678 - Oxbow, OR 97146	
C/O, REV. # (DATE)	COMMENTS:
1	
2	
3	
4	

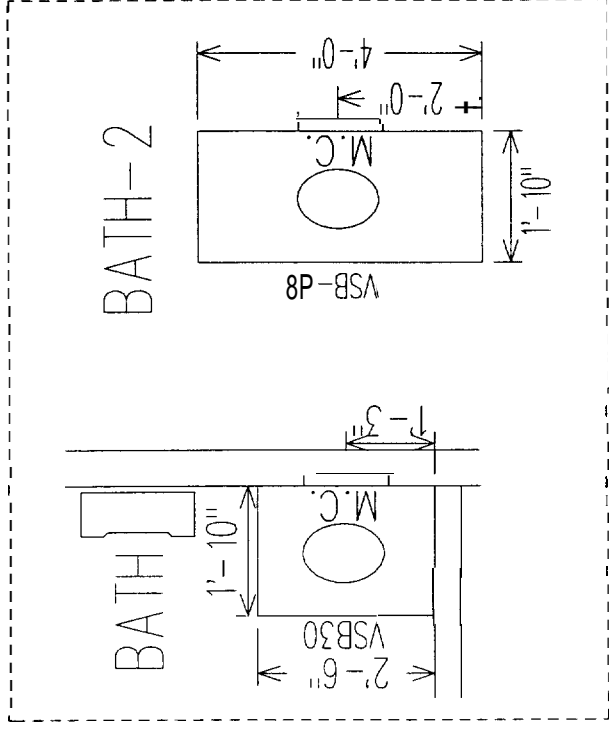
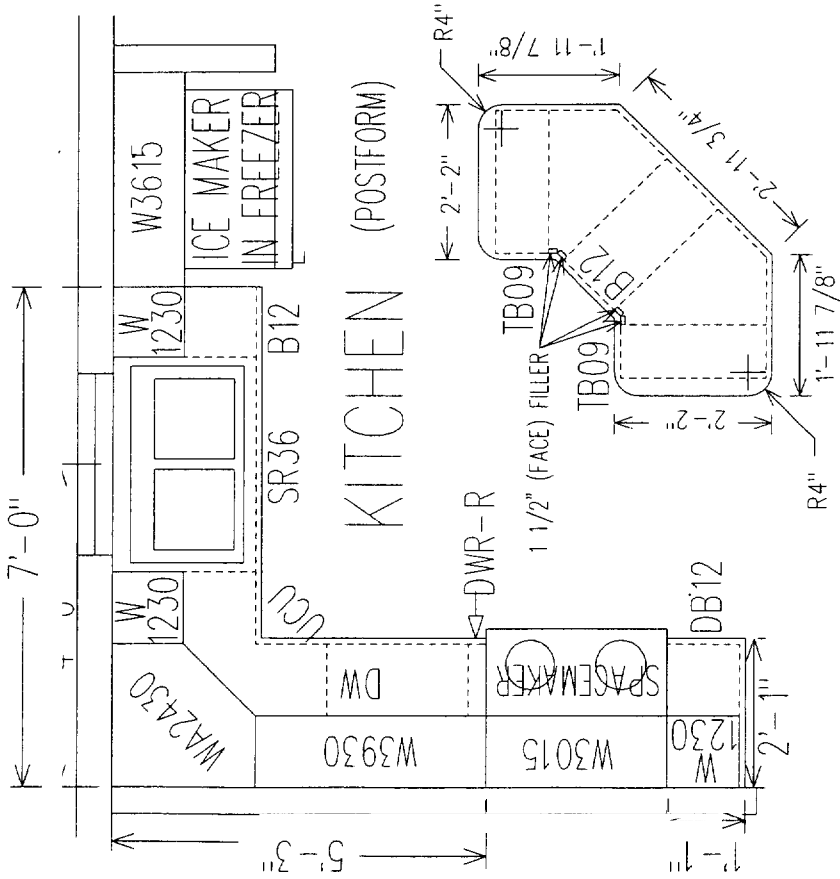
SERIAL #02395
 16" O.C WALLS/ROOF
 96" CEILING HEIGHT
 60LB/ 12/12 ROOF PITCH



OXFORD HOMES	
TITLE: SECOND FLOOR PLAN	
MODEL: MOREASTER BRADBURY FIN. CAPE 28X40	
DRAFTER: SOB	DATE: 5/21/04
DEALER: COUNTRYLANE	SERIAL #02395
C/O REV # (DATE)	COMMENTS
1	
2	

SERIAL #02395

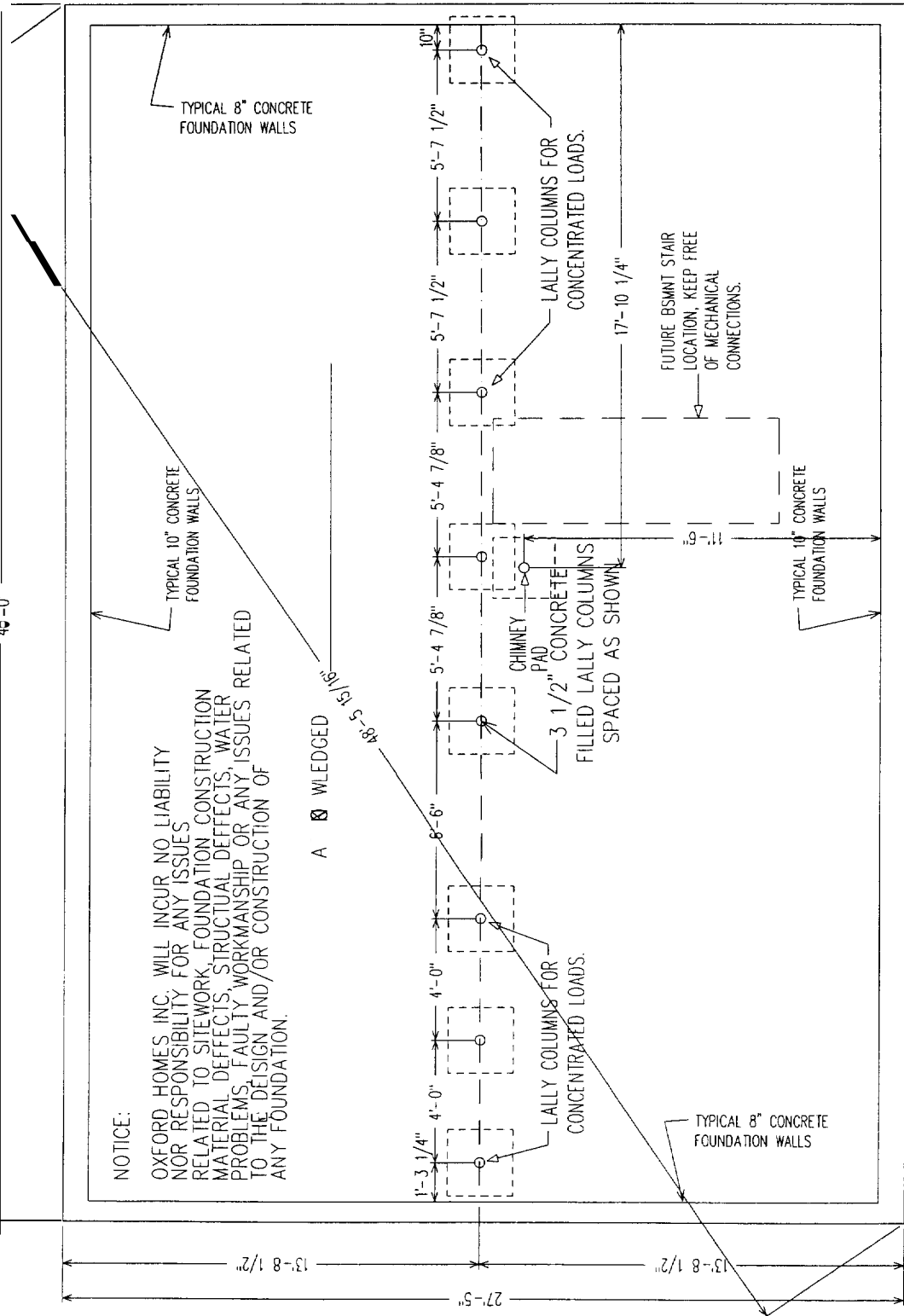
96" CEILING HEIGHT
60LB / 12/12 ROOF PITCH



27'-5" WIDE

KITCHEN & BATH LAYOUT
 SERIAL#02395- *S03*

40'-0"



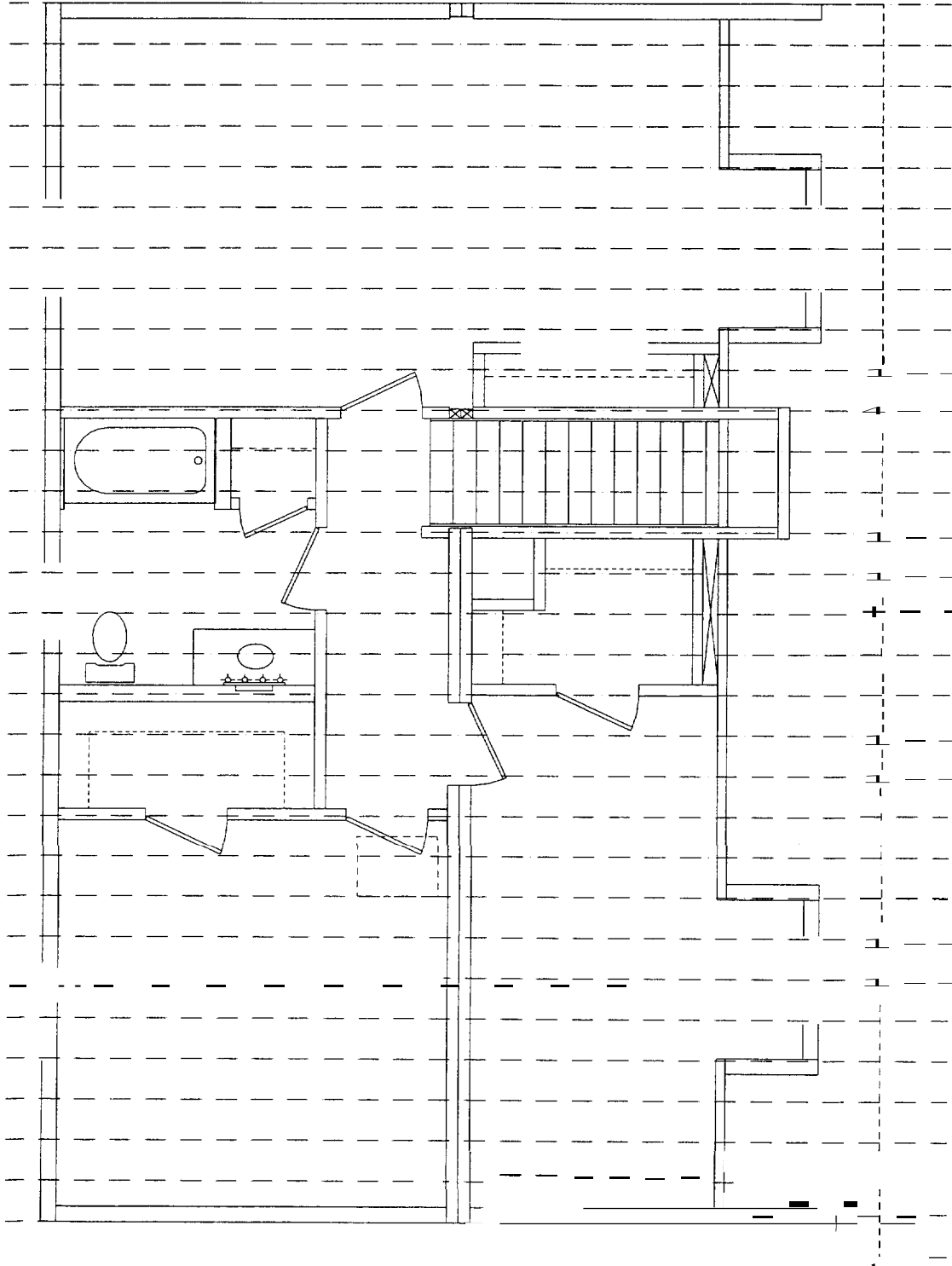
← pour footer full length down center line.

PLEASE SIGN & RETURN:

TITLE: FOUNDATION PLAN	
MODEL: MOREASTER BRADBURY FN. CAPE 2840	
DRAFTER: SOB	DATE: 5/21/04
DEALER: COUNTRYLANE	SERIAL #02395
7 0404 1/2" x 11" P.O. Box 818 Oxford, MA 01770-0818	
C/D REV# (DATE)	COMMENTS
1	
2	
3	
4	

NOTICE
 RESPONSIBILITY OF OTHERS FOR INSULATION IN FLOOR OR AT FOUNDATION WALLS; A MINIMUM OF R-10 W/ HEATED BSMN'T, R-19 IN UNHEATED BSMN'T.

NOTICE
 A SEPERATE ROOM WILL BE BUILT ON SITE BY OTHERS TO ENCLOSE HEAT SYSTEM



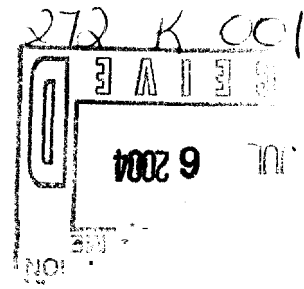
PLEASE SIGN & RETURN:

OXFORD HOMES
1 Oxford Homes - P.O. Box 879 - Grandville, MI 49427-0879

TITLE: TRUSS LAYOUT	DATE: 5/21/04
MODEL: NOREASTER BRADBURY FIN. CAPE 28X40	DRAWN BY:
DRAFTER: SOB	DEALER: COURTYLANE
SERIAL #02395	DRAWN DATE:
C/O REV.# (DATE)	COMMENTS:
1	
2	
3	
4	

35 TRUSSES-TRUSS #89-90H HM311101

Purchase and Sale Modular Home Contract



“Owner”

Paul McKenna

Jennifer McKenna

41 Tamarack Circle

Gorham, Me

(207) 839-2538

“Residential Builder / Distributor”

Country Lane Homes

P.O. Box 444

Auburn, Maine 04212-0444

(207) 786-3111

Physical location: 1211 Sabattus St.,
Lewiston, Maine

Section One: Structure and Site

Residential Builder / Distributor shall furnish the modular home specified in the attached plans together with all materials and labor necessary to assemble said modular home upon the following described property “Site”: Robin St. Portland, Me

Section Two: Plans

Residential Builder / Distributor shall order said modular home from the manufacturer in conformance with the plans, specifications, and breakdown initialed by the Residential Builder / Distributor and Owner. Residential Builder / Distributor is not responsible for furnishing improvements other than the structure, such as foundation, well, landscaping, grading, walkways, painting, heating systems, sewer systems, water systems, stairways, steps, decks, driveways, patios, aprons, etc. unless they are specifically stated in the breakdown.

Section Three: Payment

Owner shall pay Residential Builder / Distributor Five Thousand dollars (\$5,000) upon signing of this agreement. The Owner shall pay Residential Builder / Distributor the remaining balance due less fifteen hundred dollars (\$1,500) to complete finish work, upon the date of delivery to the site and prior to affixing said modular home to the real estate described in section one. If payment is not made, all scheduled work will cease and Residential Builder / Distributor reserves the right to charge Owner any fee’s associated with rescheduling, including associated interest and work scheduled on delivery day i.e. set crew, crane, transportation, etc.

Section Four: Preparation of Site and Boundaries

- A. Prior to the start of construction, Owner shall provide a clear, accessible building site, properly excavated and correctly zoned for the structure, and shall identify the boundaries of Owner’s property by stakes at all corners. Owner shall maintain such stakes in proper position throughout construction.
- B. If Owner cannot obtain a building permit within **10 days** of the effective date of this agreement, the Residential Builder / Distributor may decline this agreement of no further force or effect.

Section Five: Utilities

Prior to the start of construction, Owner shall provide and maintain, at Owner’s sole expense, an all-weather roadway to the building site. Owner shall, at Owner’s expense connect permanent electrical service (including the installation of the weather head or mast kit, meter enclosure and wire attached to the structure into the electrical panel provided by the Manufacturer), gas service,

oil service, water service, sewer service or any utility service that is applicable, unless specifically included in the breakdown.

Section Six: Responsibility

- A. Residential Builder / Distributor shall not be responsible for claims arising out of improper placement of positioning of boundary stakes or house stakes, and for damage to existing walks, driveways, cesspools, septic tanks, sewer lines, shrubs, lawns, trees, telephone, and electric lines and other property incurred in performance of work or delivery or placement of the modular home, it's materials and individual components; nor shall Residential Builder / Distributor be responsible for damages to persons or property occasioned by Owner, or his/her agents, third parties, act of God or other causes beyond the Residential Builder / Distributor's control.
- B. Owner shall hold Residential Builder / Distributor completely harmless from and shall indemnify Residential Builder / Distributor for all cost, damage, losses, and expenses, including judgments and attorney fees, resulting from claims arising from causes stated in this section.

Section Seven: Possession

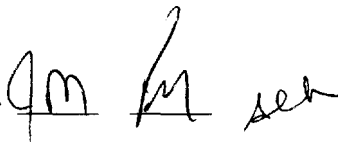
Owner shall not have possession of the modular home until such time **as** all payments or the other obligations required of Owner **as** set forth in this agreement have been fully paid by Owner, and a pre-occupancy walk through inspection is done with Residential Builder / Distributor and Owner. If possession of the modular home is taken by Owner before the obligations set forth in this agreement are met, without the written consent of the Residential Builder / Distributor, it shall be considered **as** acceptance of the modular home, by the Owner, as complete and satisfactory and the balance of the contract amount, whether for work completed or incomplete, shall become payable on demand.

Section Eight: Owner Financing

- A. Owner agrees to promptly complete the necessary requirements to obtain financing and to prepare the site for construction.
- B. In the event Owner has not secured acceptable financing and/or has not properly met the site preparation requirements, Owner agrees that the agreement price will be adjusted to the current list price in effect at the time of financing and lot preparation requirements are met.
- C. If the Owner's lending institution requires that all disbursements to independent third parties (earth contractors, well contractors, plumbing contractors, etc.) be routed, flowed or paid through one party, Residential Builder / Distributor agrees to be that party but assumes no responsibility to the validity of the payments nor the quality or completion **of** the work. All disbursements shall be payable to both the Residential Builder / Distributor and the Owner and the Owner's signature shall be sufficient evidence that the work being paid for is satisfactory to the Owner. Any agreement by the Residential Builder / Distributor under this section does not constitute the Residential Builder / Distributor **as an** agent, personal representative or general contractor for the Owner.

Section Nine: Governing Law

It is agreed that the laws of the State of Maine shall govern this agreement.

Initials 

Section Ten: Resolution of Disputes

If a dispute arises concerning the provisions of this contract or the performance by the parties, then the parties agree to settle this dispute by jointly paying for the following:

- Binding arbitration as regulated by the Maine Uniform Arbitration Act, with the parties agreeing to accept as final the arbitrator's decision

Section Eleven: Entire Agreement

This agreement shall constitute the entire agreement between the parties and any prior understanding or representation of any kind proceeding the date of this agreement shall not be binding upon either party except to the extent incorporated in this agreement.

Section Twelve: Change Orders

Any alteration or deviation from the above contractual specifications that results in a revision of the contract price will be executed only upon the parties entering into a written change order.

Section Thirteen: Assignments of Rights

The rights of each party under this agreement are personal to that party and may not be assigned or transferred to any person, firm, corporation, or other entity without the prior express and written consent of the other party. Both Owner and Residential Builder / Distributor agree that this agreement is binding upon its heirs and personal representatives.

Section Fourteen: Time of the Essence

It is specifically declared and agreed that time is of the essence of this agreement. Estimated work start date is the date of this agreement. Estimated work completion date is October 29, 2004.

Each party to this agreement has caused it to be executed at the said Residential Builder / Distributor's place of business on the date indicated below.

Jennifer L McKenna
Owner (Printed Name Here)

Paul McKenna
Owner (Printed Name Here)

Jennifer L McKenna
Owner (Signature Here)

[Signature]
Owner (Signature Here)

Sandra E. Hinkley
Residential Builder / Distributor

By its Pres. _____

5/1/04
Date

Initials J.M. fm seh

Breakdown for **Paul & Jennifer McKenna**

Manufacturer: Oxford Homes

Series: Noreaster

Style: Finished Cape

Model: Bradbury

Size: 27'5" x 40'

Options in addition to standard Noreaster specifications:

- Wire and switch for future ceiling fan in LR
- New England safety switch for furnace
- Paint exterior doors inside and outside
- Optional angled kitchen island
- Stained pine doors, jambs, and trim throughout
- Icemaker in freezer
- 5' bifold doors on larger master bedroom closet
- Microwave spacemaker rangehood
- Oak rail on one side of stairs
- 42" stairs to second floor
- Archway to Family Room from foyer

Finish work included with setup of modular home:

- Delivery of modular home from Oxford Homes to Site
- Crane and set crew to place home onto existing foundation
- Lally columns supplied and installed per Oxford Homes prints
- Stairs to basement built using 2" x 10" treads and 2" x 4" handrails on each side
- Install remaining trim inside
- Seam carpeting inside
- Install exterior siding on gable ends
- One set of fiberglass steps with two rails at one exterior door
- All trash related to installation removed **from** site

Electrical work to be completed:


- Install meter trim on home with mast kit, connect meter trim to electrical panel provided by manufacturer, wire in furnace, install basement-ceiling lights, and install hardwired smoke detector in basement. Customer is responsible for having electric company install service and wires to the meter trim.

Plumbing & Heating & Mason work to be completed:

- Supply materials and labor to install Peerless cast iron boiler
- 275 gallon oil tank with fittings, piped to outside
- All domestic plumbing and heating connections
- Single flue mason chimney

Purchase price of home with above described Options, Finish & Electrical work: **\$134,420.00**

**This price includes all applicable state sales tax.

Initials 

2004
OXFORD HOMES, INC.
NOREASTER SERIES FINISHED CAPE SPECIFICATIONS
-1-

WARRANTY :

PAUL BUNYAN BUYER PROTECTION PLAN
COMPREHENSIVE ONE (1) YEAR AND TEN(10) DAY WORKMANSHIP WARRANTY
RESIDENTIAL WARRANTY CORPORATION TEN (10) YEAR STRUCTURAL WARRANTY
OWENS CORNING TWENTY-FIVE (25) YEAR SYSTEM ADVANTAGE ROOFING WARRANTY

FLOOR CONSTRUCTION:

2" X 10" FLOOR JOISTS 16" OC WITH SOLID WOOD BRIDGING
TRUSS FLOOR SYSTEM IN BATH AREA ON SECOND FLOOR
DOUBLE PERIMETER RIM JOISTS
1" PLYWOOD FLOOR DECKING (TWO ½" LAYERS GLUED AND SCREWED) FIRST & SECOND FLOOR

WALL FRAMING:

8' SIDEWALL HEIGHT WITH FULL STUDS ON FIRST FLOOR
90" SIDEWALL HEIGHT WITH FULL STUDS ON SECOND FLOOR
2" X 6" EXTERIOR WALLS FRAMED 16" OC
2" X 4" INTERIOR PARTITIONS FRAMED 16" OC
7/16" OSB STRUCTURAL EXTERIOR WALL SHEATHING
7/16" OSB MARRIAGE WALL SHEATHING
DOUBLE 2" X 6" TOP PLATE

ROOF ASSEMBLY :

12/12 ROOF PITCH FRAMED 16" O.C. WITH 60 LB. ROOF LOAD
8" CONTINUOUSLY VENTED EAVE OVERHANG & GABLE ENDS (26' WIDES)
5" CONTINUOUSLY VENTED EAVE OVERHANG & GABLE ENDS (28' WIDES)
WHITE GALVANIZED DRIP EDGE
7/16" OSB ROOF SHEATHING
15 lb. SHINGLE UNDERLAYMENT BY SEAL-TITE
25 YEAR VENTSURE RIGID ROLL SHINGLE OVER RIDGE VENT BY OWENS CORNING
SUPREME FIBERGLASS ROOF SHINGLES WITH 25 YEAR WARRANTY BY OWENS CORNING FASTENED
WITH NAILS
CHIMNEY CHASE PER FLOOR PLAN
25 YEAR 36" WEATHERLOCK WATER PROOFING ICE & WATER SHIELD EAVE PROTECTION BY OWENS
CORNING
FULL SHED DORMER ON REAR ELEVATION
TWO 7/12 PITCH "A" DORMERS ON FRONT ELEVATION

INSULATION :

PAUL BUNYAN SUPER ENERGY PACKAGE
R-19 (6") KRAFT FACED FIBERGLASS EXTERIOR WALL PINK INSULATION BY OWENS CORNING
R-38 (12") FIBERGLASS PINK INSULATION IN ROOF BY OWENS CORNING
PINKWRAP HOUSEWRAP BY OWENS CORNING
CENTER SEAL MARRIAGE LINE INSULATOR & VAPOR BARRIER

DOORS & WINDOWS:

DOUBLE 4" MAINSTREET VINYL SIDING WITH LIFETIME WARRANTY BY CERTAINTEED
MATCHING J & SILL TRIM WHERE APPLICABLE
6" VINYL FACIA
MATCHING OUTSIDE CORNER POSTS
SMOOTH STAR THERMA-TRU FIBERGLASS INSULATED 6 PANEL FRONT DOOR WITH 20 YEAR
WARRANTY, SELF SEALING SILL, SOLID WOOD JAMB, SILL GUARD FLASHING SYSTEM, PAINTED
TO MATCH SHUTTERS
SMOOTH STAR THERMA-TRU FIBERGLAS INSULATED 9-LITE REAR DOOR WITH 20 YEAR WARRANTY,
SELF SEALING SILL, SOLID WOOD JAMB, SILL GUARD FLASHING SYSTEM
NON MASTERED POLISHED BRASS EXTERIOR LOCKSETS WITH LIFETIME WARRANTY BY YALE
MAINE BEARICADE SINGLE HUNG, TILT CLEAN, SOLID VINYL WINDOWS WITH 7/8" LOW E HIGH
PERFORMANCE INSULATED GLASS, GRIDS, & FIBERGLASS SCREENS BY WATERVILLE WINDOW
COMPANY
15" DELUXE LOUVERED SHUTTERS ON FRONT DOOR SIDE WITH COLOR COORDINATED SCREW CAPS
FIXTURE MOUNTS ON ALL EXTERIOR LIGHTS, FAUCETS AND RECEPTACLES

2004
OXFORD HOMES, INC.
NOREASTER SERIES FINISHED CAPE SPECIFICATIONS

-2-

MOISTOP FLASHING SYSTEM AROUND DOORS AND WINDOWS

ELECTRICAL :

POLISHED BRASS EXTERIOR LIGHT AT EACH ENTRANCE
WHITE TOGGLE LIGHT SWITCHES
30 CIRCUIT 100 AMP OR 40 CIRCUIT 200 AMP UNDERSLUNG ELECTRICAL SERVICE
SWITCHED RECEPTACLES IN EACH BEDROOM
2-EXTERIOR GFI RECEPTACLES (ONE ON EACH SIDE OF THE HOUSE)
ARC FAULT CIRCUIT INTERRUPTERS IN ALL BEDROOMS, LIVING ROOM, FAMILY ROOM AND DEN
WHERE APPLICABLE
BATTERY BACKUP ELECTRIC SMOKE DETECTORS IN EACH BEDROOM
ENERGY SAVING GASKETS IN RECEPTACLES & SWITCHES ON EXTERIOR WALLS
ELECTRIC DOOR CHIMES
2--PHONE JACKS IN STANDARD LOCATIONS
2--TV JACKS IN STANDARD LOCATIONS

PLUMBING :

STUBBED TYPE L COPPER SUPPLY PLUMBING WITH LEAD FREE SOLDER
PVC DRAIN PLUMBING STUBBED THROUGH FLOOR
EXTERIOR FROST FREE FAUCET
PLUMB FOR RADON REDUCTION

HEATING :

STUBBED FOR HOT WATER BASEBOARD HEAT

INTERIOR FINISH :

5/8" FIRE RESISTANT-SMOOTH PAINTED CEILINGS THROUGHOUT
SOLID OAK WINDOW SILLS IN NATURAL OR MID TONE FINISH
PAINTED PINE INTERIOR DOOR JAMBS AND WINDOW CASINGS
1/2" SMOOTH SHEETROCK, TAPED, JOINTED & 1 COAT OF DOVER WHITE PAINT AS PRIMER
THROUGHOUT
3 1/2" PAINTED PINE WHITE DELUXE COLONIAL BASE MOLDING
2 1/2" FULL PROFILE PAINTED PINE WHITE COLONIAL WOOD MOLDING THROUGHOUT
WHITE 6 PANEL COLONIAL INTERIOR DOORS WITH MORTISED STANLEY HINGES
PASSAGE DOORS ON WARDROBES
POLISHED BRASS INTERIOR PASSAGE & PRIVACY LOCKSETS WITH LIFETIME WARRANTY BY YALE
POLISHED BRASS & GLASS OR WHITE DINING ROOM CHANDELIER
WHITE CEILING LIGHTS WITH DECORATIVE GLASS GLOBES
VENTED WIRE SHELVING IN WARDROBES & CLOSETS

KITCHEN :

OLDE NEW ENGLAND RAISED PANEL OAK CABINETS IN NATURAL OR MID TONE FINISH WITH OAK
VENEER END PANELS
ROLLER GUIDES ON ALL DRAWERS
2 1/2" HEAVY CROWN MOLDING OVER CABINETS
POLISHED BRASS CABINET HARDWARE
CENTER SHELVES IN ALL CABINETS
CONCEALED CABINET DOOR HINGES
BASE LAZY SUSANS PER FLOOR PLAN
RECESSED EYEBALL LIGHT OVER SINK
DEEP STAINLESS DOUBLE BOWL OR DEEP STAINLESS VEGGIE SINK
SIGNATURE SERIES CHROME SINGLE CONTROL FAUCET, CHROME SPRAY AND 9" SPOUT WITH
LIFETIME WARRANTY BY DELTA
POSTFORM COUNTERTOP BY FORMICA
REFRIGERATOR OVERHEAD CABINETS
SINK TIPOUTS
PANTRY DOOR SHELVES WHERE APPLICABLE

2004
OXFORD HOMES, INC.
NOREASTER SERIES FINISHED CAPE SPECIFICATIONS
-3-

BATH :

OLDE NEW ENGLAND RAISED PANEL VANITIES IN NATURAL OR MID TONE FINISH WITH OAK VENEER
END PANELS
CHROME TOWEL & TISSUE HOLDERS IN ALL BATHS
1.6 GAL. WATER SAVER VITREOUS CHINA FLUSH IN ALL BATHS
ANTI-SCALD TUB FAUCETS WITH LIFETIME WARRANTY BY DELTA
LAVATORY FAUCETS WITH LIFETIME WARRANTY BY DELTA
BATH FAN/LIGHT COMBINATION IN ALL BATHS BY BROAN
POSTFORM COUNTERTOPS BY FORMICA
FRAMELESS MEDICINE CABINET WITH MIRROR LIGHT BAR IN ALL BATHS
VITREOUS CHINA LAVATORIES WITH OVERFLOWS
60" 1 pc. FIBERGLASS TUB
ENCLOSURE DOOR ON ALL 3' AND NEO ANGLE SHOWERS
CHROME RISERS ON FLUSHES
BRASS/CHROME PRIVACY LOCKSETS WITH LIFETIME WARRANTY BY YALE
CHROME CABINET HARDWARE

FLOOR COVERINGS :

29 OZ DASHING FHA, STAIN, FADE, & STATIC RESISTNT CARPET IN LIVING ROOM & ALL
BEDROOMS WITH 10 YEAR WARRANTY BY SHAW INDUSTRIES
6 LB 1/2" REBOND CARPET PAD WITH LIFETIME WARRANTY
TACK STRIP CARPET INSTALLATION
CONGOLEUM ARMORBRIGHT AND LEGACY RESILIENT NO WAX VINYL FLOORING

APPLIANCES :

30" ELECTRIC WHITE OR BISQUE RANGE WITH COLOR COORDINATED VISUALITE GLASS WINDOW BY
FRIGIDAIRE
18 CU.FT. DOUBLE DOOR FROST-FREE REFRIGERATOR BY FRIGIDAIRE
FDB750RC POTSCRUBBER DISHWASHER BY FRIGIDAIRE
DUAL SPEED POWER VENT/LIGHT COMBINATION KITCHEN RANGE HOOD BY BROAN
WHITE VINYL LOUVERED EXTERIOR RANGE VENT

ALL DESCRIPTIVE REPRESENTATIONS CONTAINED IN THESE SPECIFICATIONS ARE BELIEVED TO BE CORRECT ON THE DATE
OF THIS PUBLICATION. HOWEVER, DUE TO CONTINUED PRODUCT DEVELOPMENT, AVAILABILITY, DESIGN, AND PRODUCTION; THE
SPECIFICATIONS, EQUIPMENT, MATERIALS, COLORS, PRICES AND MODELS ARE SUBJECT TO CHANGE WITHOUT PRIOR NOTICE AND
OBLIGATION TO OXFORD HOMES, INC.

PLEASE NOTE

- ARTIST'S RENDERINGS MAY DEPICT MODELS THAT INCLUDE OPTIONAL FEATURES AND VARY FROM THE ACTUAL CONSTRUCTION DETAIL.
- EXTERIOR DIMENSIONS ARE APPROXIMATE OVERALL LENGTH AND WIDTH MEASUREMENTS.
- SQUARE FOOTAGE DIMENSIONS ARE BASED ON EXTERIOR TO EXTERIOR MEASUREMENTS AND ARE NOMINAL FIGURES ONLY.
- INTERIOR ROOM SIZES ARE APPROXIMATE INSIDE WALL TO WALL DIMENSIONS AND MAY INCLUDE WARDROBES, CLOSETS, ETC.
- VARIATIONS OF COLOR AND GRAIN TEXTURE IN REAL WOOD IS UNAVOIDABLE AND IS NOT CONSIDERED A DEFECT.
- ENGINEERED WOOD PRODUCTS MAY BE SUBSTITUTED FOR DIMENSION LUMBER AS DETERMINED BY OXFORD HOMES.
- THE FINISH STANDARD IS "JOURNEYMAN QUALITY WORKMANSHIP" WHICH MEANS WORKMANSHIP THAT EQUATES TO SECOND OR INTERMEDIATE LEVEL OF DEVELOPMENT OF PROFICIENCY IN A PARTICULAR TRADE OR SKILL, AND REFLECTS THE WORK OF A SKILLED WORKER, BUT WITHOUT THE PERFECTION OF A MASTER CRAFTSMAN.
- CERTAIN FINANCING PROGRAMS AS WELL AS SOME STATE & MUNICIPAL REGULATIONS MAY REQUIRE ADDITIONAL SPECIFICATIONS.
- OXFORD HOMES, INC. CONSTRUCTS SYSTEMS BUILT HOMES AND SELLS ONLY TO AUTHORIZED RESIDENTIAL BUILDER/DISTRIBUTORS. OXFORD HOMES, INC. IS INDEPENDENT OF ITS RESIDENTIAL BUILDER/DISTRIBUTORS AND IS ONLY RESPONSIBLE FOR MANUFACTURING AND SERVICING IN ACCORDANCE WITH OUR CURRENT CONSTRUCTION SPECIFICATIONS, OUR COMPREHENSIVE ONE YEAR AND TEN DAY WORKMANSHIP WARRANTY, THE RESIDENTIAL WARRANTY CORPORATION TEN YEAR STRUCTURAL WARRANTY, AND THE OWENS CORNING TWENTY-FIVE YEAR SYSTEM ADVANTAGE WARRANTY WHICH ARE DESCRIBED IN THE PAUL BUNYAN BUYER PROTECTION PLAN PROVIDED TO THE AUTHORIZED RESIDENTIAL BUILDER/DISTRIBUTOR.
- TRANSPORT FRAMES ARE THE PROPERTY OF OXFORD HOMES, INC. AND MUST BE STACKED AND AVAILABLE FOR PICKUP WITHIN THIRTY (30) DAYS OF DELIVERY FROM THE FACTORY.
- UNLESS OTHERWISE NOTED IN THE ABOVE SPECIFICATIONS, THESE HOMES ARE CONSTRUCTED TO MEET OR EXCEED THE FOLLOWING CODES AND STANDARDS:
 - A. THE BOCA NATIONAL BUILDING CODE/1993, TWELFTH EDITION - LAST PRINTED: NOVEMBER 1994, WITH THE FOLLOWING EXCEPTIONS:
 - 1. EXCEPT THAT THE FLAT ROOF SNOW LOAD, PF, NEED NOT EXCEED 40 PSF;
 - 2. WIND LOAD EFFECTIVE VELOCITY PRESSURES, PE, NEED NOT EXCEED 20 PSF;

OXFORD HOMES, INC.

NOREASTER SERIES FINISHED CAPE SPECIFICATIONS

-4-

3. PARAGRAPH 1017.3, EXCEPTION 8 SHALL BE CHANGED TO READ, "INTERIOR EGRESS DOORWAYS WITHIN DWELLING UNITS NOT REQUIRED TO BE ADAPTABLE OR ACCESSIBLE SHALL HAVE A MINIMUM CLEAR DIMENSION BETWEEN DOOR STOPS OR BETWEEN THE DOOR STOP ON THE LATCH SIDE AND THE DOOR, WHICHEVER IS LESS, OF 28 INCHES;" AND
 4. A DEFINITION FOR ATTIC, HABITABLE SHALL BE INCLUDED AND SHALL READ AS FOLLOWS:
"A HABITABLE ATTIC IS AN ATTIC WHICH HAS A STAIRWAY AS A MEANS OF ACCESS AND EGRESS AND IN WHICH THE CEILING AREA AT A HEIGHT OF 7 1/3 FEET (2235MM) ABOVE THE ATTIC FLOOR IS NOT MORE THAN ONE-THIRD OF THE AREA OF THE NEXT FLOOR BELOW."
- B. NFPA #31, STANDARDS FOR THE INSTALLATION OF OIL BURNING EQUIPMENT, 1997 EDITION - EFFECTIVE DATE: FEBRUARY 7, 1997; AND NFPA #211, CHIMNEYS, FIREPLACES, VENTS AND SOLID FUEL-BURNING APPLIANCES, 1996 EDITION - EFFECTIVE DATE: AUGUST 9, 1996;
- C. THE BOCA NATIONAL PLUMBING CODE/1993, NINTH EDITION - LAST PRINTED: SEPTEMBER 1995; AND
- D. NFPA #70, NATIONAL ELECTRICAL CODE, 1996 EDITION - RELEASED ON JULY 21, 1995; AND
- E. NFPA #101, LIFE SAFETY CODE, 1994 EDITION - EFFECTIVE DATE: FEBRUARY 11, 1994; EXCEPT THAT: PARAGRAPH 5-2.2.2.1, UNDER NEW STAIRS, THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9". A 1" NOSING SHALL BE PROVIDED ON ALL TREADS WITH TREAD WIDTH LESS THAN 10". THIS EXCEPTION ALSO APPLIES TO BASEMENT STAIRS WHEN THE STAIRS ARE A COMPONENT OF A FACTORY DESIGN, WHICH SPECIFIES THE NECESSARY BASEMENT HEIGHT AND THE DESIGN HAS BEEN CERTIFIED BY THE THIRD PARTY INSPECTION AGENCY.
- F. THE ABOVE STANDARDS AND RULES MAY BE PURCHASED FROM:

BUILDING OFFICIALS & CODE ADMINISTRATORS INTERNATIONAL, INC (BOCA)
4051 WEST FLOSSMOOR ROAD
COUNTRY CLUB HILLS, IL 60478-5795
TELEPHONE: (800)214-4321

NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
BATTERYMARCH PARK
PO BOX 9101
QUINCY, MA 02269-9101
TELEPHONE: (800)344-3555



Sales Center:

1211 Sabatius Street • Route 126 • Lewiston, Maine 04240 ■ (207) 786-3111

Mailing Address:

PO. Box 444 • Auburn, ME 04212-0444

www.countrylanehomes.com

10/12/04

OCT 14 2004

To: City of Portland Code / Permits

RE: McKenna's permit application for Robin Street

Dear Jeanie,

In addition to the plans enclosed, we are providing the basement stairs for this modular home. We will build the stairs with 2"x10" treads, 2"x4" handrails with one side having a graspable dowel with end returns between 34" and 38" long. The riser height will not exceed 7 3/4" and guardrails on each side will have 4 3/8" spacing.

Also, the exterior stair we provide is a molded fiberglass stair, 4' wide, with rails on each side.

I have mailed a copy of the cross section and foundation plan to the McKenna's to forward to their concrete contractor.

Please feel free to contact me with any further questions so I can help with the timeliness of getting their building permit issued. Their home is ready for delivery, and is currently being stored at the Oxford Homes factory. We are hoping to install their home this fall before the frost sets in.

Thanks,

Sandra E. Hinkley
/Sandra E. Hinkley, Pres.
Country Lane Homes

Mckenna

Date Received at PFS _____



ADDITIONAL OR MODIFIED ACCEPTANCE (MODULAR/PANELIZED)

This form is to be used only when the manufacturer is seeking acceptance of an additional model, modified model. Or model name change which use a previously accepted building system.

Current PFS Building System Acceptance# 99-387

Model Name/No OH-MDS 02395

Manufacturer's Name Oxford Homes

Plant(s) at which model will be produced Oxford, ME

Circle One: NEW MODEL MODIFICATION'

TECHNICAL DATA (Submit 2 copies of this form and all data)

	Conforms	
	Yes	No
Floor Plan Showing:		
Building Size (LXW Dimensions)	X	
Room Sizes, Light & Ventilation Schedule	X	
Exit Requirements	X	
Electrical Outlet Spacing & Smoke Detector	X	
Location Of Labels & Data Plates	X	
Use Group, Type Const., Total Sq. Ft. Area	X	
Plumbing System Design Or Reference No. (N/A)	X	
Heat Loss Calculations or Reference No. (See Attached)	X	
Furnace Size/Model No. (N/A)	X	
Thermal Performance Calculations or Reference No. (See Attached)	X	
Electrical Load Calculations or Reference No. (See Attached)	X	
Service Size and Location (100 AMP, Basement)	X	

Submit model to the following states: Maine

*Description of Modification _____

Submitted by Shannon O. Bissonnette Date August 2, 2004

For PFS Use

Harold Raup
2004 08 16
15 48 43-04'00

Reviewed and Approved by _____ Date _____

Remarks None

MODEL WAS DEVIATED

THIS FORM SHALL BE FILLED OUT COMPLETELY WITH EACH MODEL ACCEPTANCE OR MODIFICATION PRIOR TO SUBMITTAL TO PFS.

cc: File/Mfg/Insp

OCT 14 2004



**PFS Corporation
Northeast Region**

APPROVED

**H Raup - 3
8/16/04**

Approval limited to
Factory Built Portion

DATE: August 2, 2004
BY: Shannon O. Bissonnette

Mfg: Oxford Homes Inc.
Model: OH-MDS- 02395

Air conditioning (100%)
Central Electric Space Heating (_____ x55)
Less than 4 separately controlled electric space heating units (_____ x55)
Four or more separately controlled electric space heating units (_____ x40)
Use the larger of the air-conditioning load or the diversified demand of the heating load.

Watts or Volts-Amps

0
0
0
0

Other loads:

Bath
General Lighting (1st floor 28 x 40 + 2nd floor _____)x3
Small Appliances (2 x1500)
Laundry (1500 Watts)
Furnace
Dryer
Water Heater
Range (use nameplate rating)
Dishwasher
Garbage Disposal
Other

Watts or Volt-Amms	Circuit Ampage	Wire size
1,500	20 amp	12/2 W/G
2690	15 amp	14/2 W/G
3000	20 amp	12/2 W/G
1,500	20 amp	12/2 W/G
1,540	15 amp	14/2 W/G
5,600	30 amp	10/3 W/G
4,500	25 amp	10/2 W/G
12,100	40 amp	8/3 W/G
1,500	20 amp	12/2 W/G
1,500	15 amp	14/2 W/G
Fan light	230	15 amp
Range Hood	253	15 amp
Refridgerator	1,500	20 amp

Subtotal 37,413

First 10KW of other loads at 100%
Remainder of other loads at 40% (27,413 x.40)
(Total Electric Heat from above)
Total Calculated Load

10,000
10,965
0
20,965

Required Service Size 20,965 /240= 87 amps

Installed Panel Size 100 amps

OCT 14 2004

OXFORD HOMES, Inc.
P.O. Box 167 783 Main Street
Oxford, Maine 04270
207-539-4412

PFS Corporation
Northeast Region
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8/16/04
Approval limited to
Factory Built Portion

02395 Aug 02, 2004

Noreaster Bradbury Finished Cape 28x40 Country Lane

Total Btuh 43336 @ 90 Dtd Total Cfm = 2166.832 Total Gpm 4.3 Tr = ~~BY 20~~

Total Radiation Feet = 86.7 @ 170 F. Radiation output-: 500 Btu per Foot

Room Number	1	2	3	4
Room Name	Bath-1	Kitch/Nook	Dining Rm	Living Roo
Height	8.	8.	8.	8.
Length	9.83	18.83	11.33	15.73
Width	13.71	13.71	13.71	13.71
Exp Glass Area	21.9	24.17	32.88	49.32
Exp Wall Length	23.54	18.83	25.04	29.44
Sun Heat /SqFt Kilowatts				
People x 1000				
R INFILTRATION	2106	1106	1290	1580
F CEILING	38 319	38 611	38 368	38 511
A FLOOR	19 638	19 1223	19 736	19 1021
C PARTITION				
T WALL	19 788	19 599	19 793	19 882
O GLASS	3 657	3 725	3 986	3 1480
R SUN LOAD				
S KW BTUH				
BTUH	4509	4265	4174	5474
CFM	225	213	209	274
# 6in DUCTS	2.5	2.4	2.3	3.
Radiation Ft	9.	8.5	8.3	10.9

Room Number	5	6	7	8
Room Name	Foyer	Family Roo	Bed-1	Bath-2
Height	8.	8.	7.5	7.5
Length	10.85	13.8	13.42	9.23
Width	13.71	13.33	22.42	9.29
Exp Glass Area	21.9	32.88	43.06	7.73
Exp Wall Length	10.85	27.13	35.83	9.23
Sun Heat /SqFt Kilowatts				
People x 1000				
R INFILTRATION	1053	1290	1476	1251
F CEILING	38 352	38 436	38 712	38 203
A FLOOR	19 705	19 872	19 1425	19 406
C PARTITION				
T WALL	19 308	19 872	19 1069	19 291
O GLASS	3 657	3 986	3 1292	3 232
R SUN LOAD				
S KW BTUH				
BTUH	3075	4456	5974	238
CFM	154	223	299	119
# 6in DUCTS	1.7	2.5	3.3	1.3
Radiation Ft	6.1	8.9	11.9	4.8

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Room Number	9	10	11	12
Room Name	Hall-2	Bed-2	Bed-3	7 7 7 7
Height	7.5	7.5	7.5	
Length	9.23	17.35	26.33	
Width	4.79	13.71	8.71	
Exp Glass Area		16.44	24.17	
Exp Wall Length		31.06	35.04	
Sun Heat /SqFt				
Kilowatts				
People x 1000				
R INFILTRATION		912	1106	
F CEILING	38 105	38 563	38 543	
A FLOOR	19 209	19 1127	19 1086	
C PARTITION				
T WALL		19 1026	19 1130	
O GLASS		3 493	3 725	
R SUN LOAD				
S KW BTUH				
BTUH	314	4121	4591	
CFM	16	206	230	
# 6in DUCTS	.2	2.3	2.6	
Radiation Ft	.6	8.2	9.2	

Room Number	13	14	15	16
Room Name				
Height				
Length				
Width				
Exp Glass Area				
Exp Wall Length				
Sun Heat /SqFt				
Kilowatts				
People x 1000				
R INFILTRATION				
F CEILING				
A FLOOR				
C PARTITION				
T WALL				
O GLASS				
R SUN LOAD				
S KW BTUH				
BTUH				
CFM				
# 6in DUCTS				
Radiation Ft				

PFS Corporation
Northeast Region
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8/16/04
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OCT 14 2004

Permit Number

Checked By/Date

REScheck Compliance Certificate 1995 MEC

REScheck Software Version 3.5 Release 1d
Data filename: Untitled.rck

PROJECT TITLE: MODEL ENERGY CODE REPORT

CITY: Portland
STATE: Maine
HDD: 7378
CONSTRUCTION TYPE: Single Family

DATE: 08/10/04
DATE OF PLANS: 8-2-04

PROJECT DESCRIPTION:
OH-MDS-2395ABCD
NOREASTER - FINISHED CAPE
MODEL - BRADBURY

DESIGNER/ CONTRACTOR:
OXFORD HOMES INC.
OXFORD, ME.

PROJECT NOTES:
BUILDER / DEALER - COUNTRY LANE HOMES
AUBURN, ME.
HOME LOCATION - PORTLAND, ME.
CUSTOMER - McKENNA

OCT 14 2004

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COMPLIANCE: Passes

Maximum UA = 316
Your Home UA = 294
7.0% Better Than Code (UA)

	Gross Area or Perimeter	Cavity R-value	Cont. R-value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	977	38.0	0.0		29
Wall 1: Wood Frame, 16" o.c.	2009	19.0	0.0		103
Window 1: Vinyl Frame: Double Pane with Low-E	249			0.370	92
Door 1: Solid	41			0.140	6

Wall 2: Wood Frame, 16" o.c.	140	11.0	0.0	12
Floor 1: All-Wood Joist/Truss: Over Unconditioned Space	1097	19.0	0.0	52

COMPLIANCE STATEMENT The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 1995 MEC requirements in REScheck Version 3.5 Release 1d (formerly MECcheck) and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Builder/Designer _____ Date _____

PFS Corporation
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OCT 1 A 2004