

APPROVAL STAMPS
FOR STATE USE ONLY

7

CITY OF PORTLAND MAINE
APPROVED CONSTRUCTION PLANS
OCT 14 2004
SUPERSEDES ALL
PRIOR DATED PLANS

8 FOR T.P.I.A. USE ONLY

PFS CORPORATION
Approval Limited to Factory Built Portion Only
State: Maine
Signature: *Harold Rough*
Title: Staff Plan Reviewer
Date: 8/16/04

9 LABEL UNDER KITCHEN SINK.
DATA PLATE & LABEL LOCATIONS
DATA PLATE, PFS, WARRANTY, & STATE

TITLE: COVER SHEET
MATERIAL: 6FT-10IN x 42IN x 90
DR. BY: SOB DATE: 8/2/04
SCALE: 1/4" PG. NO.: 1

1 **OXFORD HOMES**
Route 26 • Oxford, Maine 04270 • (207) 539-4412

2 THIRD PARTY INSPECTION AGE
P F S CORPORATION
PROJECT NAME : OH-MDS-02395ABCD
SPECIAL USE PROVISIONS, CONDITIONS, OR LIMITATIONS

SITE LOCATION:
PORTLAND, MAINE
USE GROUP : R-3
BUILDING TYPE : 5B
BUILDING WITH-IN FIRE LIMITS
YES _____ NO X
REQUIRED BUILDING SET-BACK
_____ 10 FT.

5 TYPE OF HEATING SYSTEM
A. TYPE OF HEAT HWBB
APPROVAL AGENCY U.I.
TYPE OF FUEL N/A
B. TYPE OF CHIMNEY N/A
C. TOTAL BTU'S 42,810

6 ENERGY PROVISIONS
SEE ATTACHED RES CHECK

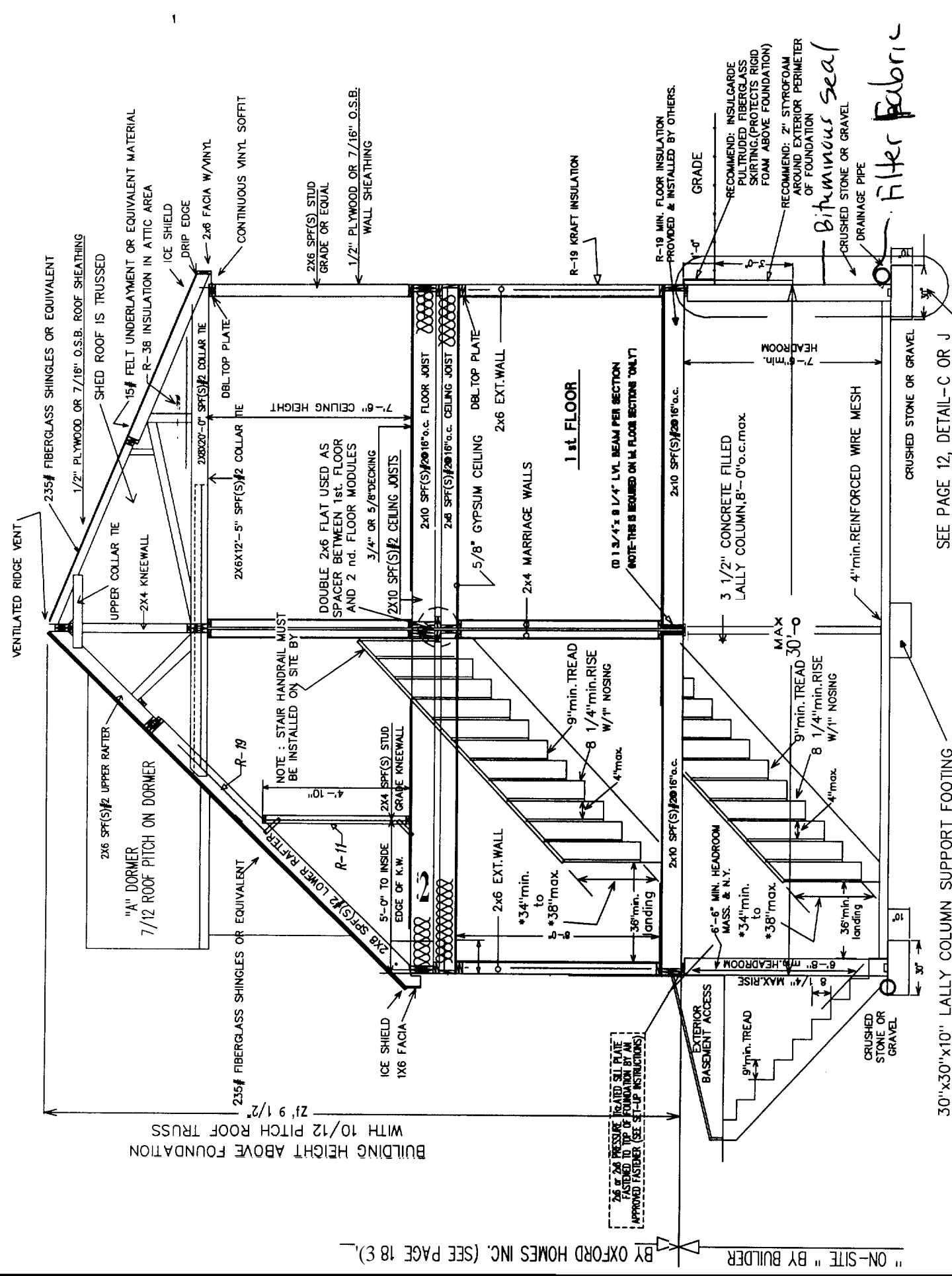
8 SPECIAL SYSTEMS BY TYPE
1. TYPE OF FIRE ALARM: INTERCONNECTED AC/DC (SD) *
2. TYPE OF FIRE SUPPRESSION SYSTEM: N/A
3. OTHER: N/A

9 FLOOR INSULATION MAY BE OMITTED WITH BASEMENT HEATED AND R-10 USED IN FOUNDATION.

3 DRAWING INDEX

PG.	DESCRIPTION	DATE	REV.
1	COVER SHEET	8/2/04	N/A
2	CROSS SECTION	8/2/04	N/A
3	ELEVATION	5/21/04	N/A
4	FOUNDATION	5/21/04	N/A
5	1ST FLOOR PLAN	8/2/04	N/A
5A	2ND FLOOR PLAN	8/2/04	N/A
6	1ST FL ELECTRICAL	8/4/04	N/A
6A	2ND FL ELECTRICAL	8/4/04	N/A
7	SUPPLY PLUMB.	8/5/04	N/A
8	DRAIN PLUMB.	8/5/04	N/A
9	TRUSS PRINT	N/A	N/A
TOTAL NO. OF SHT.S :		11	

NOTES
N/A = NOT APPLICABLE



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SEE PAGE 12, DETAIL-C OR J

30"x30"x10" LALLY COLUMN SUPPORT FOOTING

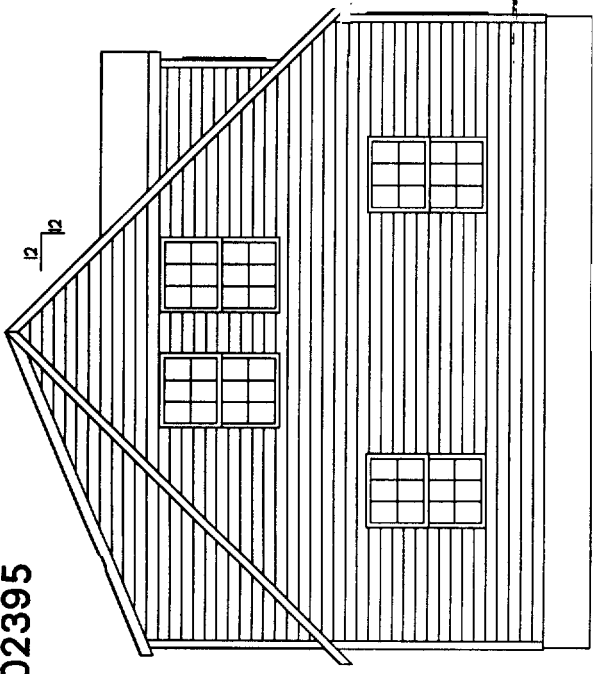
Bituminous seal
Filter Fabric

2x6 @ 24" PRESSURE TREATED SILL PLATE FASTENED TO TOP OF FOUNDATION BY AN APPROVED FASTENER (SEE SET-UP INSTRUCTIONS)

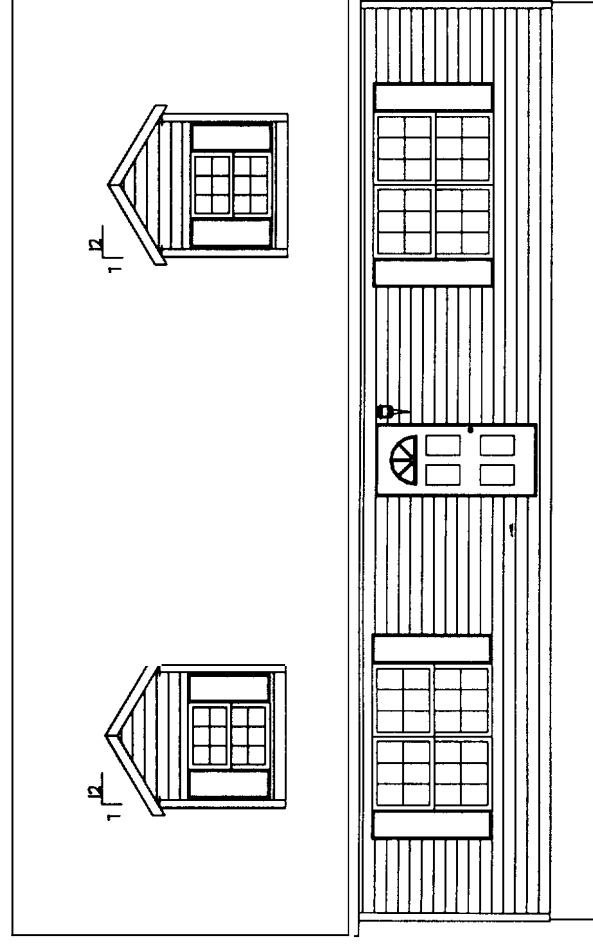
AUG 4 2004

E E I V E

SERIAL NO: OH-MDS-02395

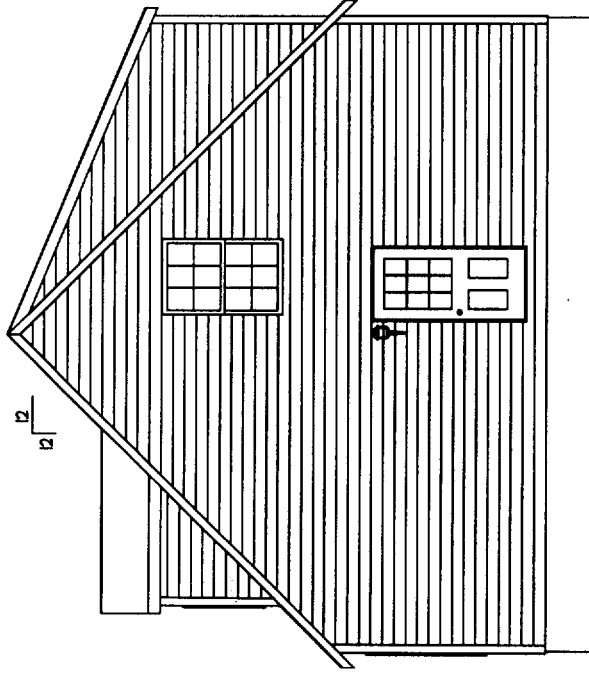


LEFT END ELEVATION

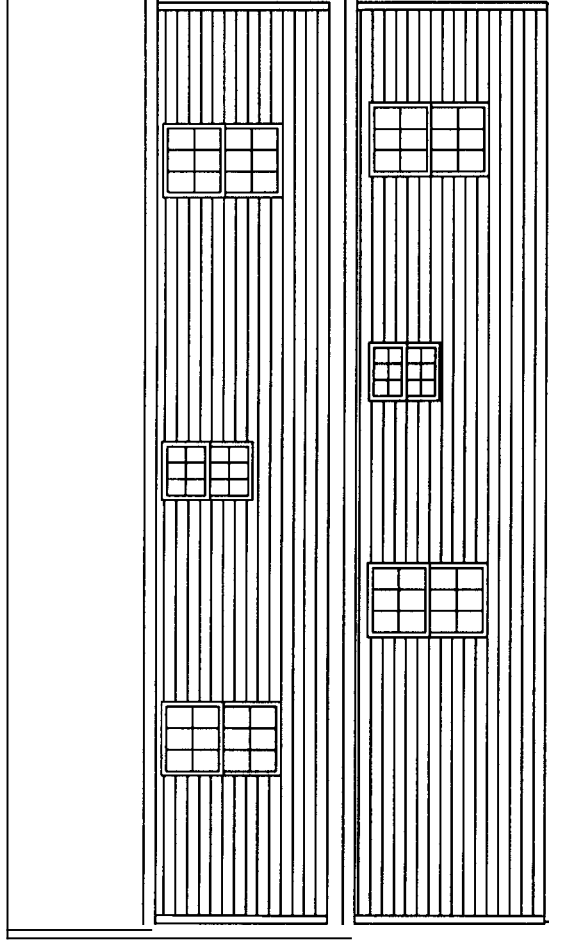


FRONT ELEVATION

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RIGHT END ELEVATION



REAR ELEVATION

REVISION: ADD 3861 TO LEFT END ELEVATION
8/2/04 *SOB*

DATE: MAY 21 2004
CUSTOMER: MCKENNA
D ALER: COUNTRYLANE HOMES

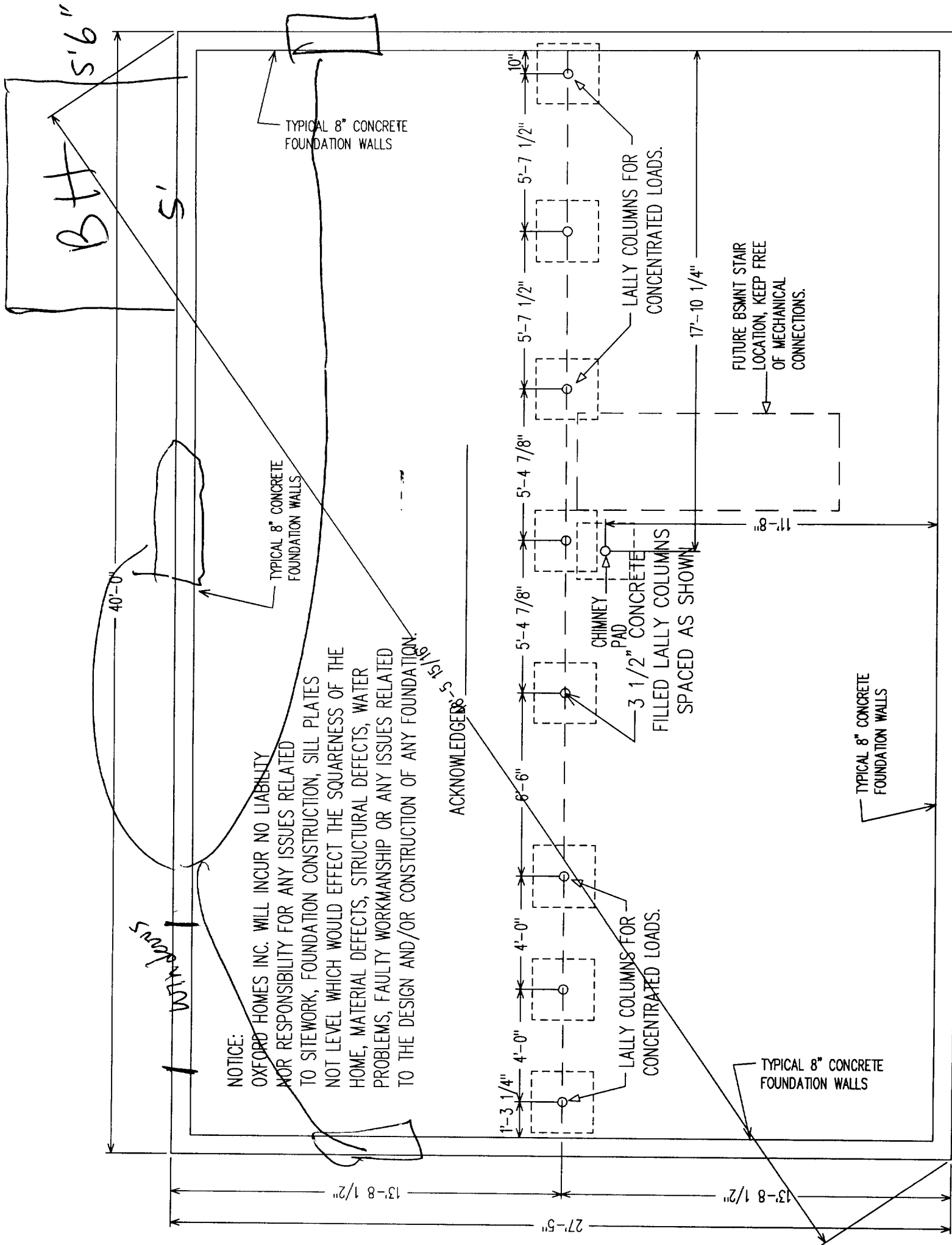
NOTICE

THE ELEVATIONS AND PERSPECTIVES ARE HEREBY PROVIDED TO THE DISTRIBUTOR AS A GENERAL EXAMPLE OF THE POSSIBLE EXTERIOR APPEARANCE OF THE HOME BASED ON INFORMATION SUPPLIED TO OXFORD HOMES BY THE DISTRIBUTOR. SPECIFIC DIMENSIONS AND OPTIONS MAY ALTER THE EXACT ELEVATIONS AND PERSPECTIVES OF THE HOME. THE DISTRIBUTOR MUST REFER TO THE OXFORD HOMES ORDER FORM TO DETERMINE THE EXACT FEATURES.

" THESE RENDERINGS ARE USED FOR ILLUSTRATIVE PURPOSES ONLY "



7 Oxford Homes Lane • P.O. Box 679 • Oxford, Me. 04270-0679
(207) 539-4412 FAX: (207) 539- 59



NOTICE:
 OXFORD HOMES INC. WILL INCUR NO LIABILITY
 NOR RESPONSIBILITY FOR ANY ISSUES RELATED
 TO SITEWORK, FOUNDATION CONSTRUCTION, SILL PLATES
 NOT LEVEL WHICH WOULD EFFECT THE SQUARENESS OF THE
 HOME, MATERIAL DEFECTS, STRUCTURAL DEFECTS, WATER
 PROBLEMS, FAULTY WORKMANSHIP OR ANY ISSUES RELATED
 TO THE DESIGN AND/OR CONSTRUCTION OF ANY FOUNDATION.

ACKNOWLEDGED: 5/15/04

APPROVAL STAMP

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-REVISION UPDATES-
 REVISED:
 REVISION BY:
 DATE REVISED:

OXFORD HOMES
 "BUILT THE MAINE WAY SINCE 1977"
 7 Oxford Homes Lane - P.O. Box 679 - Oxford, Me. 04270-0679

TITLE:	FOUNDATION PLAN
MODEL:	OH-MDS-02395
DR. BY:	SOB
SCALE:	NTS
DATE:	8/02/04
PG. NO.:	4

****NOTICE****
 RESPONSIBILITY OF OTHERS FOR
 R-19 INSULATION IN FLR. WITH
 BSMNT UNHEATED, OR R-10 @
 BSMNT WALL WITH HEATED BSMNT

****NOTICE****
 A SEPERATE ROOM WILL BE BUILT ON SITE
 BY OTHERS TO ENCLOSE HEAT SYSTEM

031 1 2004

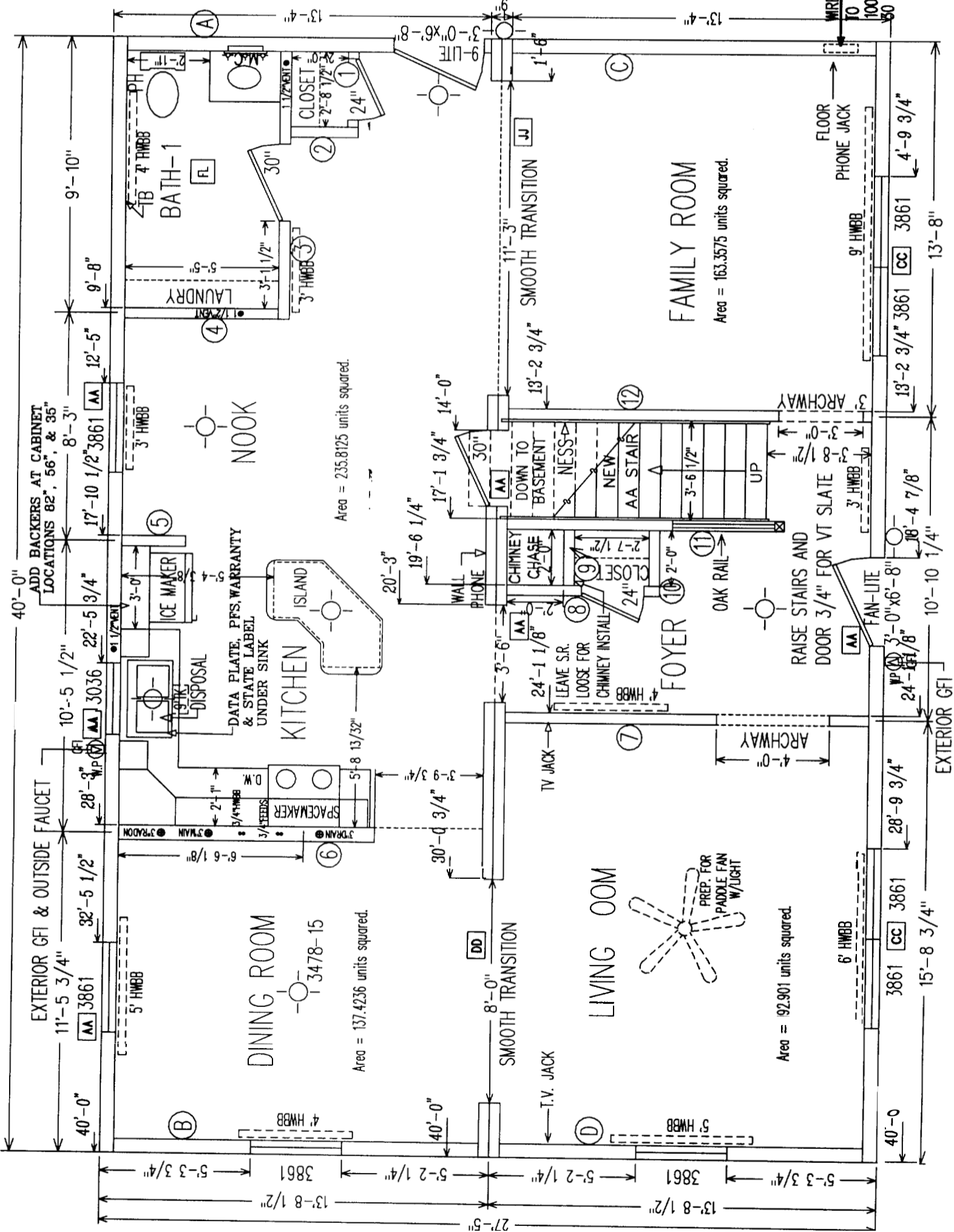
FOR BASEMENT HEIGHTS FROM 7'-3" TO 8'-0", BASEMENT STAIRS ARE A COMPONENT OF THIS DESIGN WITH A MAXIMUM RISE HEIGHT OF 8 1/4" A MINIMUM TREAD DEPTH OF 9", AND A 1" NOSING WILL BE PROVIDED ON ALL TREAD WIDTH LESS THAN 10".

16" O.C WALLS/ROOF
96" CEILING HEIGHT
60LB/ 12/12 ROOF PITCH

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TITLE: FIRST FLOOR PLAN
MODEL: OH-MDS-02395
DR. BY: SOB
SCALE: NTS
DATE: 8/02/0
PG. NO.: 5



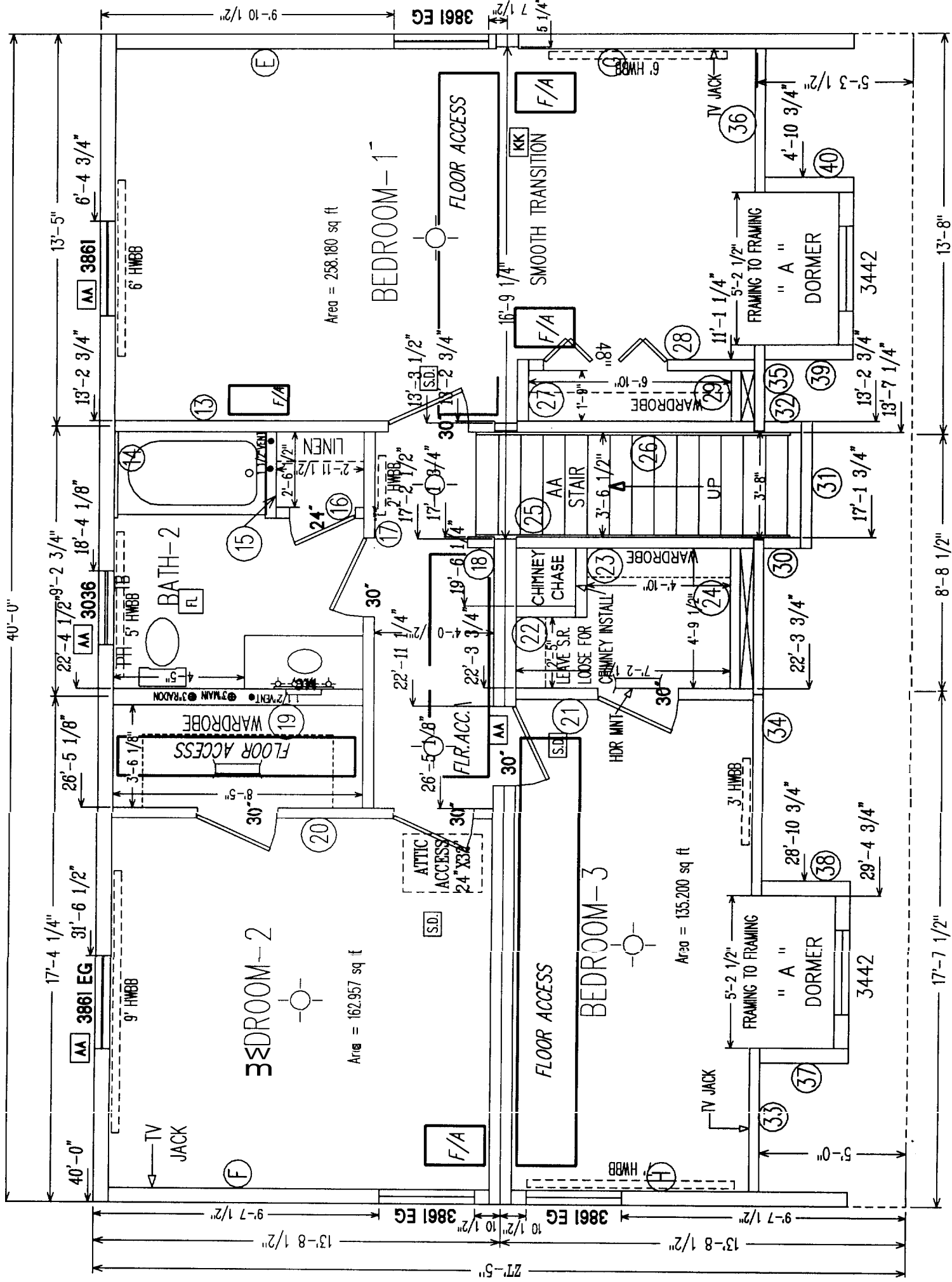
-REVISION UPDATES-
REVISED:
REVISED BY:
DATE REVISED:



7 Oxford Homes Lane - P.O. Box 570 - Scarborough, ME 04074-0570 TEL: 207-0679

HEADER SCHEDULE-60 LB., 28' WIDE

OPENING	HEADER LOCATION	MAX SPAN	HEADER	KING / JACK / BEARING STUDS
AA-MAR WALL	WALL	4'-10"	(2) 2"X 6" SPF #2	2 KINGS, & 1 JACK
AA-EXT WALL	WALL	4'-10"	(2) 2"X 6" SPF #2	1 KINGS, & 1 JACK
CC-EXT WALL	WALL	7'-9"	(2) 1 3/4"X 5 1/2" LVL	1 KINGS, & 1 JACK
DD-MAR WALL	CEILING	10'-1"	(2) 1 3/4"X 6 1/2" LVL	2 BEARING STUDS
JJ-MAR WALL	CEILING	12'-0"	(2) 1 3/4"X 9 1/2" LVL	(3) 4 1/2" BEARING STUDS



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HEADER SCHEDULE-60 LB., 28' WIDE

OPENING	HEADER LOCATION	MAX SPAN	HEADER	KING / JACK / BEARING STUDS
AA-MAR WALL	WALL	4'-10"	(2) 2" X 6" SPF #2	2 KINGS, & 1 JACK
AA-EXT WALL	WALL	4'-10"	(2) 2" X 6" SPF #2	1 KING, & 1 JACK
KK-MAR WALL	CEILING	24'-10"	(2) 1 3/4" X 16" LVL	4 BEARING STUDS

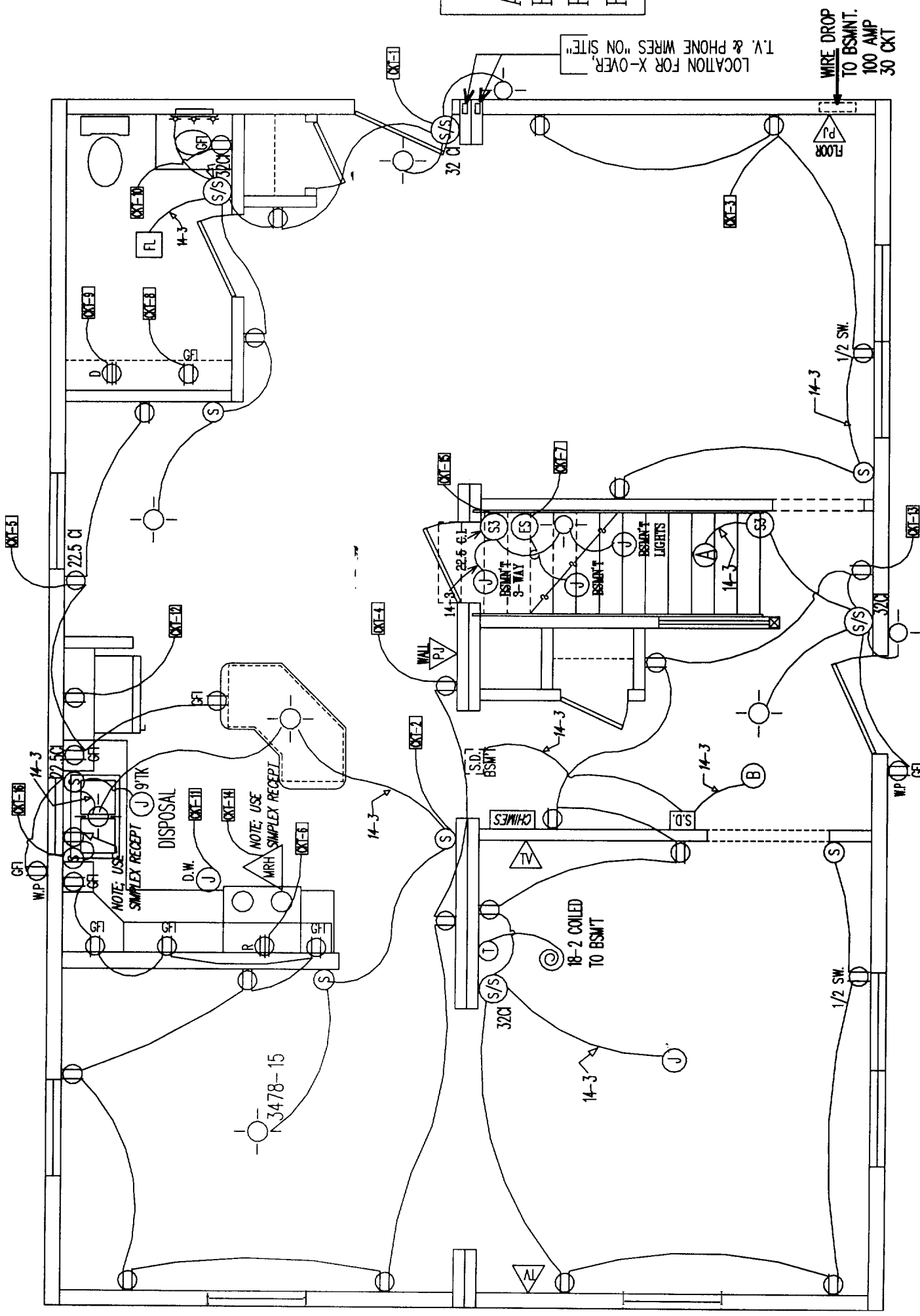
-REVISION UPDATES-

REVISED:
REVISED BY:
DATE REVISED:

OXFORD HOMES
"BUILT THE MAINE WAY SINCE 1977"
7 Oxford Homes Lane - P.O. Box 679 - Oxford, Me. 04270-0679

TITLE: SECOND FLOOR PLAN
MODEL: OH-MDS-02395
DR. BY: SOB
SCALE: NTS
DATE: 8/02/04
PG. NO.: 5A

OCT 1 A 2004



X-OVER WIRES
 A=3-WAY TO SECOND FL (14-3)
 B=S.D. TO SECOND FL (14-3)
 RUN (1) 18-2 TO SECOND FL
 RUN (3) TV'S TO SECOND FL

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*REQ BASMT LIGHTING AND OUTLETS COMPLETED ON SITE BY OTHERS.

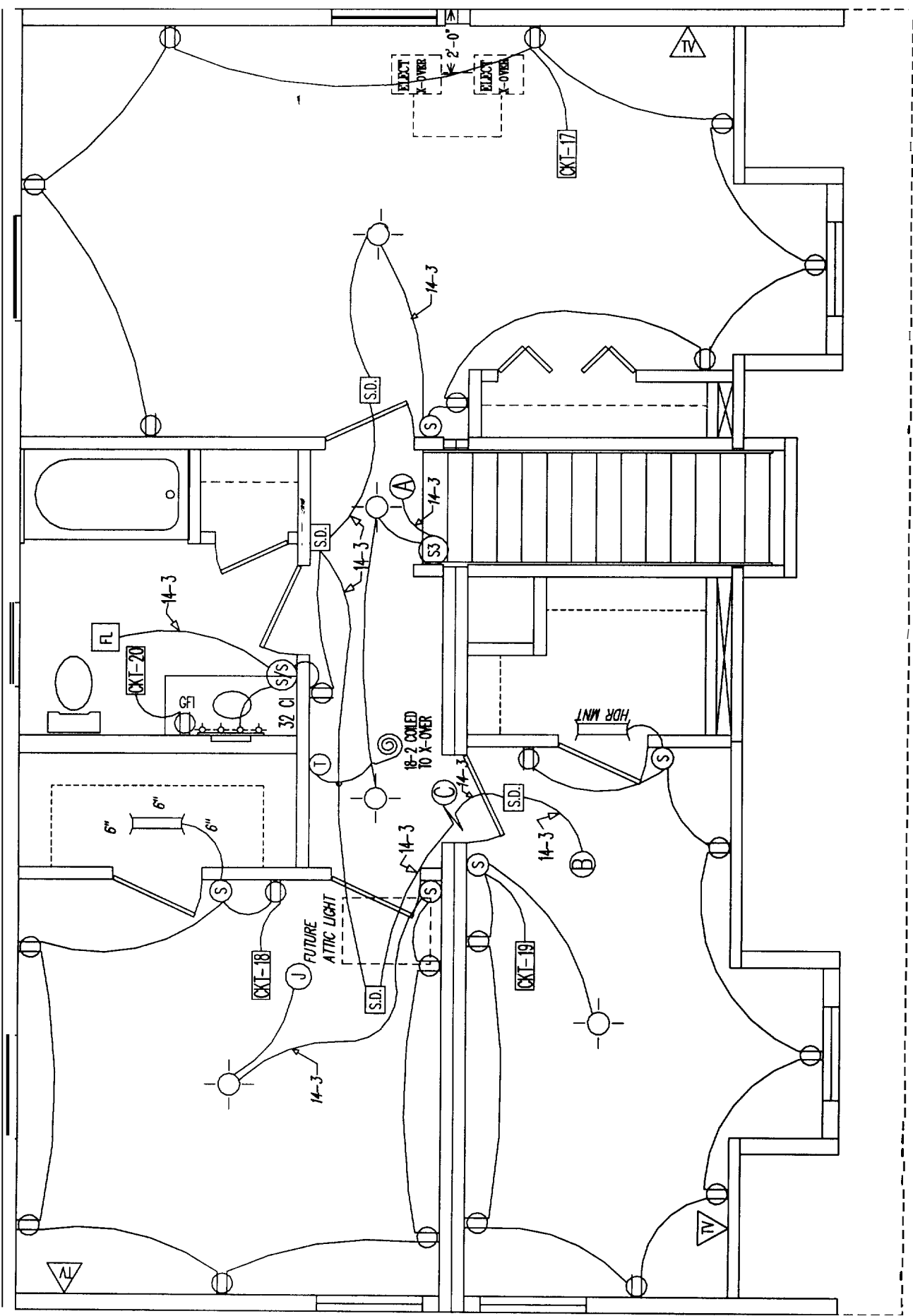
TITLE:	ELECTRICAL LAYOUT
MODEL:	OH-MDS-02395
DR. BY:	SOB
DATE:	8/4/04
SCALE:	Not To Scale
DWG. NO.:	6

- ⊕ DUPLEX RECEPT.
- ⊕^R RANGE RECEPT.
- ⊕^D DRYER RECEPT.
- ⊕^{GFI} G.F.C.I. RECEPT.
- ⊕^W WEATHER-PROOF RECEPT.
- ⊕^R RANGE VENT HOOD
- ⊕^F FURNACE
- ⊕^E ELECT. WATER HEATER
- ⊕^S FURN. SAFETY SWITCH
- ⊕^J JUNCTION BOX
- ⊕^F FAN / LIGHT COMBINATION

CKT.#	DESCRIPTION	BREAKER	WIRE	VOLTS	CKT.#	DESCRIPTION	BREAKER	WIRE	VOLTS
1	GENERAL	15 AMP	14/2	120	10	BATH GFI'S	20 AMP	12/2	120
2	GENERAL (AFCI)	15 AMP	14/2	120	11	DISHWASHER	20 AMP	12/2	120
3	GENERAL (AFCI)	15 AMP	14/2	120	12	REFRIGERATOR	20 AMP	12/2	120
4	SMALL APPLIANCE	20 AMP	12/2	120	13	GENERAL (AFCI)	15 AMP	14/2	120
5	SMALL APPLIANCE	20 AMP	12/2	120	14	MICRO	20 AMP	12/2	120
6	RANGE	40 AMP	8/3	240	15	BSMNT LIGHTS	15 AMP	14/2	120
7	FURNACE	15 AMP	14/2	120	16	DISPOSAL	15 AMP	14/2	120
8	WASHER	20 AMP	12/2	120					
9	DRYER	30 AMP	10/3	240					

- ⊕ SINGLE POLE SWITCH
- ⊕² DOUBLE GANG SWITCH
- ⊕³ 3-WAY SWITCH
- ⊕^{SD} SMOKE DETECTOR
- ⊕^{TV} TELEVISION JACK
- ⊕^{TV} TELEPHONE JACK
- ⊕^{4"} 4"x4" SQUARE JUNCTION BOX
- ⊕² CENTRAL VAC OUTLET
- ⊕¹ THERMOSTAT
- ⊕^{FL} FLUORESCENT LIGHT
- ⊕^{CL} CEILING LIGHT
- ⊕^{WL} WALL LIGHT
- ⊕^{WT} WHIRLPOOL TIMER
- ⊕^{IN} INCON PORT

001 1 4 2004



X-OVER WIRING
 A=3-WAY TO FIRST FL (14-3)
 B=S.D. TO FIRST FL (14-3)
 C=S.D. TO S.D. X-OVER (14-3)
 T=18-2 TO X-OVER

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CKI.#	DESCRIPTION	BREAKER	WIRE	VOLTS
17	GENERAL AFCI	15 AMP	14/2	120
18	GENERAL AFCI	15 AMP	14/2	120
19	GENERAL AFCI	15 AMP	14/2	120
20	BATH GFI	20 AMP	12/2	120

TITLE: SECOND FLOOR ELECTRICAL LAYOUT
 MODEL: OH-MDS-02395
 DR. BY: SOB DATE: 8/4/04
 SCALE: Not To Scale DWG. NO.: 6A

⊕	SINGLE POLE SWITCH	⊖	THERMOSTAT
⊕⊕	DOUBLE GANG SWITCH	⊖⊖	FLUORESCENT LIGHT
⊕⊕⊕	3-WAY SWITCH	⊖⊖⊖	CEILING LIGHT
⊕⊕⊕⊕	SMOKE DETECTOR	⊖⊖⊖⊖	WALL LIGHT
⊕⊕⊕⊕⊕	TELEVISION JACK	⊖⊖⊖⊖⊖	WHIRLPOOL TIMER
⊕⊕⊕⊕⊕⊕	TELEPHONE JACK	⊖⊖⊖⊖⊖⊖	INCOON PORT
⊕⊕⊕⊕⊕⊕⊕	4"x4" SQUARE JUNCTION BOX	⊖⊖⊖⊖⊖⊖⊖	CENTRAL VAC OUTLET

⊕	DUPLEX RECEPT.
⊕r	RANGE RECEPT.
⊕p	DRYER RECEPT.
⊕	G.F.C.I. RECEPT.
⊕	WEATHER-PROOF RECEPT.
⊕	RANGE VENT HOOD
⊕	FURNACE
⊕	ELECT. WATER HEATER
⊕	FURN. SAFETY SWITCH
⊕	JUNCTION BOX
⊕	FAN / LIGHT COMBINATION

FACTORY INSTALLED SUPPLY LINES TO BE SUPPORTED/STRAPPED @ 72" HORIZONTALLY/ 120" VERTICALLY WITH APPROVED PLUMBERS STRAPPING

TYPE L COPPER

STUB HWBB TO 2ND FLOOR
 ONSITE CONNECTION DONE BY OTHERS
 3/4" (WALL#6)

CAP BOTH ENDS

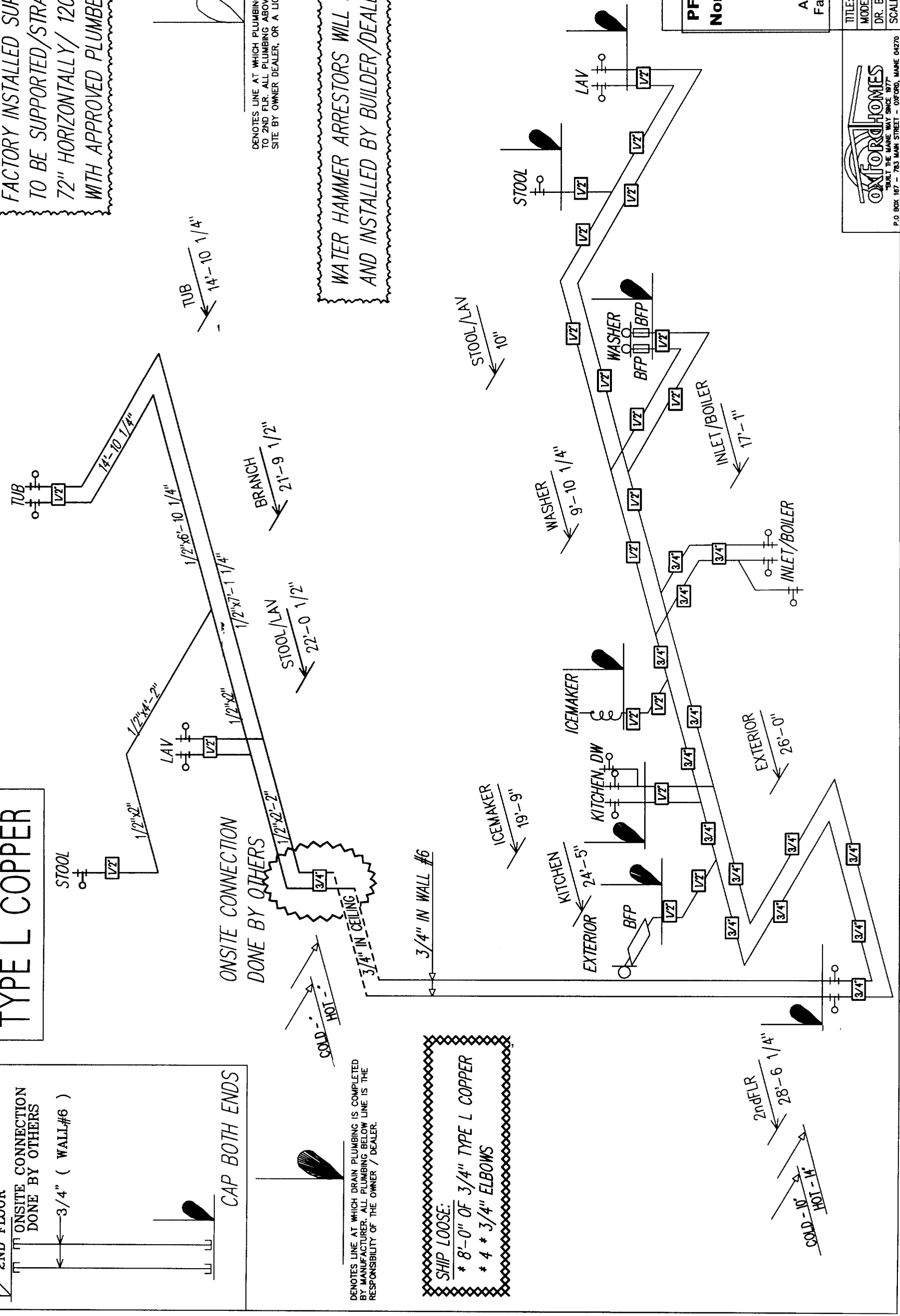
NOTES: DENOTES LINE AT WHICH DRAIN PLUMBING IS COMPLETED BY MANUFACTURER. ALL PLUMBING BELOW LINE IS THE RESPONSIBILITY OF THE OWNER / DEALER.

NOTES: DENOTES LINE AT WHICH PLUMBING IS STUBBED TO 2ND FLR. ALL PLUMBING ABOVE LINE MUST BE COMPLETED ON-SITE BY OWNER DEALER, OR A LICENSED CONTRACTOR.

WATER HAMMER ARRESTORS WILL BE PROVIDED AND INSTALLED BY BUILDER/DEALER IF REQ.

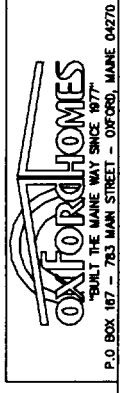
SHIP LOOSE:
 * 8'-0" OF 3/4" TYPE L COPPER
 * 4 * 3/4" ELBOWS

08/16/04



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TITLE:	WATER LINES LAYOUT
MODEL:	OH-MDS-02395
DR. BY:	JEP
DATE:	8/9/04
SCALE:	NONE
PG. NO.:	7



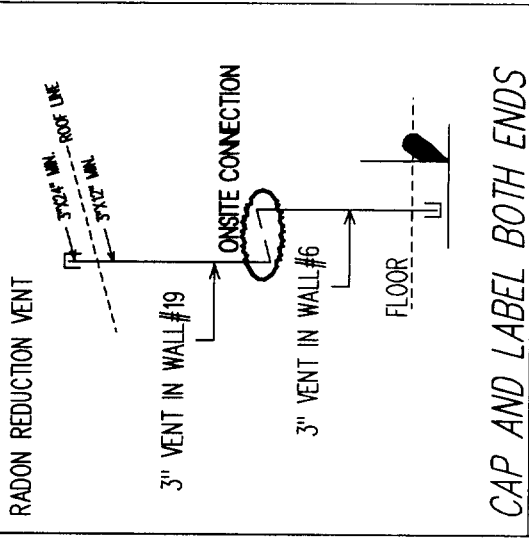
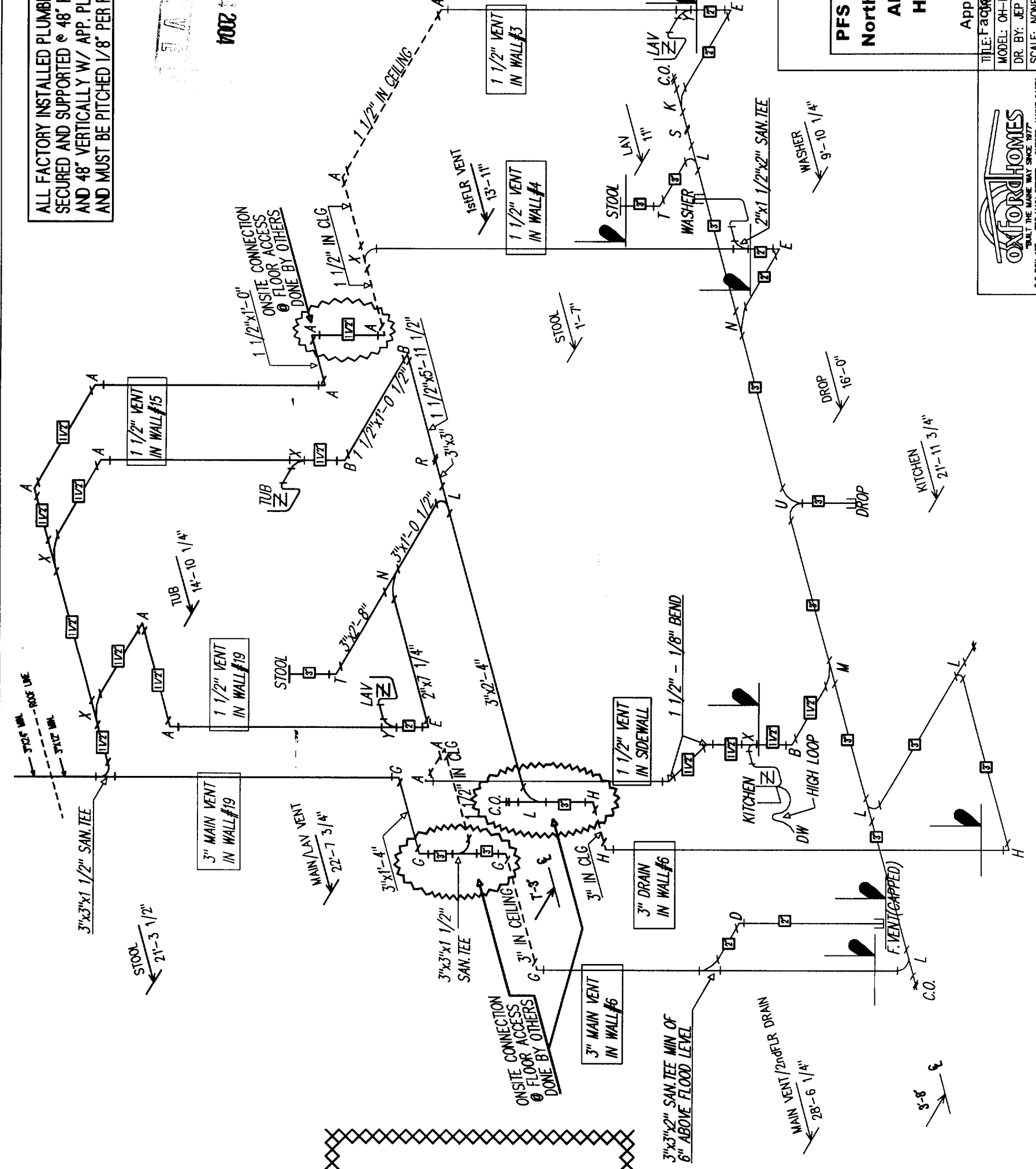
ALL FACTORY INSTALLED PLUMBING NEEDS TO BE SECURED AND SUPPORTED @ 48" HORIZONTALLY AND 48" VERTICALLY W/ APP. PLUMBERS STRAPPING AND MUST BE PITCHED 1/8" PER FOOT

2002

- A-1 1/2" ELL
- B-1 1/2" L.S. ELL
- C-1 1/2" ST. ELL
- D-2" ELL
- E-2" L.S. ELL
- F-2" ST. ELL
- G-3" ELL
- H-3" L.S. ELL
- I-3" ST. ELL
- J-1 1/2" L.T. TEE WYE
- K-2" L.T. TEE WYE
- L-3" L.T. TEE WYE
- M-3"x3"x1 1/2" L.T. TEE WYE
- N-3"x3"x2" L.T. TEE WYE
- O-2"x2"x1 1/2" L.T. TEE WYE
- P-2"x1 1/2"x2" L.T. TEE WYE
- Q-1 1/2"x2" REDUCER
- R-1 1/2"x3" REDUCER
- S-2"x3" REDUCER
- T-4"x3" CLOSET BEND
- U-3" DBL. 1/4" BEND
- V-3" WYE
- W-3" 1/8 BEND ST. ELL
- X-1 1/2" SAN TEE
- Y-2"x1 1/2"x1 1/2" SAN TEE
- Z-1 1/2" P-TRAP
- t-VENT CHECK

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FACTORY PLUMBING LAYOUT
 TITLE: FACTORY PLUMBING LAYOUT
 MODEL: OH-MDS-02395
 DR. BY: JEP DATE: 8/5/04
 SCALE: NONE PG. NO.: 8

OXFORD HOMES
 70 WALL STREET, SUITE 200, WINDHAM, NH 03093
 P.O. BOX 187, 703 MAIN STREET - GORHAM, MAINE 04270



CAP AND LABEL BOTH ENDS

SHIP LOOSE:

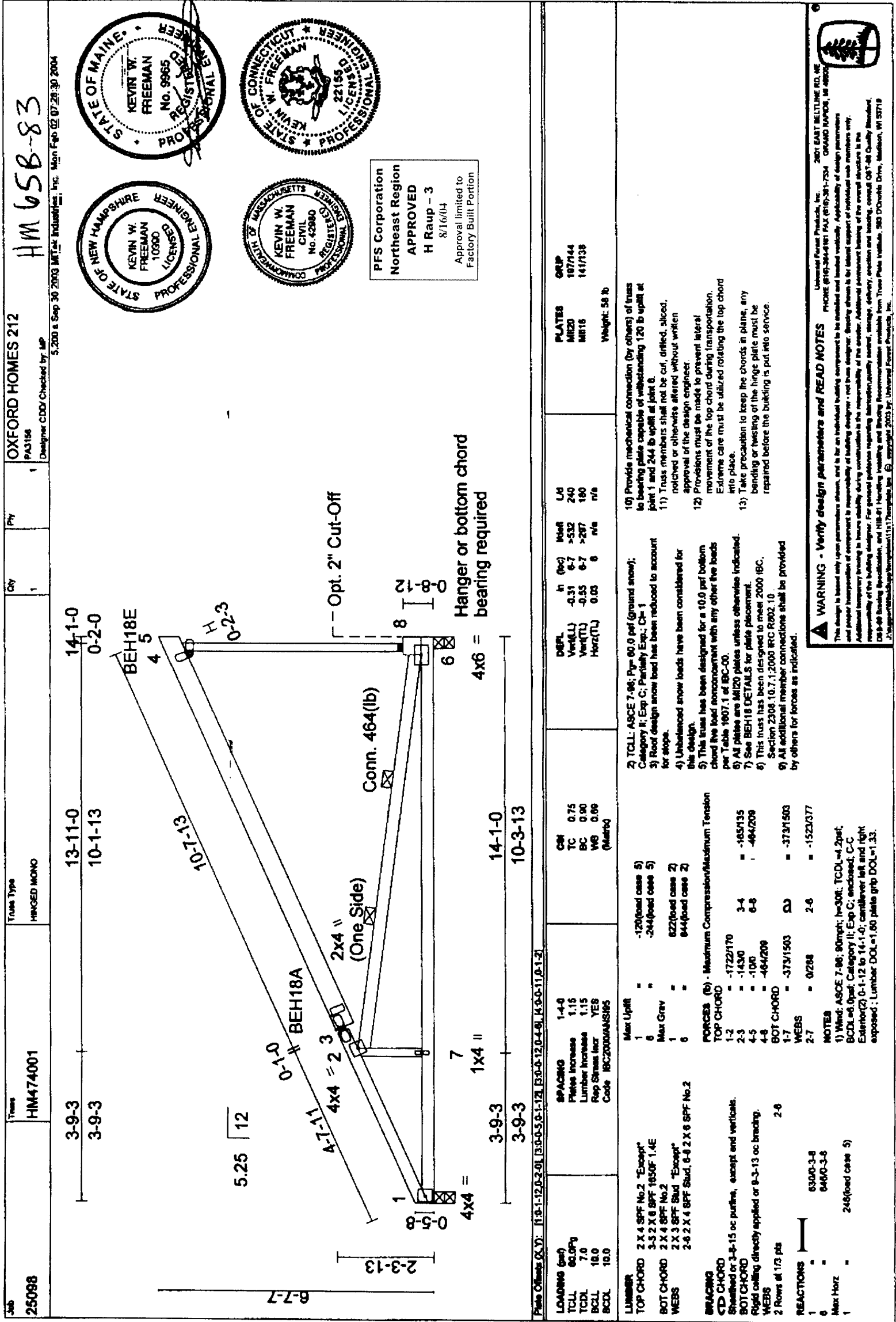
- * 9'-0" OF 3" PVC
- * 5'-0" OF 1 1/2" PVC
- * 4 - 3" ELLS
- * 1 - 3" L.T. TEE WYE
- * 1 - 3" L.S. ELL
- * 1 - 3"x3"x1 1/2" SAN. TEE
- * 1 - 3" C.O.
- * 2 - 1 1/2" ELLS

NOTE:
 THIS HOUSE TAKES
 A DISPOSAL

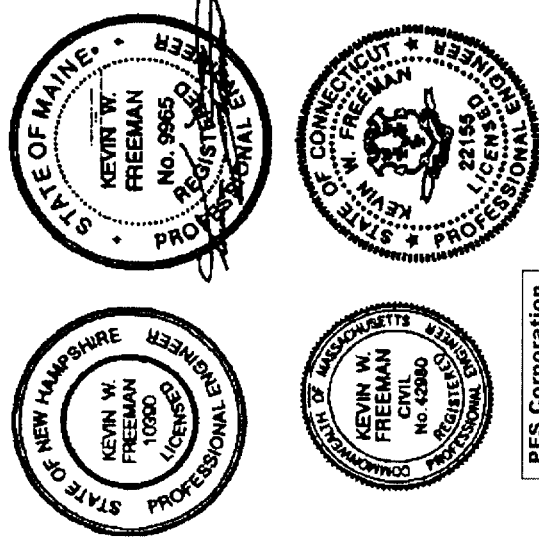
NOTES LINE AT WHICH DRAIN PLUMBING IS COMPLETED BY MANUFACTURER. ALL PLUMBING BELOW LINE IS THE RESPONSIBILITY OF THE OWNER / DEALER.

89-90H

SEP 1 A 2004



Job: 25098
 Truss Type: HANGED MONO
 Truss: HM474001
 City: 1
 Qty: 1
 Pkgs: 1
 OXFORD HOMES 212
 P43196
 Designer CDD/Checked by: MP
 HM 658-83
 5,200 s Sep 30 2003 MIT Industrial, Inc. Mon Feb 02 07:28:30 2004



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LOADING (kip)	TCLL	Exp C	Partially Exp. Ch	Roof design snow load	Unbleached snow loads	Plates	GRIP
2 X 4 SPF No. 2 "Except"	2.4	0.75	0.75	60.0	10.0	M120	107/144
3-5 2 X 6 SPF 1850F 1.4E	3.5	0.90	0.90	60.0	10.0	M118	141/138
2 X 4 SPF No. 2	2.4	0.75	0.75	60.0	10.0		
2 X 3 SPF Stud "Except"	2.3	0.66	0.66	60.0	10.0		
2-6 2 X 4 SPF Stud, 6-8 2 X 6 SPF No. 2	2.6	0.86	0.86	60.0	10.0		

REACTIONS	Max Horiz	Max Uplift
1	6300-3.8	-120 (load case 5)
6	6400-3.8	-244 (load case 5)
1	248 (load case 5)	822 (load case 2)
		844 (load case 2)

SPACING	Plates Increase	Lumber Increase	Rep Strains Incr	Code
1-4-0	1.15	1.15	YES	IBC2000/ANSI86
2-3	1.15	1.15	YES	IBC2000/ANSI86

FORCES (lb)	Max Compression/Maximum Tension
1-2	-1722/170
2-3	-1430
4-5	-100
4-8	-464/209
BOT CHORD	-373/1503
WEBS	0/268
	2.6

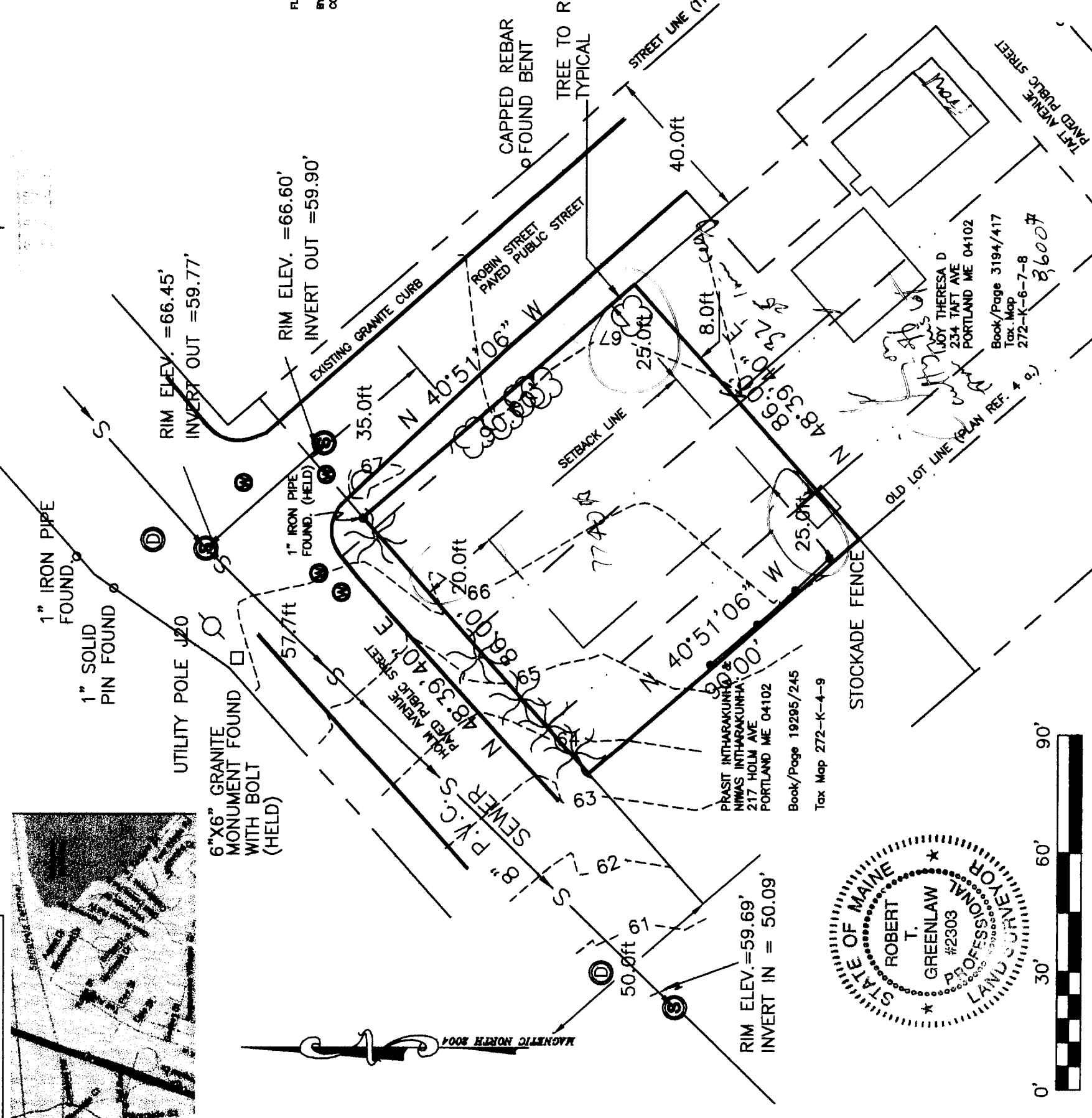
NOTES

- Wind: ASCE 7-98; 90mph; h=30ft; TCDL=1.2psf; BCDL=0.0psf; Category II; Exp C; enclosed; C-C Exterior(2) 0-1-12 to 14-1-0; cantilever left and right exposed; Lumber DOL=1.60 plate grip DOL=1.33.

WARNING - Verify design parameters and READ NOTES

This design is based on only those parameters shown, and is for an individual building component to be installed and loaded in accordance with the design parameters and proper installation of component by responsible building designer. No other design parameters are shown. Additional parameters may be required for the overall structure in the responsibility of the building designer. For general information regarding material quality, strength, delivery, erection and handling, contact QTY-98 Quality Specialist, 188-81 Harding Building and Bracing Recommendation available from Three Phase Institute, 583 D'Onofrio Drive, Madison, WI 53718. © Copyright 2003 by Universal Forest Products, Inc.

SITE LOCATION MAP:



- GENERAL NOTES:**
1. RECORD OWNER OF PARCEL: JENNIFER L. MCKENNA BOOK 19015 PAGE 013 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 3 TOTAL STATION, LEITZ SOK 33 DATA COLLECTOR, MAGNETIC HAND HELD COMPASS.
 3. AREA OF SUBJECT PARCEL: 8600 SQ. FT. 0.20 ACRES
 4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) PORTLAND GARDENS, PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 23 RECORDED 07-12-1912.
b.) CITY OF PORTLAND TAX MAP 272, LOT SHOWN IN BLOCK K LOTS 1,2 & 3.
c.) STREETLINE PLANS FROM THE CITY OF PORTLAND FOR HOLM, TAFT & ROBIN STREETS.
 5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
 6. ZONING: R-3 ZONE SETBACKS: FRONT 25 FEET, REAR 25 FEET SIDE YARD 8 FEET FOR 1-1/2 STORY DWELLING.

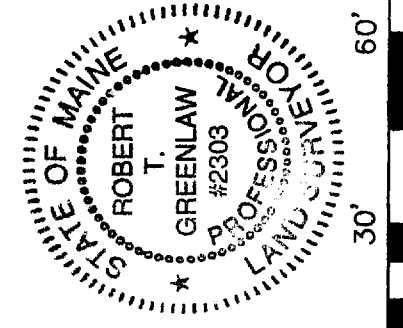
FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO FALL IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP COMMUNITY/PANEL No. 230051 / 8C REVISED DATE DECEMBER 8, 1998, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

- LEGEND**
- CRS ⊙ Capped 5/8" Rebar Set PLS 2303.
 - IPF ○ Iron Pipe Found
 - (50.00') Distance from reference plan or deed.
 - N/F Now Or Formerly
 - Z Indicates Ownership in Common
 - ⊘ Utility Pole
 - Abutter Line
 - Property Line
 - Street Line
 - Edge of traveled
 - Setback Line
 - Contour Line
 - 98 Sewer Manhole
 - ① Drain Manhole
 - u Catch Basin
 - Overhead Utility
 - Old Lot Line

SURVEYORS STATEMENT:
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

Robert T. Greenlaw
ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT RACK BAY BOUNDARY, INC.

DATE: 09-28-2004



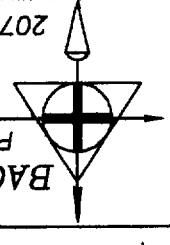
JENNIFER L. MCKENNA

EXISTING CONDITIONS AT 32-36 ROBIN ST. PORTLAND, MAINE

FOR:

DRAWN BY: RTG
CHECKED BY: KCC
SCALE: 1"=30'
DATE OF SURVEY: 09/23/2004
JOB NUMBER: 2004112-P
SHEET: 1 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

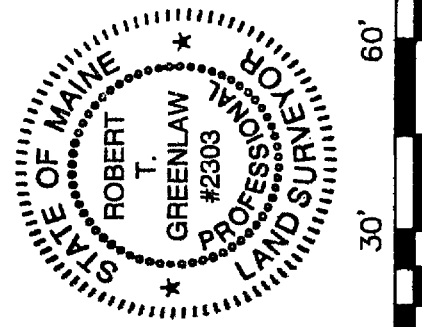
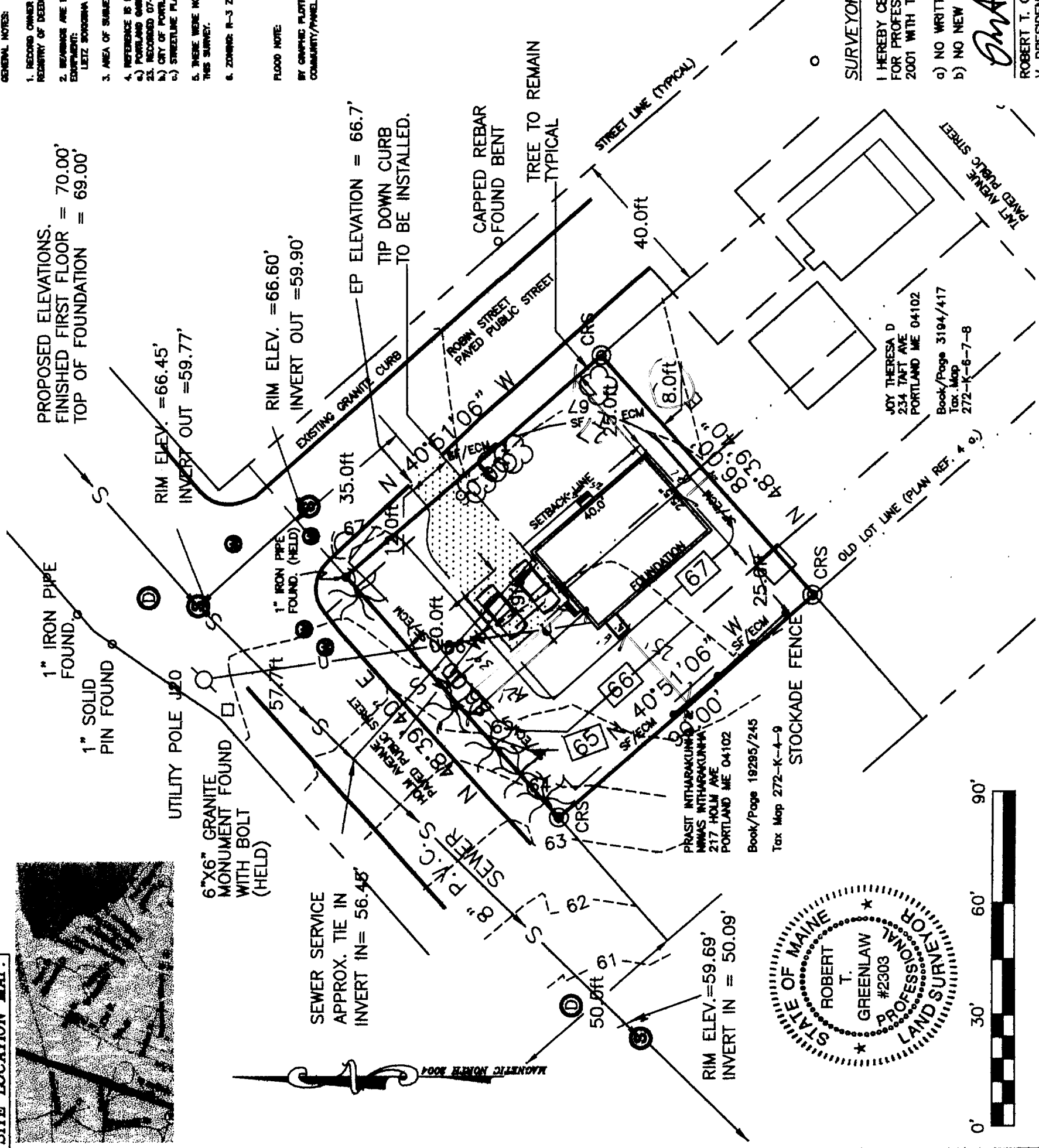


SEP 29 2004

SITE LOCATION MAP:



PROPOSED ELEVATIONS.
FINISHED FIRST FLOOR = 70.00'
TOP OF FOUNDATION = 69.00'



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JENNIFER L. MCKENNA BOOK 18015 PAGE 013 AS RECORDED IN THE CUMBERLAND COUNTY RECORDS OF DEEDS.
2. MEASUREMENTS WERE MADE UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SODARUNA SET 3 TOTAL STATION, LEITZ SUR 35 DATA COLLECTOR, MAGNETIC WIND HELD COMPASS.
3. AREA OF SUBJECT PARCEL: 8900 SQ. FT. 0.20 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a) PORTLAND GARDENS, PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY RECORDS OF DEEDS PLAN BOOK 12 PAGE 23 RECORDED 07-18-1912.
b) CITY OF PORTLAND TRK MAP 272, LOT SHOWN IN BLOCK K LOTS 1,2,3,4,5.
c) STREETLINE PLANS FROM THE CITY OF PORTLAND FOR HOLM, TAFT & ROBIN STREETS.
5. THERE WERE NO APPARENT ENCUMBRANCES OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
6. ZONING: R-3 ZONE SETBACKS: FRONT 25 FEET, REAR 25 FEET SIDE YARD 8 FEET FOR 1-1/2 STORY DWELLING.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO FALL IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY/PANEL No. 230051 / SC REVISION DATE DECEMBER 8, 1996, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

- CRS ⊕ Capped 5/8" Rebar Set PLS 2303
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z Indicates Ownership in Common
- ⊕ Utility Pole
- Abutter Line
- Property Line
- Street Line
- Edge of traveled way
- Setback Line
- Contour Line
- 98 Sewer Manhole
- 10 Drain Manhole
- W Water Gate
- Catch Basin
- u Overhead Utility
- Old Lot Line
- SF/ECM Silt Fence/Erosion Control Mix
- 98 Proposed Contour Line

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw
ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 09-28-2004

DATE: 09-28-2004

FOR: JENNIFER L. MCKENNA
MINOR SITE PLAN FOR A SINGLE FAMILY DWELLING
32-36 ROBIN ST. PORTLAND, MAINE

DRAWN BY: RTG
CHECKED BY: KCC
SCALE: 1"=30'
DATE OF SURVEY: 09/23/2004
JOB NUMBER: 2004112
SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010



DRAWER: 2004 NO. 112

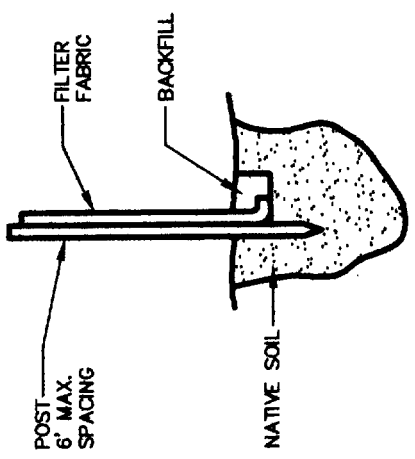
DETAIL SHEET FOR A SINGLE FAMILY DWELLING
 32-36 ROBIN ST. PORTLAND, MAINE
 FOR: JENNIFER L. MCKENNA

DRAWN BY: RTG
 CHECKED BY: KGC
 SCALE: 1"=30'
 DATE OF SURVEY: 09/23/2004
 JOB NUMBER: 2004112
 SHEET: 1 OF 1

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010



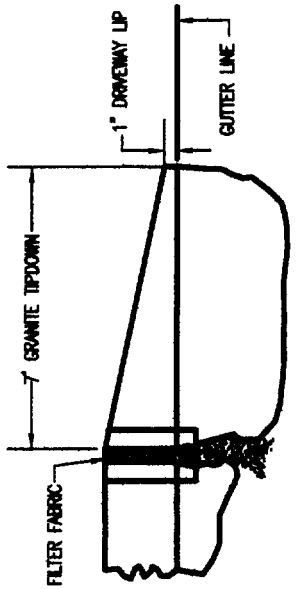
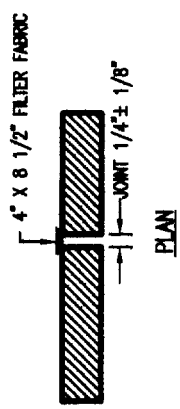
DRAWER: 2004 NO: 112



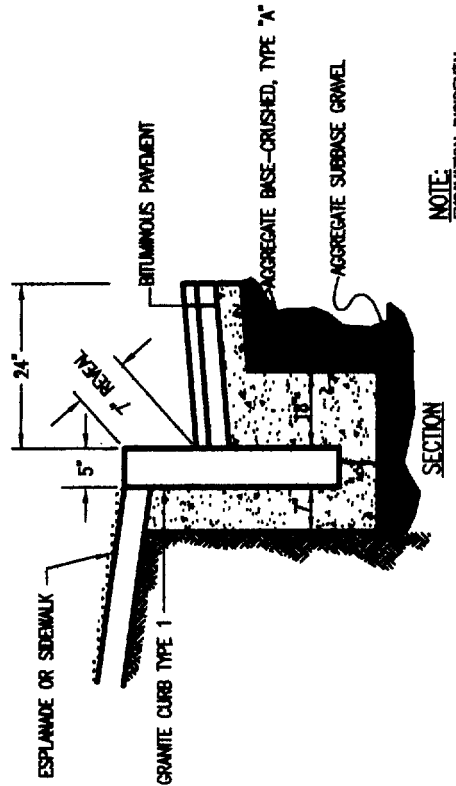
- INSTALLATION:
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

FILTER BARRIER
 NOT TO SCALE

NOTE:
 DETAILS PROVIDED BY THE CITY OF PORTLAND'S PUBLIC WORKS ENGINEERING DEPARTMENT.



TYPICAL TIPDOWN CURB INSTALLATION
 NOT TO SCALE



NOTE:
 EXCAVATION INCIDENTAL
 TO COST OF CURB

RESET EXISTING GRANITE CURB DETAIL
 NOT TO SCALE

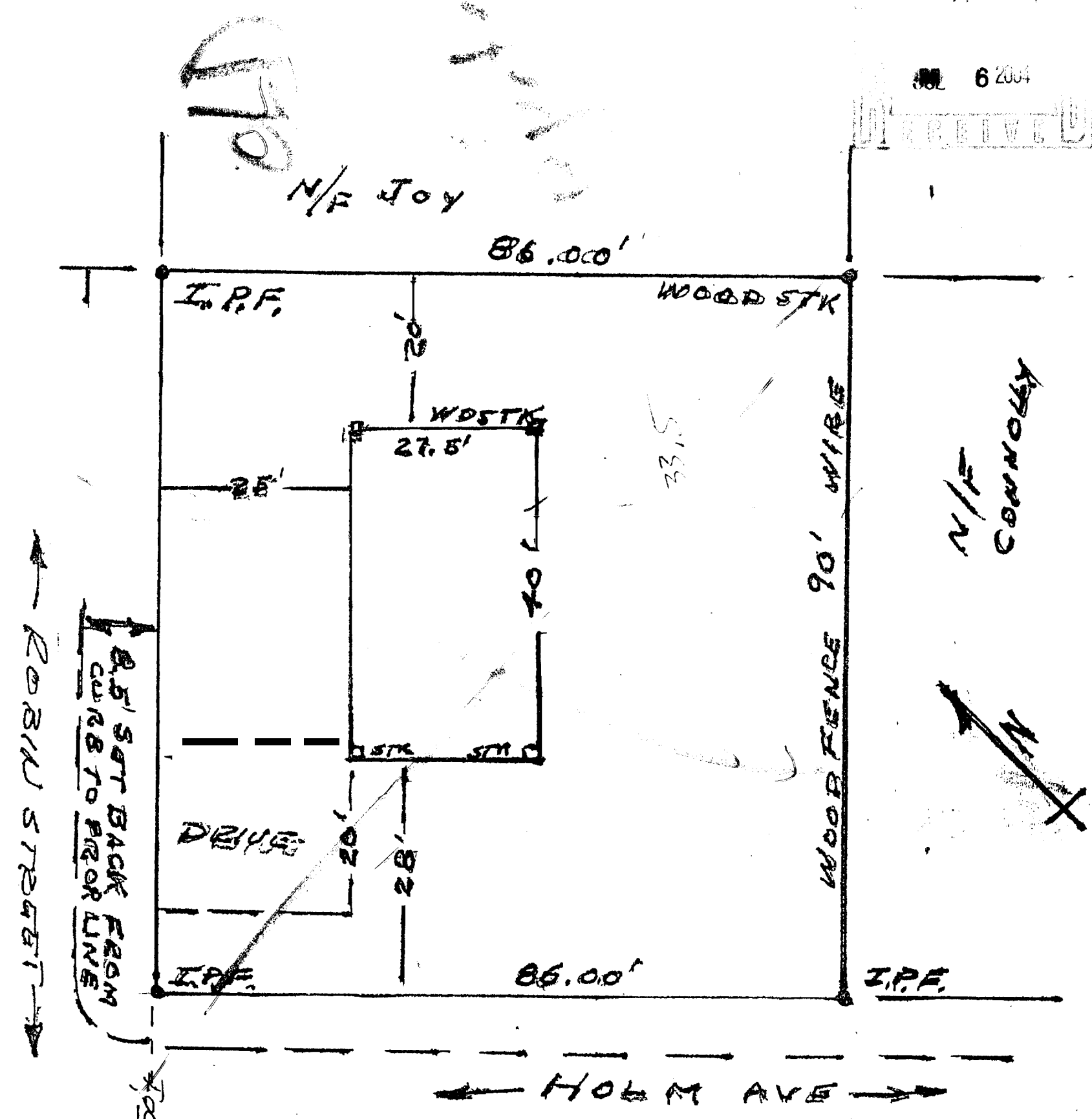
29

239
240
241
50.5
50.5

272 K 001

6 2004

RECEIVED



ONLY UTILITY POLE

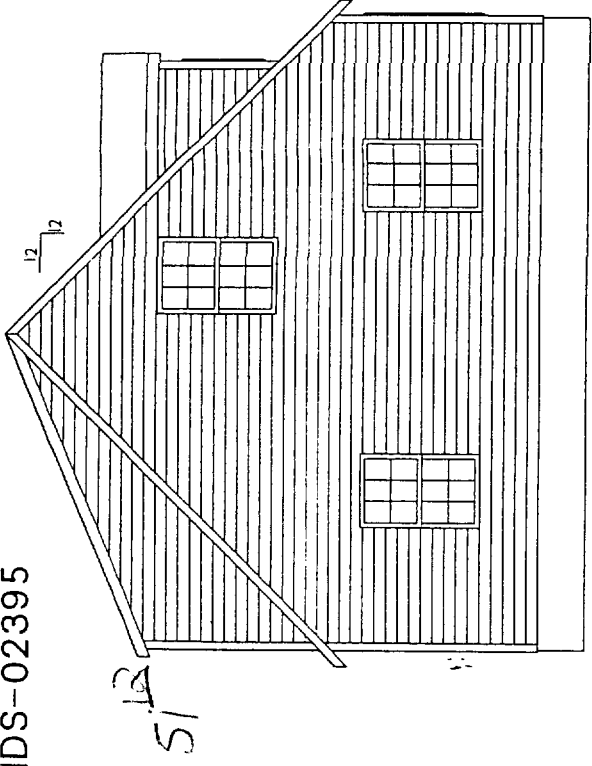
PROPERTY OF JENNIFER L. MCKENNA
 CORNER OF HOLM AVE + ROBIN STREET
 PORTLAND, MAINE
 LOTS 239, 240, + PART OF 241
 RECORDED PLAN OF PORTLAND GARDEN 1912
 SCALE 1" = 20', G. BATES #209

272 K 001

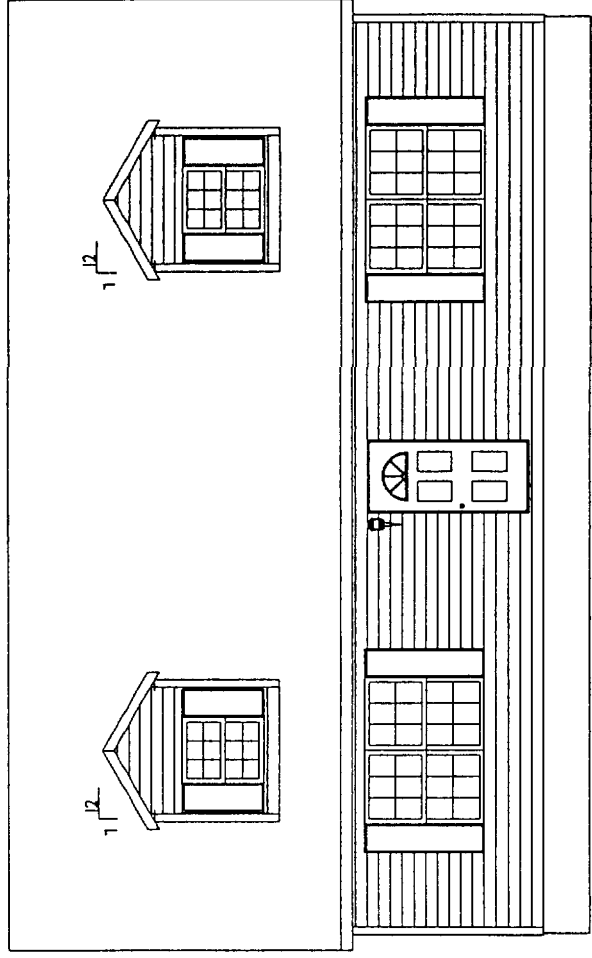
DEPT. OF CONSTRUCTION

6 2004

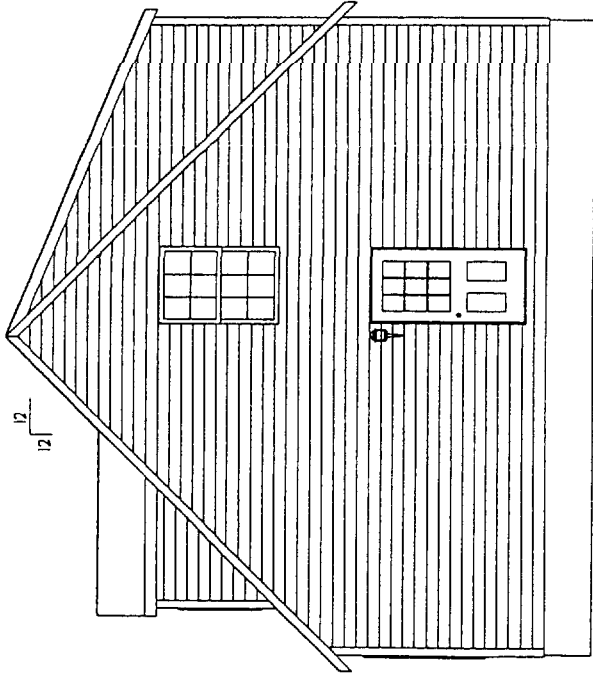
SERIAL NO OH-MDS-02395



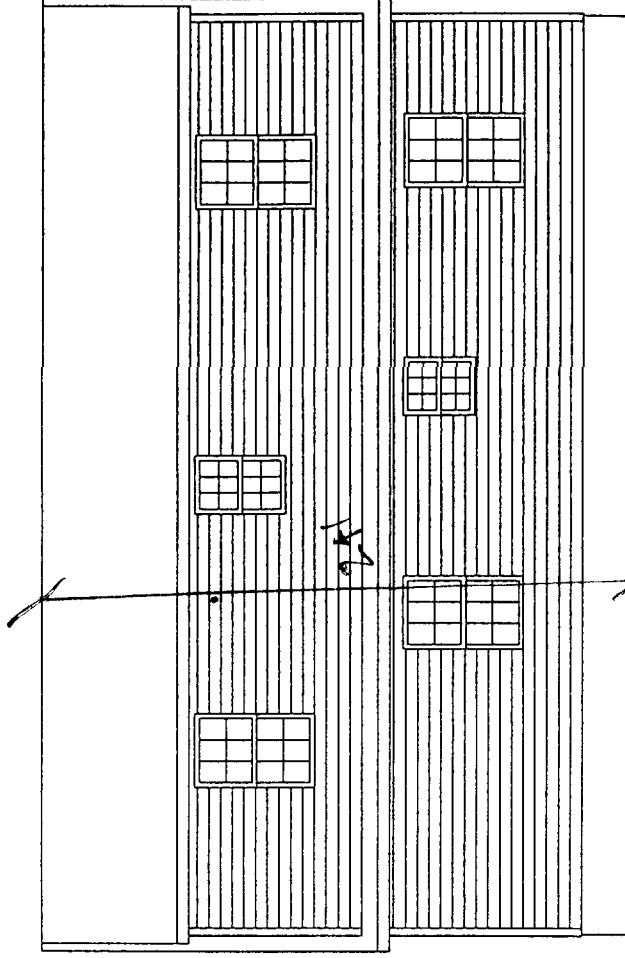
LEFT END ELEVATION



FRONT ELEVATION



RIGHT END ELEVATION



REAR ELEVATION

*Cherry Lane Homes
County Lane MC
Andover, ME 04212*

oxfordHOMES

BUILT THE MAINE WAY SINCE 1977

7 Oxford Homes Lane • P.O. Box 679 • Oxford, Me. 04270-0679
(207) 539-4412 FAX: (207) 539-4259

NOTICE

THE ELEVATIONS AND PERSPECTIVES ARE HEREBY PROVIDED TO THE DISTRIBUTOR AS A GENERAL EXAMPLE OF THE POSSIBLE EXTERIOR APPEARANCE OF THE HOME BASED ON INFORMATION SUPPLIED TO OXFORD HOMES BY THE DISTRIBUTOR. SPECIFIC DIMENSIONS AND OPTIONS MAY ALTER THE EXACT ELEVATIONS AND PERSPECTIVES OF THE HOME. THE DISTRIBUTOR MUST REFER TO THE OXFORD HOMES ORDER FORM TO DETERMINE THE EXACT FEATURES.

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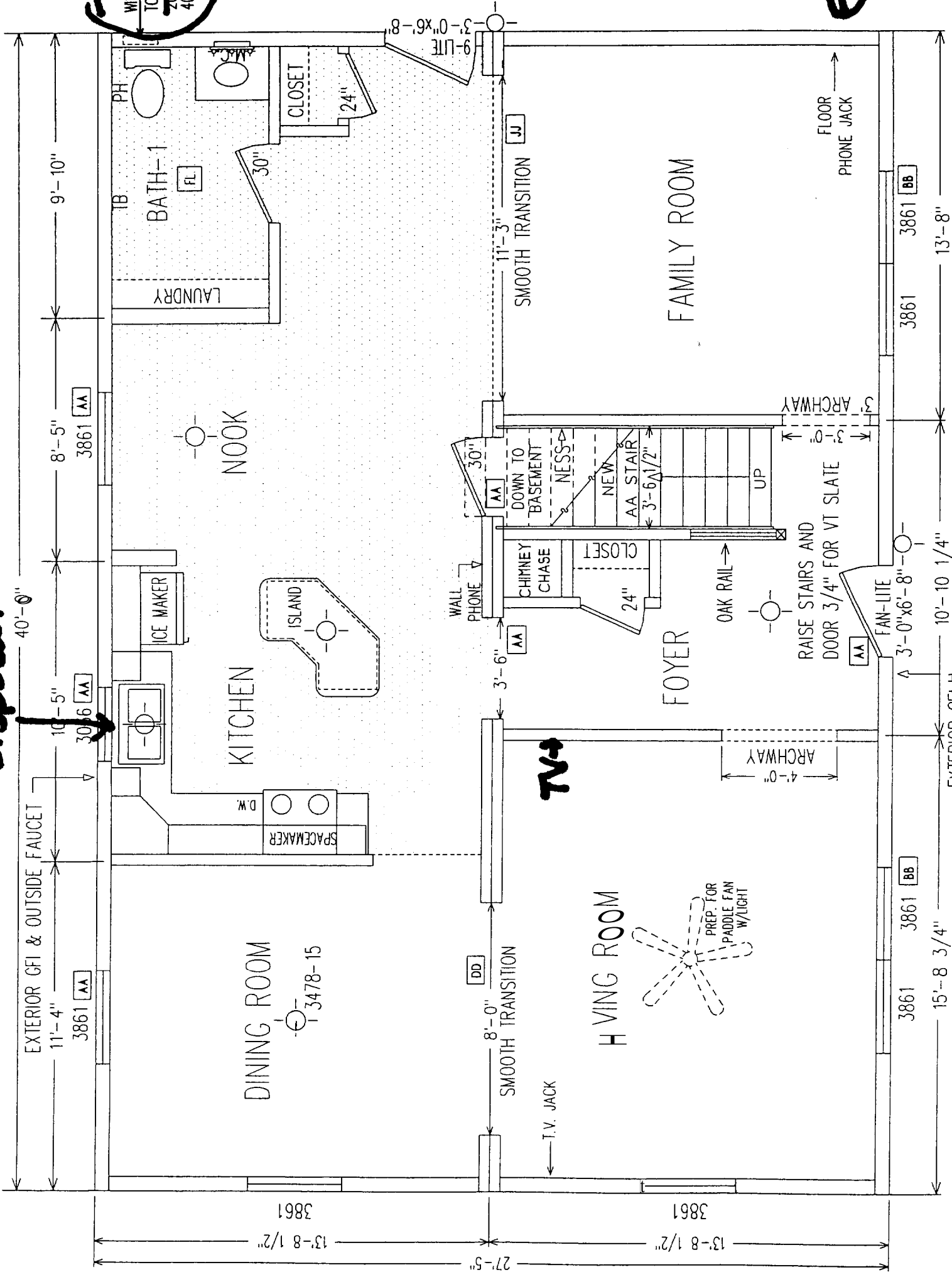
DATE MAY 21 2004

CUSTOMER: MCKENNA

DEALER: COUNTRYLANE HOMES

Disposal

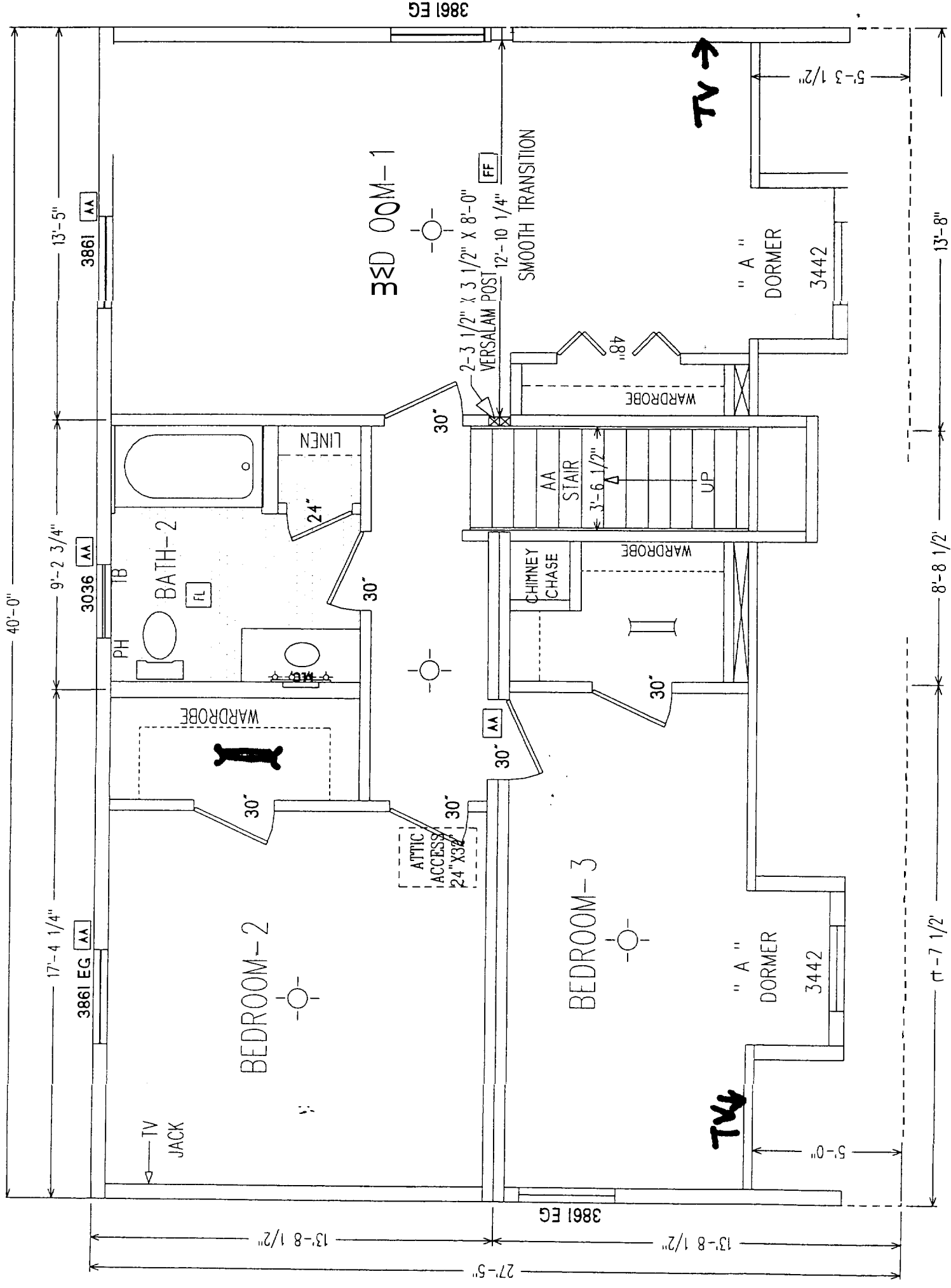
100 Amp
 WIRE DROP TO BSMNT. 200 AMP 40 CKT



PLEASE SIGN & RETURN:


TITLE: FIRST FLOOR PLAN	
MODEL: NORTHEAST BRADBURY FIN. CAPE 28M40	
DRAFTER: SOB	DATE: 5/21/04
DEALER: COUNTRYLANE	SERIAL #02395
7 Oxford Homes-Lane - P.O. Box 679 - Oxford, Me. 04270-0679	
C/O REV.# (DATE)	COMMENTS:
1	
2	
3	
4	

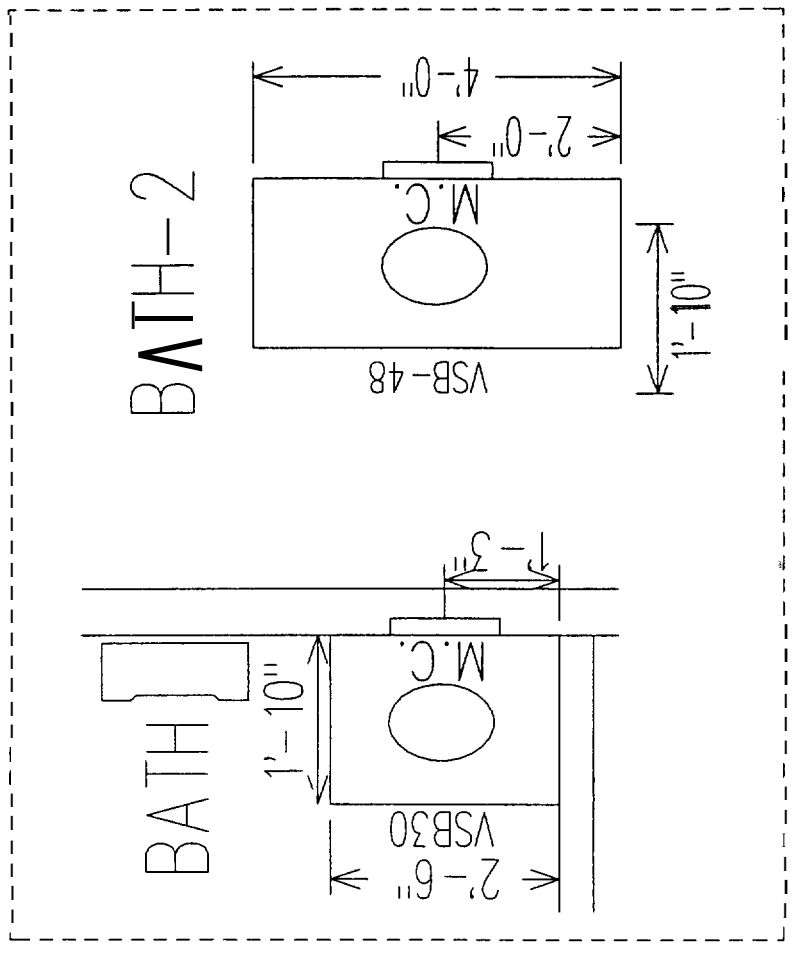
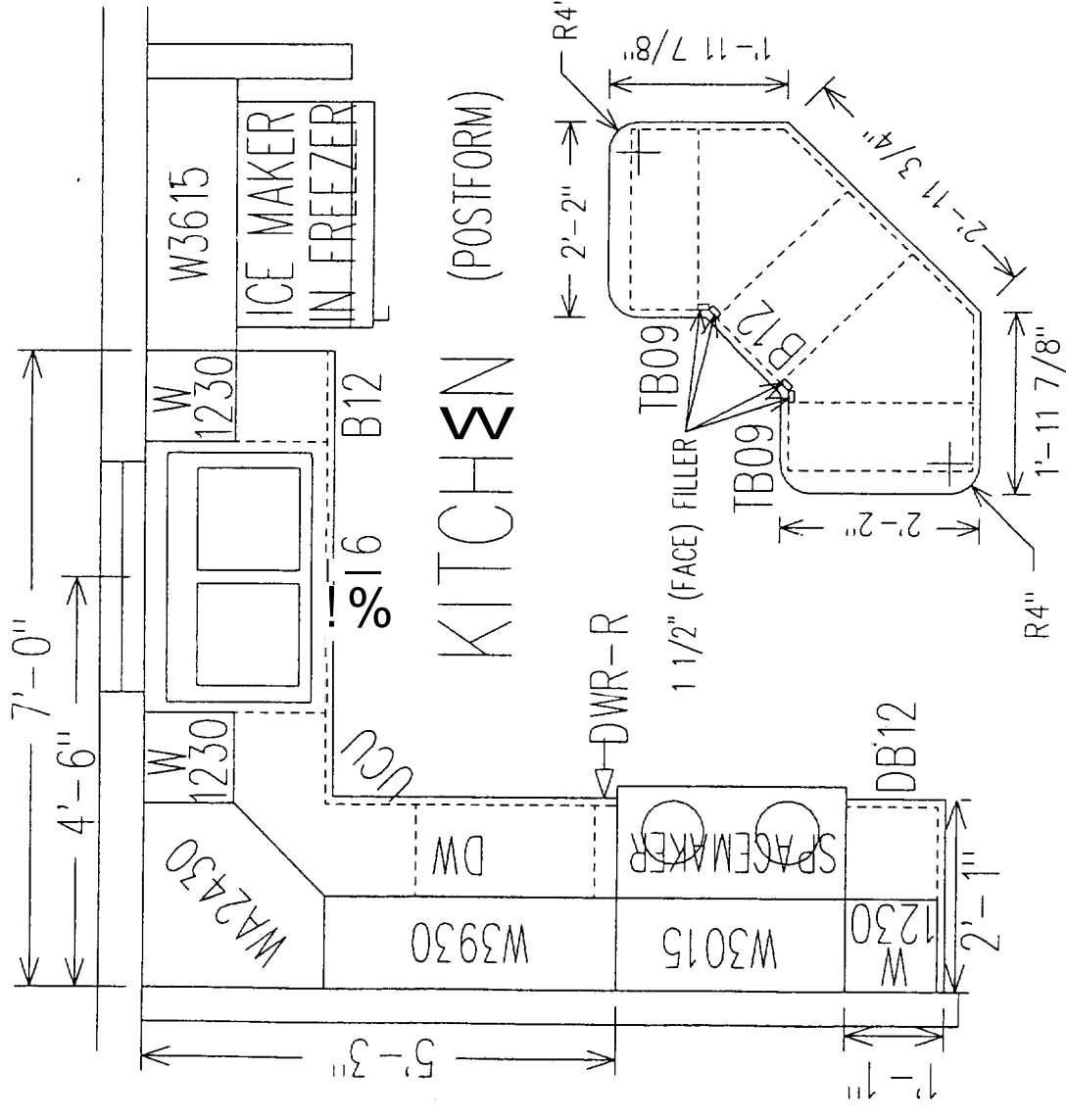
SERIAL#02395
 16" O.C WALLS/ROOF
 96" CEILING HEIGHT
 60LB/ 12/12 ROOF PITCH



96" CEILING HEIGHT
 60LB/ 12/12 ROOF PITCH

SERIAL#02395

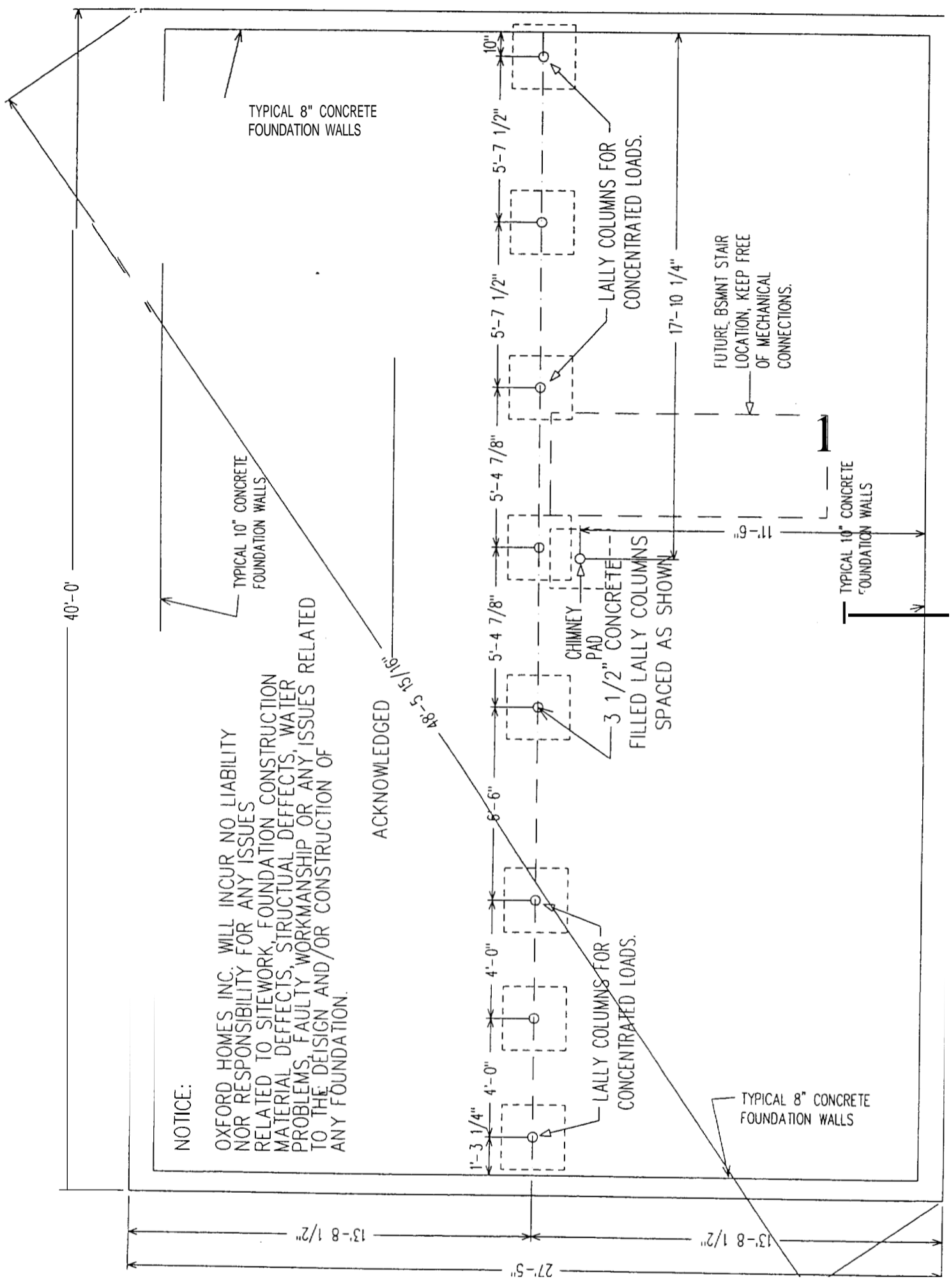
PLEASE SIGN & RETURN:		TITLE: SECOND FLOOR PLAN	
		MODEL: NREASTER BRADBURY FIN. CAPE 28X40	
7 Oxford Homes Lane - P.O. Box 878 - Oxford, MA 01770-0878		DRAFTER: SOB DATE: 5/21/04	
C/O REV.# (DATE)	COMMENTS:	DEALER: COUNTRYLANE	SERIAL#02395
1		DRAWN BY:	DRAWN DATE:
2			



27'-5" **W D S**

KITCHEN & BATH LAYOUT

SERIAL#02395 *SOB*



← pour footer full length down center line.

NOTICE:
 OXFORD HOMES INC. WILL INCUR NO LIABILITY NOR RESPONSIBILITY FOR ANY ISSUES RELATED TO SITEWORK, FOUNDATION CONSTRUCTION MATERIAL DEFECTS, STRUCTURAL DEFECTS, WATER PROBLEMS, FAULTY WORKMANSHIP OR ANY ISSUES RELATED TO THE DESIGN AND/OR CONSTRUCTION OF ANY FOUNDATION.

ACKNOWLEDGED

48-5-15/16"

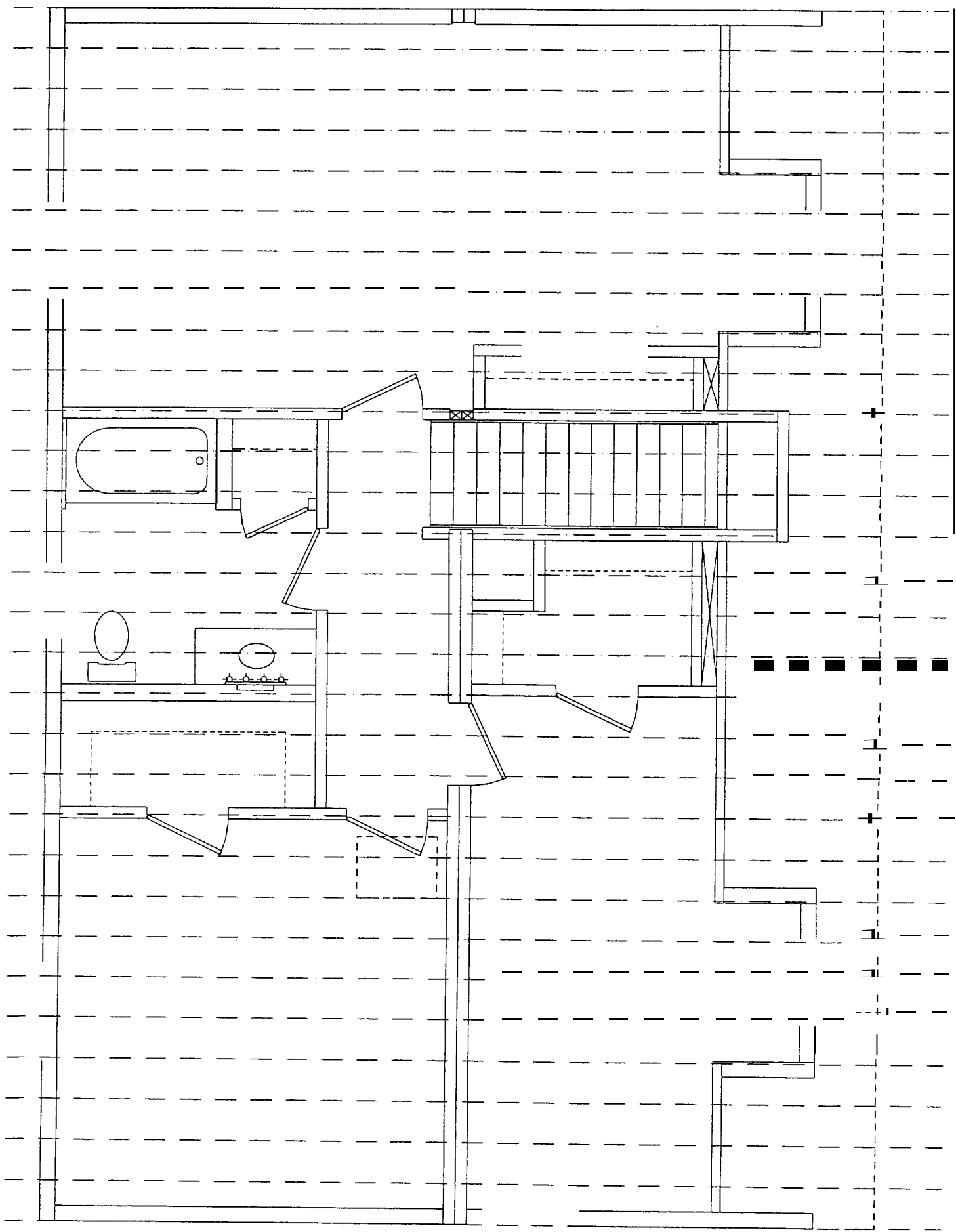
****NOTICE****
 RESPONSIBILITY OF OTHERS FOR INSULATION IN FLOOR OR AT FOUNDATION WALLS; A MINIMUM OF R-10 W/ HEATED BSMNT, R-19 IN UNHEATED BSMNT.

****NOTICE****
 A SEPERATE ROOM WILL BE BUILT ON SITE BY OTHERS TO ENCLOSE HEAT SYSTEM


TITLE: FOUNDATION PLAN	
MODEL: NOREASTER BRADBURY FIN. CAPE 28X40	
DRAFTER: SOB	DATE: 5/21/04
DEALER: COUNTRYLANE	SERIAL #02395
DATE: 5/21/04	DRAWN BY:
COMMENTS:	DRAWN DATE:
1/0 REV: (DATE)	
1	
2	
3	
4	



OXFORD HOMES INC. - P.O. Box 878 - Orem, Utah 84270-0878



35 TRUSSES-TRUSS #89-90F HM311101

		TITLE: TRUSS LAYOUT MODEL: NOREASTER BRADBURY FIN. CAPE 28X40 DRAFTER: SOB DATE: 5/21/04 DEALER: COURTYLANE SERIAL #02395 DRAWN BY:	
7 Oxford Homes-Conn. - P.O. Box 878 - Oxford, Me. 04270-0878 C/O REV.# (DATE)		COMMENTS: 1 2	