

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

2008-0028

Application I. D. Number

**DRC Copy**  
*Phil*

3/17/2008

Application Date

**D.A. Brackett**

Applicant

**84 Country Lane, Portland, ME 04103**

Applicant's Mailing Address

**Dwight Brackett**

Consultant/Agent

**Applicant Ph: (207) 772-8629 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**258 - 258 Holm Ave, Portland, Maine**

Address of Proposed Site

**272 B013001**

Assessor's Reference: Chart-Block-Lot

**Single Fmaily Home**

Project Name/Description

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---	-----------------	---	--------

**Check Review Required:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       |
|   |   | <input type="checkbox"/> Historic Preservation       |
|   |   | <input type="checkbox"/> DEP Local Certification     |
|   |   | <input type="checkbox"/> Site Location               |
|   |   | <input type="checkbox"/> Other _____                 |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/20/2008

**DRC Approval Status:**

Reviewer \_\_\_\_\_

- Approved  **Approved w/Conditions**  Denied  
 See Attached

Approval Date \_\_\_\_\_ Approval Expiration *Phil* Extension to *4/1/08*  Additional Sheets Attached  
 signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |  |                |  |                 |
|--|----------------|--|-----------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | _____          | _____  | _____           |
|  | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                       | _____          | _____  |                 |
|  | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue                     | _____          |  |                 |
|  | date           |  |                 |
| <input checked="" type="checkbox"/> Performance Guarantee Reduced  | _____          | _____  | _____           |
|  | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|  | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                          | _____          | _____  |                 |
|  | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____          |  |                 |
|  | date           |  |                 |
| <input checked="" type="checkbox"/> Performance Guarantee Released | _____          | _____  |                 |
|  | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____          | _____  | _____           |
|  | submitted date | amount   | expiration date |
| <input checked="" type="checkbox"/> Defect Guarantee Released      | _____          | _____  |                 |
|  | date           | signature  |                 |

**Conditions Section:**

Add New Condition  
From Default List

Add New Condition

Delete Condition

Close

All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.



Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.



All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.



A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.



A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)



The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.



**From:** Michael Farmer  
**To:** DiPierro, Philip  
**Date:** 3/27/2008 3:29:47 PM  
**Subject:** Re: Holm Ave Single Family Site Plan Second Opinion

Phil:

Give me a call and we can schedule a meeting, perhaps friday or Monday.

Michael Farmer, Project Engineer  
Dept. of Public Works  
55 Portland Street  
Portland, ME 04101  
phone: 207-874-8845  
fax: 207-874-8852

>>> Philip DiPierro 03/27 2:42 PM >>>

Hi Mike, I was wondering if you have time to take a quick field trip to look at a single family site for a second opinion. This site is located next door to Robert Haynes at 258 Holm Ave. He is complaining about drainage and is concerned what impact the proposed house will have on his property. I have a site plan that I feel adequately addresses the issue, but would like your opinion.

Please let me know if and when you are available.

Thanks,

phil

p.s. - your voice mailbox is full and won't accept anymore messages.

3/31/08

- Site inspection w/ Mike Farmer for second opinion.
- Plan is acceptable
- DRG to reserve the right to require additional grading & drainage improvements if necessary
  - option to install another nyloplast drain ~~in~~ in lawn between driveway flare & road for improved drainage of front ~~part~~ of site
- Berm SW property line in order to contain water on applicants site.

DEPT. OF

11/22/2008



HISTORICAL LOT NUMBER

203

HISTORICAL LOT LINE DESIGNATION

19' SIDE SETBACK

58.9'

25' REAR SETBACK

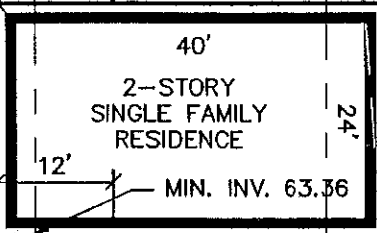
205

8'x12' DECK

9' SIDE SETBACK (SEE FIG. 1)

207

26.0'



N/P  
Richard E. Farnsworth  
&  
Eric S. Farnsworth  
21856/240

*[Handwritten signature]*

3/12/08

3/4" DOMESTIC WATER

2 RED MAPLE 2-1/2" CALIPER OR EQUIVALENT

25' FRONT SETBACK

3/4" CURB STOP

6" SAN  
L=60'  
S=0.0050

APPROXIMATE LOCATION OF WATER MAIN

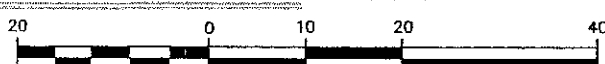
CITY OF PORTLAND APPROVED SITE PLAN

Subject to Dept. Conditions

Date of Approval: 4/1/08

TEST PIT TO CONFIRM LOCATION AND ELEVATION OF EXISTING WATERMAIN

CONNECT SANITARY SERVICE TO EXISTING MAIN PER CITY OF PORTLAND STANDARD DETAIL



Design: DER	Date: 3/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237 Phone: 207-657-6910  
15 Shaker Road Fax: 207-657-6912  
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: **Layout & Utility Plan**

Project: **HOLM AVENUE  
Portland, ME**

Figure No. **2**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2006-0114**  
Application I. D. Number

**Wd Investments Inc**  
Applicant  
**Po Box 10127, Portland , ME 04101**  
Applicant's Mailing Address  
**James M Wolf**  
Consultant/Agent  
**Agent Ph: (207)773-4988 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**6/14/2006**  
Application Date  
**258 Holm Ave**  
Project Name/Description

**258 - 258 Holm Ave, Portland, Maine**  
Address of Proposed Site  
**272 B013001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units 8876 sf Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 6/21/2006

**DRC Approval Status:**

Reviewer Jay Reynolds

Approved  Approved w/Conditions See Attached  Denied

Approval Date 8/30/2006 Approval Expiration 8/30/2007 Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance Jay Reynolds 8/30/2006  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2006-0114**

Application I. D. Number

**6/14/2006**

Application Date

**258 Holm Ave**

Project Name/Description

**Wd Investments Inc**

Applicant

**Po Box 10127, Portland , ME 04101**

Applicant's Mailing Address

**James M Wolf**

Consultant/Agent

**Agent Ph: (207) 773-4988**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**258 - 258 Holm Ave, Portland, Maine**

Address of Proposed Site

**272 B013001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of DRC**

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

*Don't comment  
letter 6-28*

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

2006-0114

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6/14/2006

Application Date

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**Po Box 10127, Portland , ME 04101**

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**James M Wolf**

Consultant/Agent

**Agent Ph: (207)773-4988**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**258 Holm Ave**

Project Name/Description

**258 - 258 Holm Ave, Portland, Maine**

Address of Proposed Site

**272 B013001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**8876 sf**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- Site Plan (major/minor)
- Subdivision # of lots \_\_\_\_\_
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 6/21/2006

**DRC Approval Status:**

Reviewer \_\_\_\_\_

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

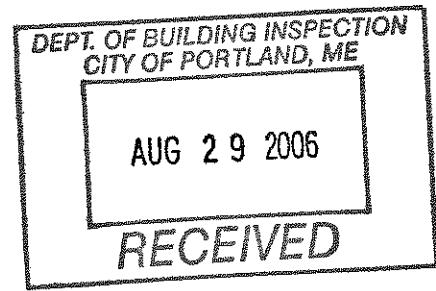
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- Inspection Fee Paid \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_
- Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_
- Temporary Certificate of Occupancy \_\_\_\_\_ date \_\_\_\_\_  Conditions (See Attached) \_\_\_\_\_ expiration date \_\_\_\_\_
- Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Defect Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date \_\_\_\_\_
- Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

**Jay Reynolds**

## SPACE AND BULK REQUIREMENTS – R-3 ZONE

MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	75 FT.



\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

### GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES ON MARCH 8, 2006.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

S:\Land Projects\1563\dwg\1563-PBASE.dwg, bulk, 8/15/2006 9:13:23 AM, bvandamm, Gorrill Palmer Consulting Engineers, Inc.

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: OER	Scale: NTS
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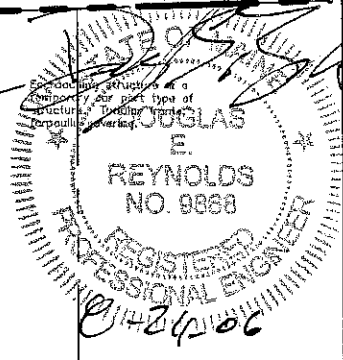


Gorrill-Palmer Consulting Engineers, Inc.  
*Traffic and Civil Engineering Services*  
PO Box 1237  
15 Shaker Road  
Gray, ME 04039  
Phone: 207-657-6910  
Fax: 207-657-6912  
Email: mailbox@gorrillpalmer.com

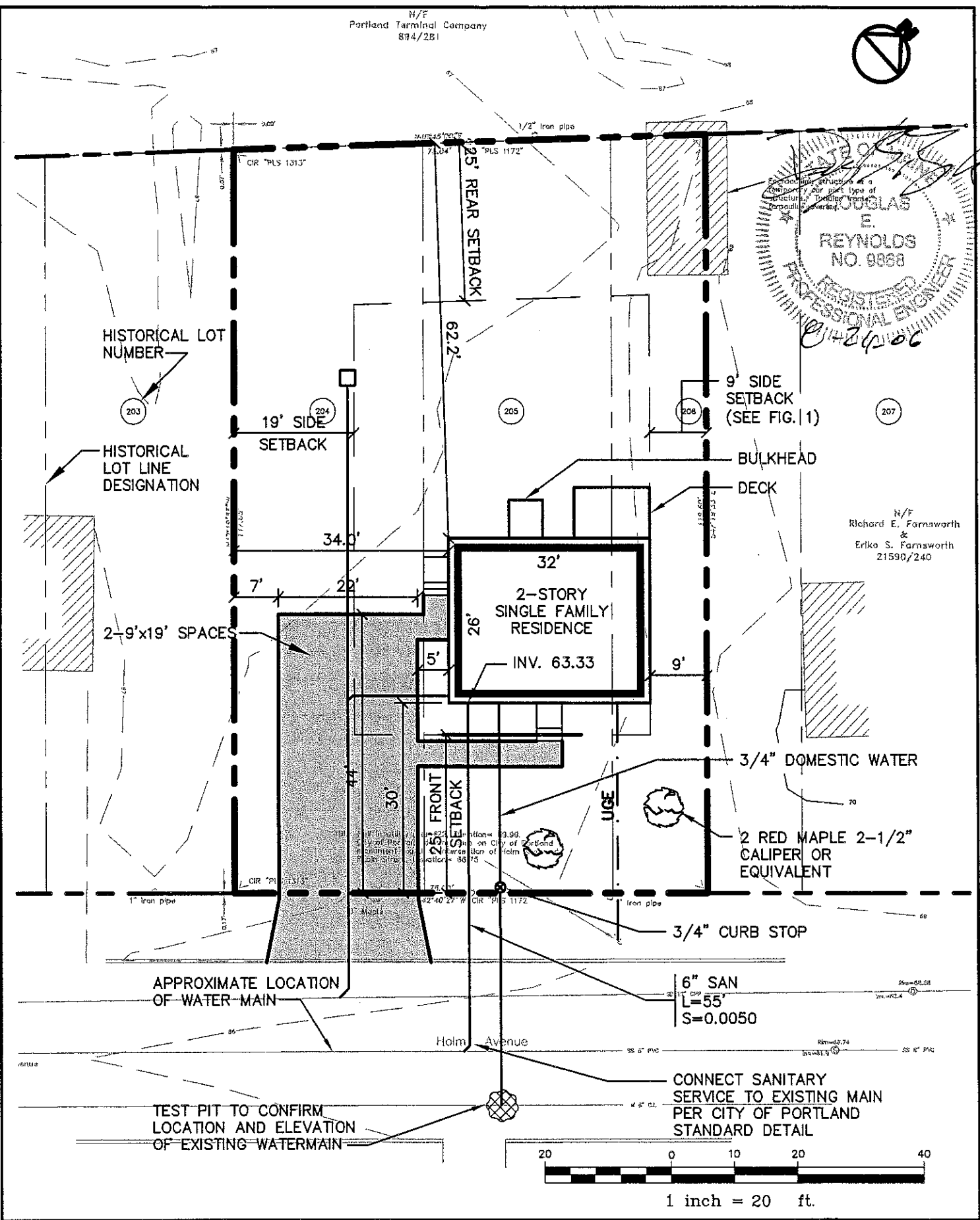
Drawing Name:	<b>GENERAL NOTES</b>
Project:	<b>HOLM AVENUE Portland, ME</b>

Figure No.	<b>1</b>
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N/F  
Richard E. Farnsworth  
&  
Erika S. Farnsworth  
21590/240



Design: DER	Date: 3/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563--PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

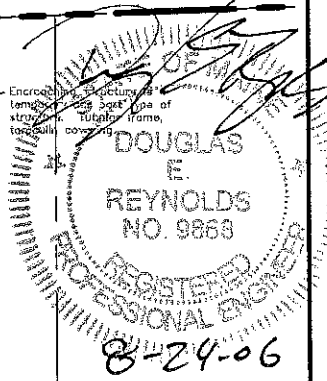
PO Box 1237  
15 Shaker Road  
Gray, ME 04039

Phone: 207-657-6910  
Fax: 207-657-6912  
Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Layout & Utility Plan**

Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**2**



N/F  
Richard E. Farnsworth  
&  
Erika S. Farnsworth  
21590/240

SILT FENCE (TYP.)

- NOTE:**
1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED
  2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

30" NYLOPLAST CATCH BASIN  
INV. OUT=62.83  
RIM=66.52

2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 72.40  
INV. 62.57

6" SD  
L=16'  
S=0.0050

8"x6" WYE

8" SD  
L=110'  
S=0.0050

NOTE: Nail in utility pipe #22. Elevation=69.99.  
City of Portland datum, base on City of Portland monument found at intersection of Ham and Robin Street. Elevation=66.75

CONNECT TO EXISTING 12" CPP STORM DRAIN, INV. 62.27

TEST PIT TO DETERMINE EXACT LOCATION AND ELEVATION OF EXISTING STORM DRAIN



1 inch = 20 ft.

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237 Phone: 207-657-6910  
15 Shaker Road Fax: 207-657-6912  
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Grading & Drainage Plan**

Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**3**



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* ® [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

Mr. James Wolf  
WD Investments, Inc.  
P.O. Box 10127  
Portland, Maine 04101

June 28, 2006

Dear Mr. Wolf:

RE: Application for single family house, Holm Avenue

Upon review of the site plan, the City's Planning Division has the following comments:

1. Due to the limited topography change and potential impacts on the neighboring property, the City is requiring that a field inlet tying into the City's storm drain system be added to your site plan for your approval. There appears to be a separated system along the gutter line that will make this easy to accomplish. Please add this to your site plan. Also, the topography should be slightly altered so that drainage is directed towards the inlet.
- ✓ 2. Please add survey data: survey stamp, bearings, and lot line dimensions, to your site plan.
- ✓ 3. The shed that encroaches on your property should be resolved as part of your project. I will defer to the zoning administrator regarding the relocation of this structure.

Please resubmit 4 copies of the revised site plan to my attention.

Sincerely,

Jay Reynolds  
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager  
Marge Schmuckal, Zoning Administrator

## **SPACE AND BULK REQUIREMENTS - R-3 ZONE**

MINIMUM LOT SIZE: 6,500 S.F.

MINIMUM FRONTAGE: 50 FT.

### MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

### SIDE YARD\*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 75 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

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## **GENERAL NOTES**

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Draft: CAH	Job No.: 1563
Checked: DER	Scale: NTS
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Email: mailbox@gorrillpalmer.com

Drawing Name:

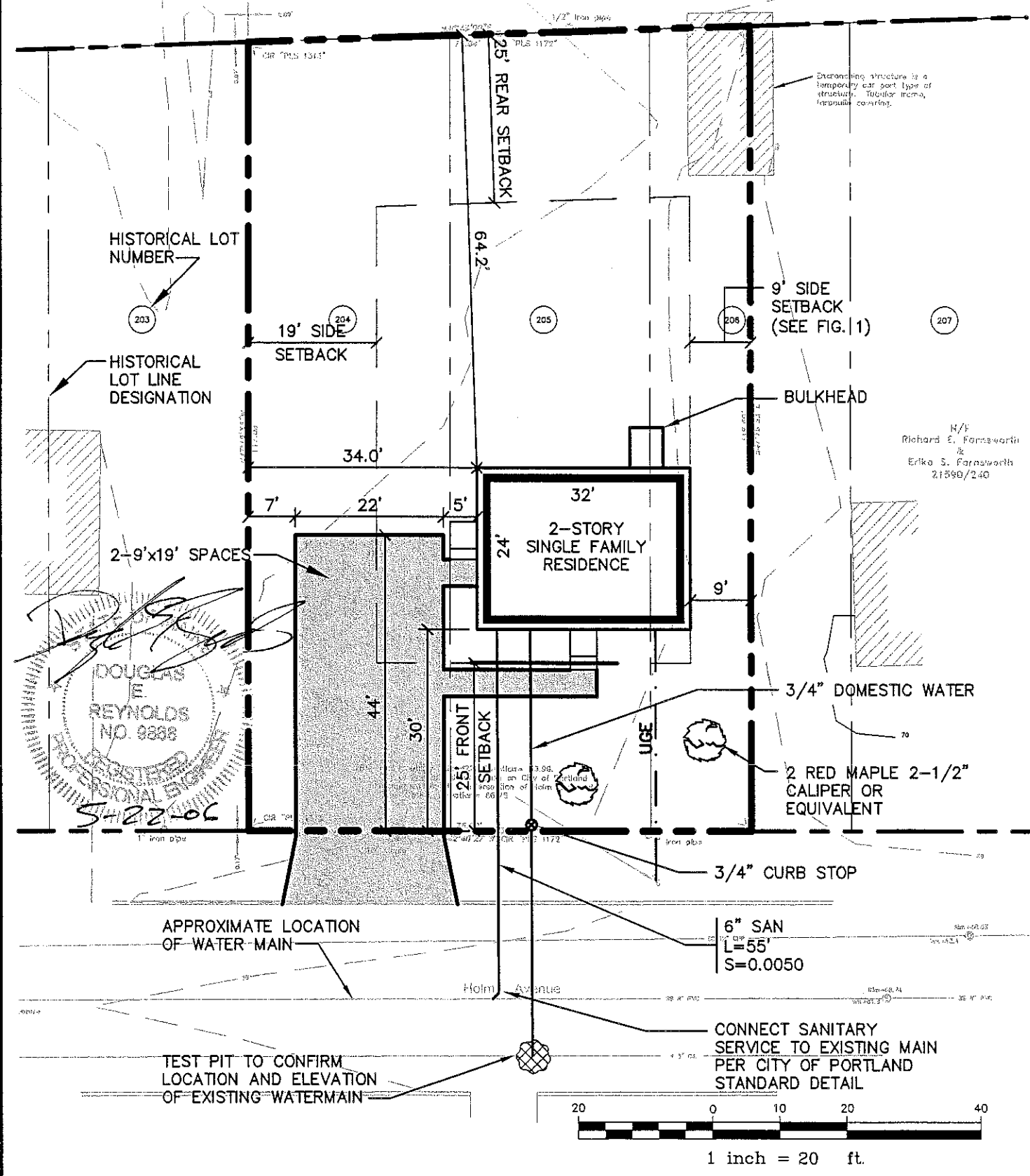
**GENERAL NOTES**

Project:

**HOLM AVENUE  
Portland, ME**

Figure No.

**1**



DOUGLAS E. REYNOLDS  
REGISTERED PROFESSIONAL ENGINEER  
NO. 9888  
5-22-06

H/P  
Richard E. Farnsworth  
&  
Erika S. Farnsworth  
21590/240

Design: DER	Date: 3/08
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237 Phone: 207-657-6910  
15 Shaker Road Fax: 207-657-6912  
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Layout & Utility Plan**

Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**2**



SILT FENCE (TYP.)

**NOTE:**  
1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED

2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

Encroaching structure is a temporary one part type of structure. Tubular frame, tarpaulin covering

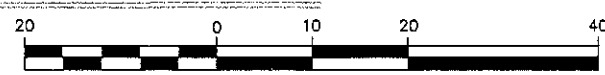
M/F  
Richard E. Farnsworth  
&  
Ernie S. Farnsworth  
21500/240

2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 71.00

1844- Hole in utility pipe 322, Situations - AS SR  
City of Portland, Bureau, maps on City of Portland monument found at intersection of Helm Robt. Street, Elevations - 66.75

DOUGLAS E. REYNOLDS  
NO. 9888

5-22-06



1 inch = 20 ft.

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PEASE.dwg	

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15 Shaker Road  
Gray, ME 04039

Phone: 207-657-6910  
Fax: 207-657-6912  
Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Grading & Drainage Plan**

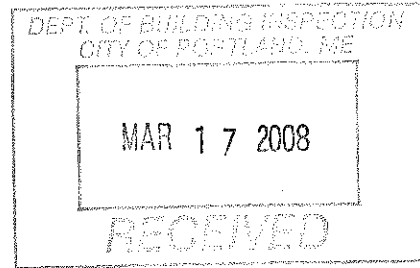
Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**3**

## SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.  
MINIMUM FRONTAGE: 50 FT.  
MINIMUM SETBACKS:  
FRONT YARD 25 FT.  
REAR YARD 25 FT.  
SIDE YARD\*  
1 STORY 8 FT.  
1 1/2 STORY 8 FT.  
2 STORY 14 FT.  
2 1/2 STORY 16 FT.  
MINIMUM LOT WIDTH: 75 FT.

*258 Holm Ave*



\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

*2nd Amendment to*

*Site plan*

*2006-0114*

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

*(original permit #01-0895)*

## GENERAL NOTES

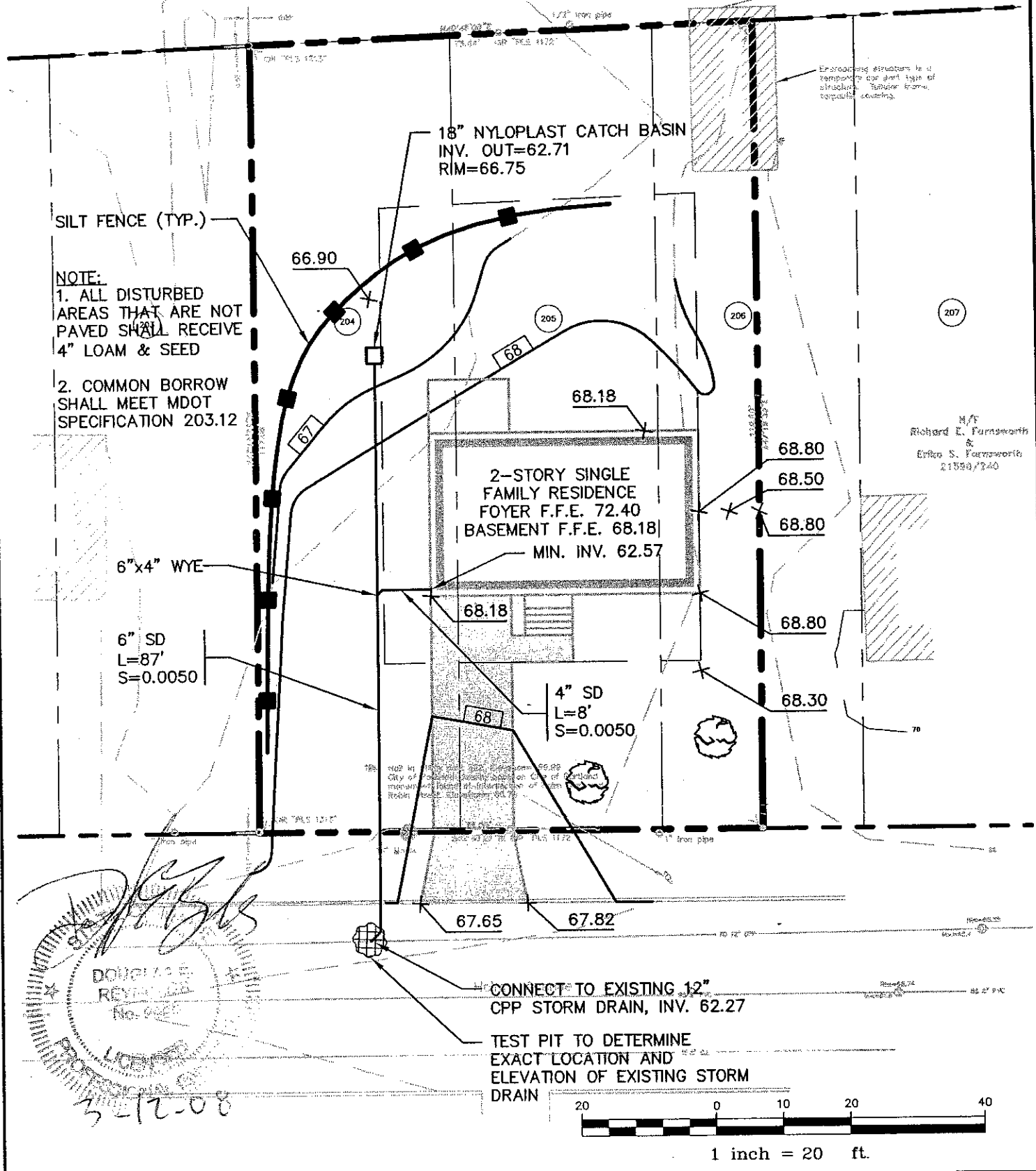
1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES ON MARCH 8, 2006.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: NTS
File Name: 1563-PBASE.dwg	

	Gorrill-Palmer Consulting Engineers, Inc.
	Traffic and Civil Engineering Services
PO Box 1237 15 Shaker Road Gray, ME 04039	Phone: 207-657-6910 Fax: 207-657-6912 Email: mailbox@gorrillpalmer.com

Drawing Name:	<b>GENERAL NOTES</b>
Project:	<b>HOLM AVENUE Portland, ME</b>

Figure No.	<b>1</b>
------------	----------



Enclosing structure is a temporary one and type of structure, surface frame, requires coating.

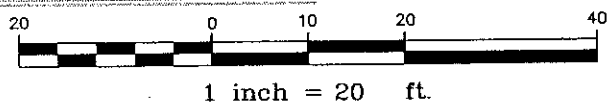
SILT FENCE (TYP.)

**NOTE:**  
1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED  
2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

2-STORY SINGLE FAMILY RESIDENCE  
FOYER F.F.E. 72.40  
BASEMENT F.F.E. 68.18  
MIN. INV. 62.57

CONNECT TO EXISTING 12" CPP STORM DRAIN, INV. 62.27

TEST PIT TO DETERMINE EXACT LOCATION AND ELEVATION OF EXISTING STORM DRAIN



M/E  
Richard L. Furnsworth  
&  
Erika S. Furnsworth  
21550/240

*[Handwritten signature]*  
DOUGLAS E. REYNOLDS  
No. 9423  
3-12-08

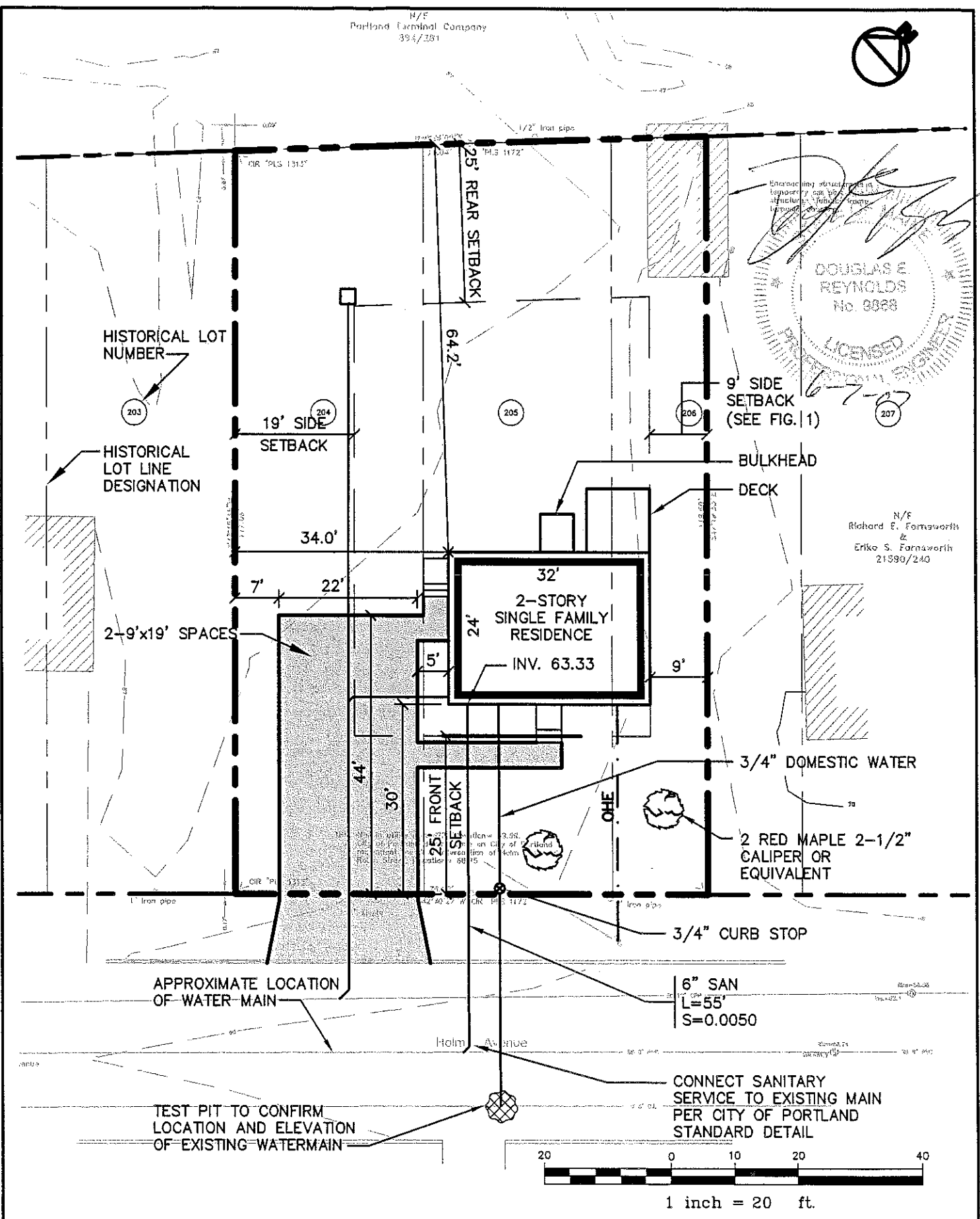
Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
PO Box 1237 Phone: 207-657-6910  
15 Shaker Road Fax: 207-657-8912  
Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Grading & Drainage Plan**  
Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**3**





DOUGLAS E. REYNOLDS  
No. 3888  
LICENSED PROFESSIONAL ENGINEER

N/E  
Richard E. Farnsworth &  
Erika S. Farnsworth  
21590/240

Design: DER	Date: 3/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

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Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Layout & Utility Plan**

Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**2**



SILT FENCE (TYP.)

**NOTE:**  
1. ALL DISTURBED  
AREAS THAT ARE NOT  
PAVED SHALL RECEIVE  
4" LOAM & SEED

2. COMMON BORROW  
SHALL MEET MDOT  
SPECIFICATION 203.12

8"x6" WYE

8" SD  
L=110'  
S=0.0050

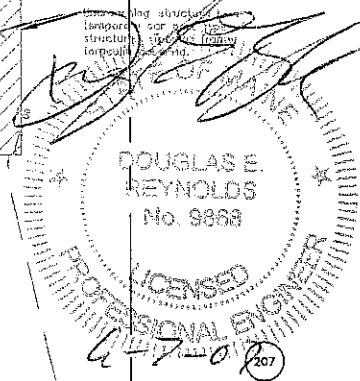
30" NYLOPLAST CATCH BASIN  
INV. OUT=62.83  
RIM=66.52

2-STORY  
SINGLE FAMILY  
RESIDENCE  
F.F.E. 72.40  
INV. 62.57

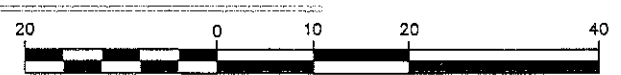
6" SD  
L=16'  
S=0.0050

CONNECT TO EXISTING 12"  
CPP STORM DRAIN, INV. 62.27

TEST PIT TO DETERMINE  
EXACT LOCATION AND  
ELEVATION OF EXISTING STORM  
DRAIN



N/F  
Richard E. Farnsworth  
&  
Erica S. Farnsworth  
21596/240



Design: DER	Date: 5/08
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

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Fax: 207-657-6912  
Email: mailbox@gorrillpalmer.com

Drawing Name:  
**Grading & Drainage Plan**

Project:  
**HOLM AVENUE  
Portland, ME**

Figure No.  
**3**

**Barbara Barhydt - Re: Portland Gardens Subdivision**

---

**From:** Charles Wordell  
**To:** Barbara Barhydt  
**Date:** Friday, September 09, 2011 2:31 PM  
**Subject:** Re: Portland Gardens Subdivision  
**CC:** Michelle Sweeney; Philip DiPierro

---

Hello Barbara,

Michelle and I took a cursory look at this...

We reviewed the most recent deed from the Registry as well as our vault copy of the original subdivision plan.

At this point, there does not appear to be any evidence of a sanitary or storm easement on the property.

If you have any other information regarding this lot it may allow us to dig a little further.

Thanks,  
Chuck

>>> Barbara Barhydt 9/9/2011 10:51 AM >>>  
Hi:

We are looking into whether there are any easements on the lot at 258 Holm Avenue. The lot was No. 204 and 205 and half of lot No. 206 as delineated on the Portland Gardens Plan, made by A. L. Eliot, Surveyor, dated July 1, 1912. The plan is recorded in the Cumberland County Registry of Deeds in Plan Book 12, page 23.

According to the warranty deed, this lot was described in two deeds from Richard M. Libby, dated July 23, 2004 and recorded in CCRD Book 21790, page 31 and dated October 2, 2002 and recorded in Book 22705, Page 272. Reference is also made to deed dated May 14, 1999, recorded in Book 14768, page 174.

Could you look into this for us?

Thank you.

Barbara

HOLM AVENUE

**Warranty Deed**

(Maine Statutory Short Form)


David J. Brichetto, Sr. a/k/a David Brichetto and David Brichetto, Sr. of New Gloucester, Maine, for consideration paid, grants to **WD Investments, Inc.**, a Maine corporation with a mailing address of P.O. Box 10127, Portland, Maine 04104 with **WARRANTY COVENANTS**, the following described real property situated at **254,256 and 258 Holm Avenue, Portland, Cumberland County, Maine**


MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land situated on the northwesterly side of Holm Avenue in the City of Portland, County of Cumberland, and State of Maine, and being Lots No. 204 and 205 and the southwesterly half of Lot No. 206 as delineated on Plan of Lots at Portland Gardens belonging to J. W. Wilbur, said plan being made by A. L. Eliot, Surveyor, dated July 1, 1912, and recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 23, to which plan reference is hereby made for a more particular description.

Meaning and intending to convey and hereby conveying the same premises described in *two* deeds from Richard M. Libby, dated July 23, 2004, and recorded in the Cumberland County Registry of Deeds in Book 21790, Page 31, and dated October 2, 2002 and recorded in Book 22705, Page 272. Reference is also made to deed dated May 14, 1999, recorded in Book 14768, Page 174.

I Witness my hand this Third day of June, 2005.

  
\_\_\_\_\_  
Witness


  
\_\_\_\_\_  
David J. Brichetto, Sr.

State of Maine  
County of Cumberland, ss

June 3, 2005

Personally appeared the above named David J. Brichetto, Sr. and acknowledged the foregoing instrument to be his free act and deed.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law

Printed Name: **MATTHEW J. MCDONALD**  
Comm. Exp: **MAINE ATTORNEY AT LAW**

Received  
Recorded Register of Deeds  
Jun 03/2005 02:54:44P  
Cumberland County  
John E. O'Brien

CL-16558

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: May 14, 2009

RE: C. of O. for #258 Holm Avenue,  
(Id#2008-0028) (CBL 272 B 013001)

---

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Tammy Munson, Inspection Services Manager  
File: Urban Insight

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: February 26, 2009

RE: C. of O. for #258 Holm Avenue,  
(Id#2008-0028) (CBL 272 B 013001)

---

After visiting the site, I have the following comments:

Site work incomplete:

1. Final site grading,
2. Loam and seed,
3. Installation of the required street trees,

I anticipate this work can be completed by **June 1, 2009**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Tammy Munson, Inspection Services Manager  
File: Urban Insight

**From:** Michael Collins  
**To:** DiPierro , Philip  
**Date:** 2/25/2009 12:43:56 PM  
**Subject:** 258 Holm Ave.

Hi Phil,  
I would like a memo for C/O.  
Owner: Dwight Brackett  
CBL: 272-B-013  
Permit # 081503  
New Single Family.  
Thanks again

**CC:** Michael Collins

## SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT

SIDE YARD\*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 75 FT.


\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

## GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES ON MARCH 8, 2006.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

Design: DER	Date: 5/08
Draft: CAH	Job No.: 1563
Checked: DER	Scale: NTS
File Name: 1563-PBASE_05 508.dwg	

	Gorrill-Palmer Consulting Engineers, Inc.
	Traffic and Civil Engineering Services
PO Box 1237 15 Shaker Road Portland, ME 04039	Phone: 207-657-6910 Fax: 207-657-6912 Email: mailbox@gorrillpalmer.com

Drawing Name:	<b>GENERAL NOTES</b>
Project:	<b>HOLM AVENUE Portland, ME</b>

Figure No.

**1**





*[Handwritten signature]*

11-24-08

HISTORICAL LOT NUMBER

203

HISTORICAL LOT LINE DESIGNATION

19' SIDE SETBACK

204

205

9' SIDE SETBACK (SEE FIG. 1)

207

BULKHEAD

2-9'x19' SPACES

31.0'

14'

12'

5'

32'

24'

2-STORY SINGLE FAMILY RESIDENCE

12'

63'

30'

25' FRONT SETBACK

UGR

3/4" DOMESTIC WATER

2 RED MAPLE 2-1/2" CALIPER OR EQUIVALENT

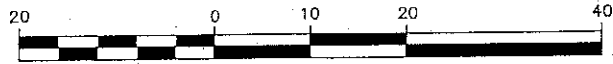
3/4" CURB STOP

APPROXIMATE LOCATION OF WATER MAIN

6" SAN  
L=55'  
S=0.0050

TEST PIT TO CONFIRM LOCATION AND ELEVATION OF EXISTING WATERMAIN

CONNECT SANITARY SERVICE TO EXISTING MAIN PER CITY OF PORTLAND STANDARD DETAIL



1 inch = 20 ft.

Design: DER	Date: 3/08
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE_05	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237 Phone: 207-657-6910  
15 Shaker Road Fax: 207-657-6912  
Portland, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: **Layout & Utility Plan**

Project: 258 **HOLM AVENUE  
Portland, ME**

Figure No. **2**



*[Handwritten signature]*

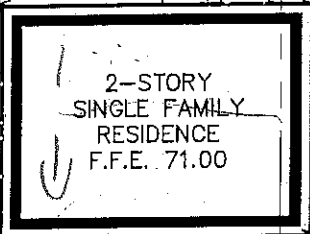
11-24-08

**NOTE:**  
 1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED  
 2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

6"x4" WYE

6" SD  
L=87'  
S=0.0050

18" NYLOPLAST CATCH BASIN  
INV. OUT=62.71  
RIM=66.75



2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 71.00

4" SD  
L=12.5'  
S=0.0050

67.70

67.82

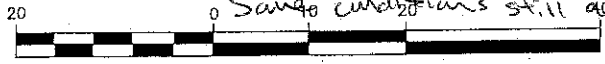
CONNECT TO EXISTING 18" CPP STORM DRAIN, INV. 62.27  
 TEST PIT TO DETERMINE EXACT LOCATION AND ELEVATION OF EXISTING STORM DRAIN

**CITY OF PORTLAND APPROVED SITE PLAN**

Subject to Dept. Conditions

Date of Approval: 12/2/08

*Amendment to Plan  
 Approved 4/1/08 - All the  
 same conditions still apply*



1 inch = 20 ft.

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE_05	

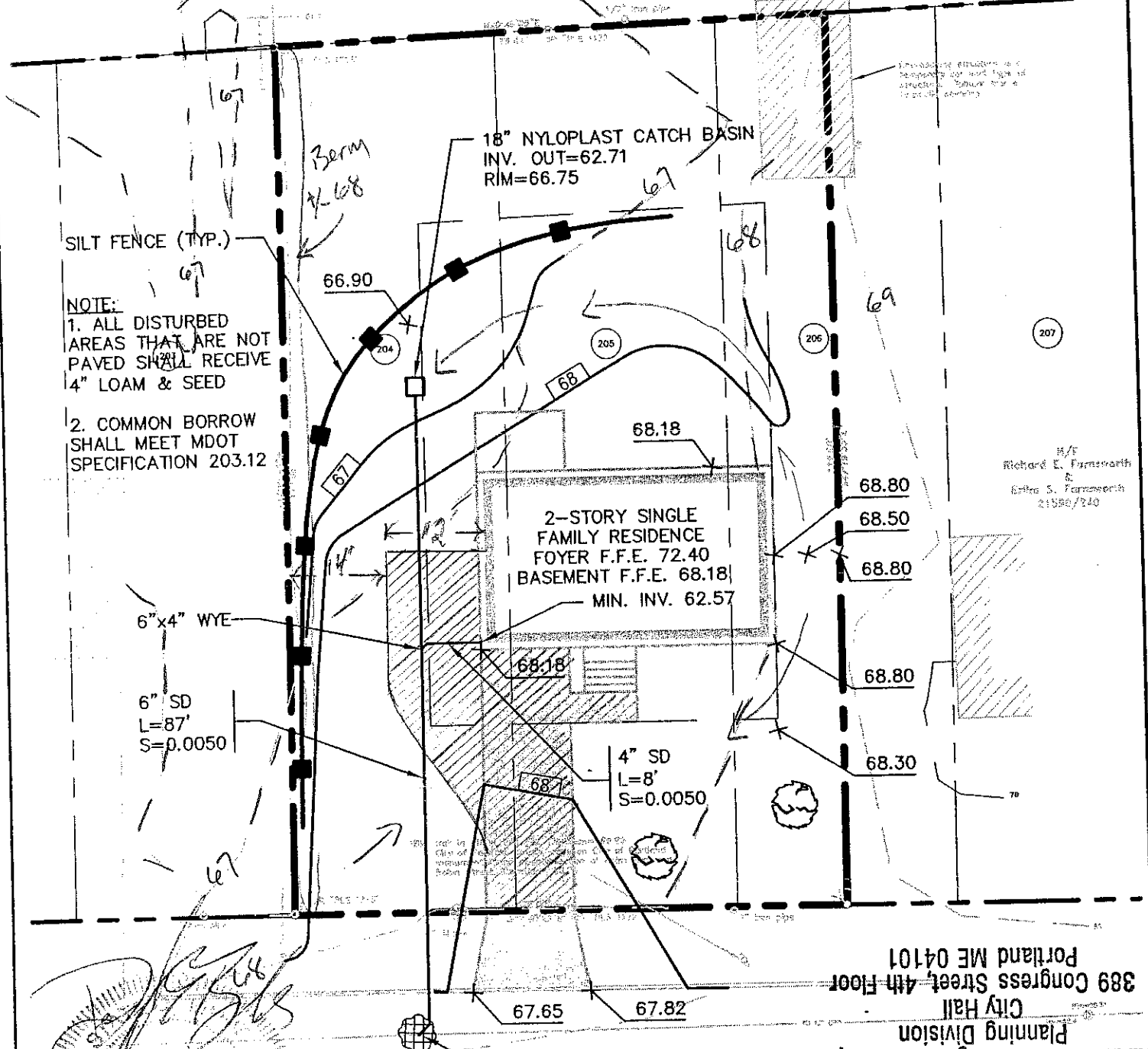
**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

PO Box 1237 Phone: 207-657-6910  
 15 Shaker Road Fax: 207-657-6912  
 Portland, ME 04108 Email: mailbox@gorrillpalmer.com

Drawing Name: **Grading & Drainage Plan**

Project: **HOLM AVENUE  
 Portland, ME**

Figure No. **3**



M/E  
Richard E. Farnsworth  
E. S. Farnsworth  
21580/240

**NOTE:**  
1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED  
2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

6" x 4" WYE  
6" SD  
L=87'  
S=0.0050

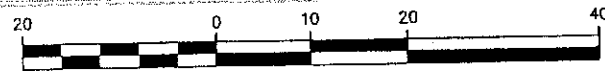
4" SD  
L=8'  
S=0.0050

18" NYLOPLAST CATCH BASIN  
INV. OUT=62.71  
RIM=66.75

2-STORY SINGLE FAMILY RESIDENCE  
FOYER F.F.E. 72.40  
BASEMENT F.F.E. 68.18  
MIN. INV. 62.57

Department of Planning and Development  
City Hall  
389 Congress Street, 4th Floor  
Portland ME 04101

CONNECT TO EXISTING 12" CPP STORM DRAIN, INV. 62.27  
TEST PIT TO DETERMINE EXACT LOCATION AND ELEVATION OF EXISTING STORM DRAIN



**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 4/1/08

Design: DER	Date: 5/06
Draft: CAH	Job No.: 1563
Checked: DER	Scale: 1"=20'
File Name: 1563-PBASE.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

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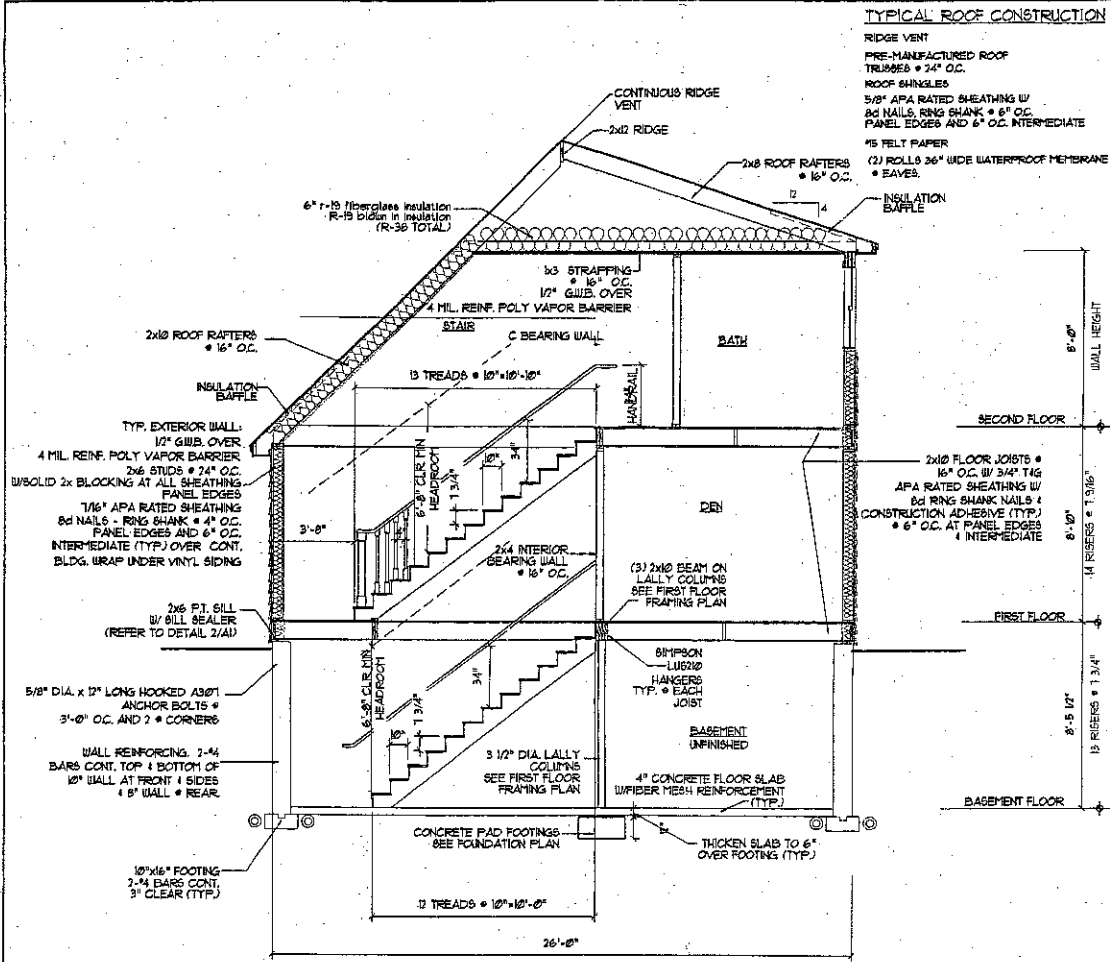
Drawing Name: **Grading & Drainage Plan**

Project: **HOLM AVENUE  
Portland, ME**

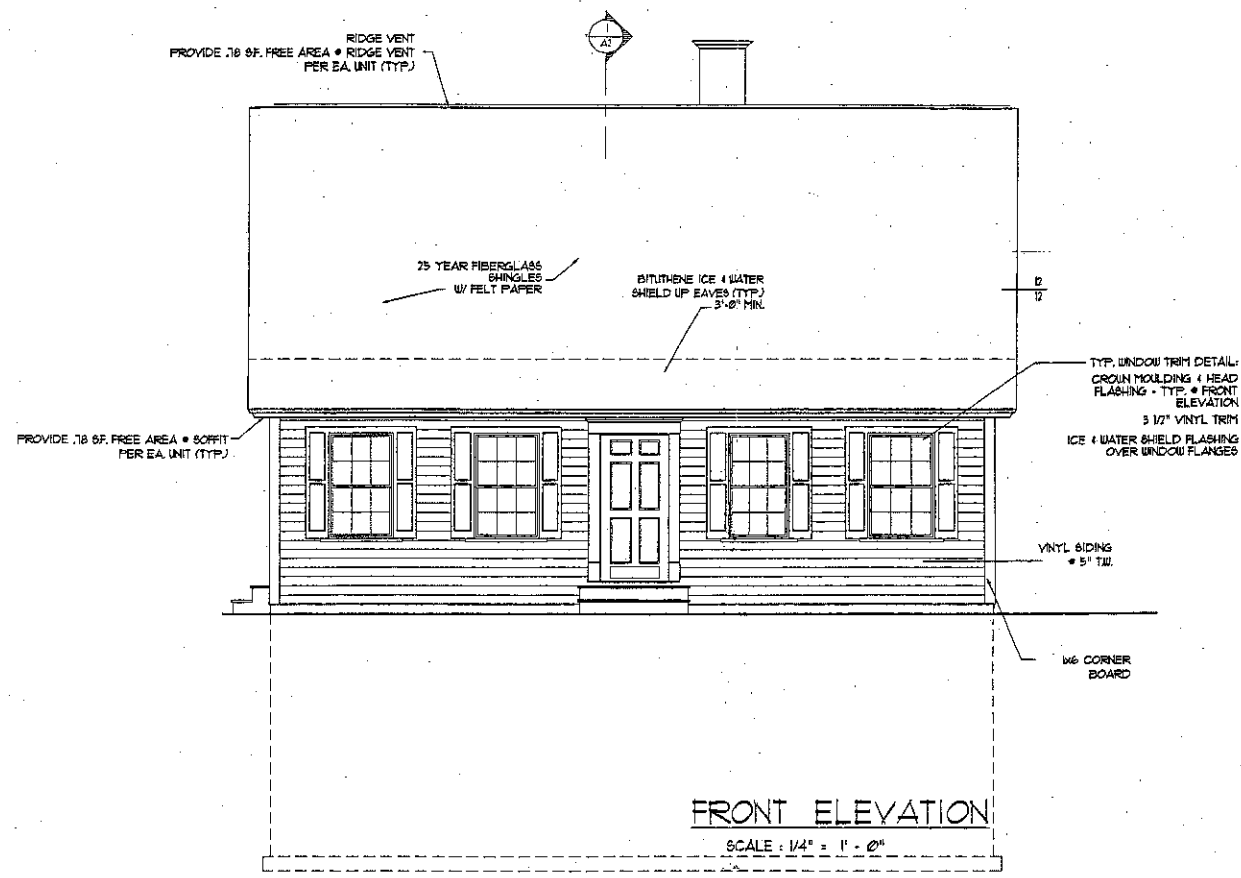
Figure No.  
**3**

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-6"	(3) - 2x10
5'-7" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

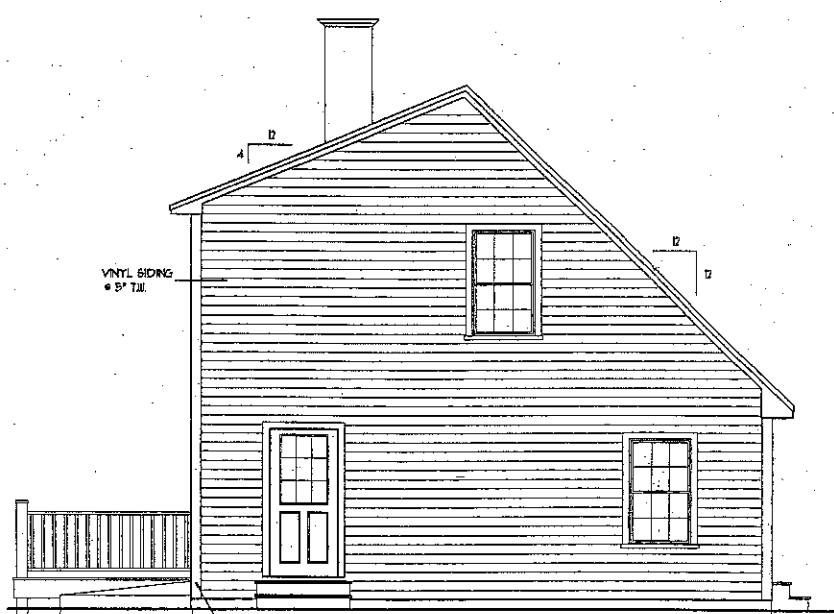


**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"

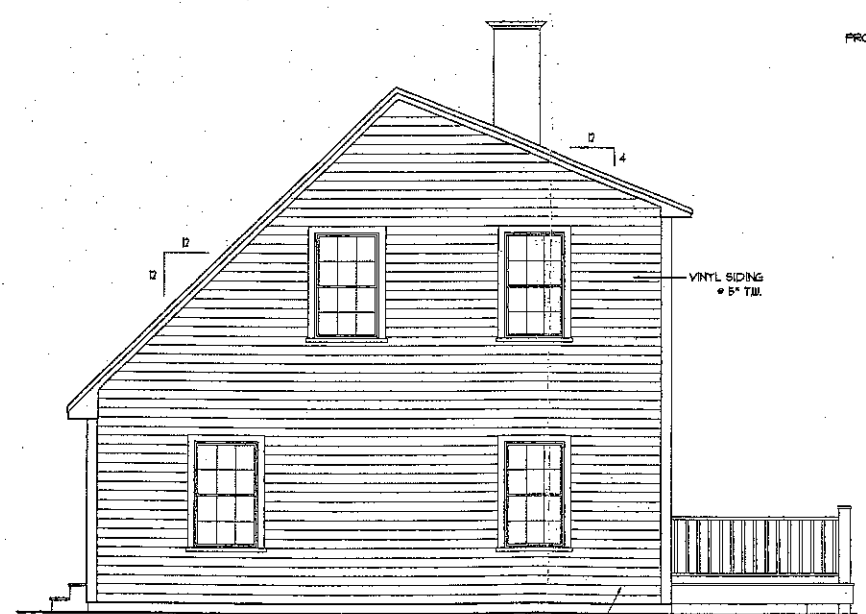


**FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"

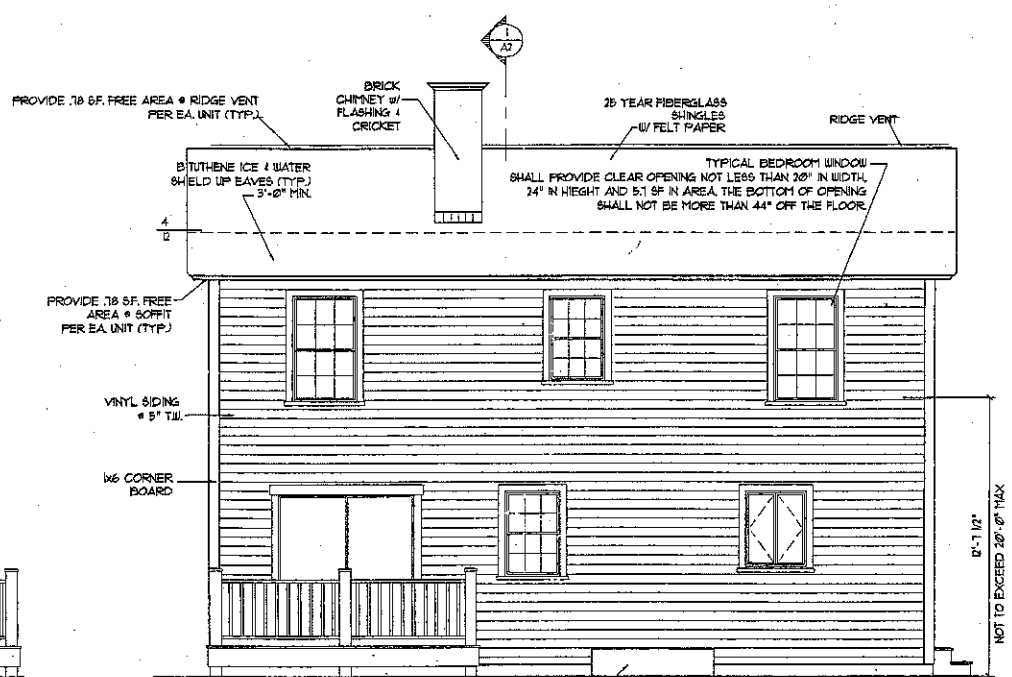
DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 AUG 29 2006  
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**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"

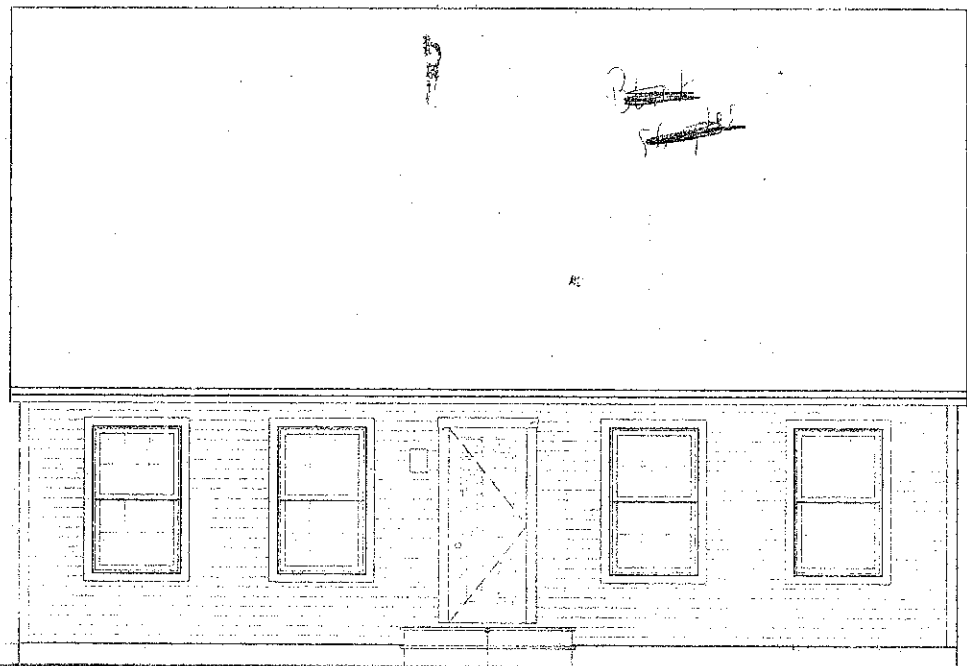


**REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"

26 x 32 CAPE  
 BED ROOM LEFT

DRAWINGS THIS SHEET  
 ELEVATIONS / SECTION  
 DATE  
 02/14/05

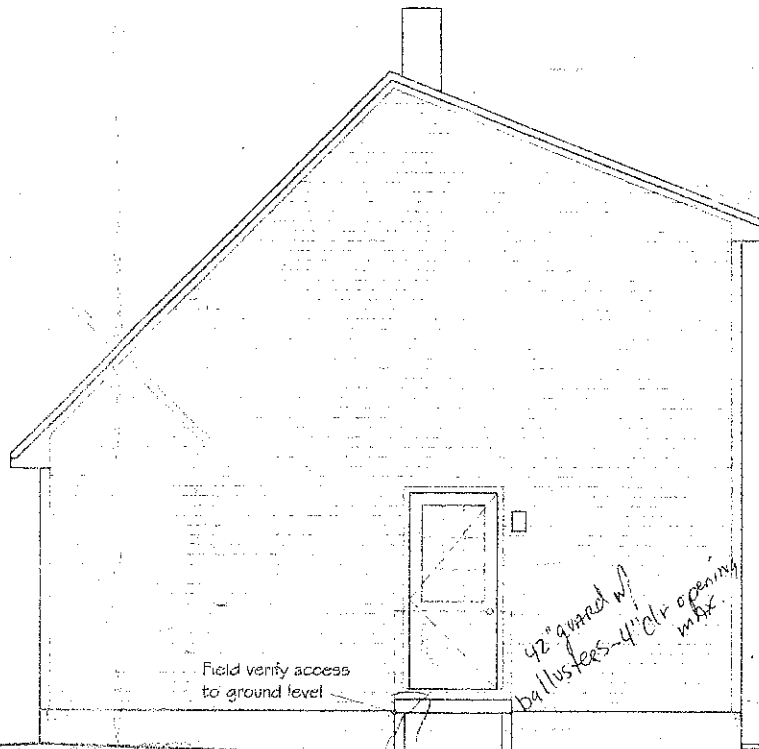
A2



FRONT ELEVATION

Scale: N.T.S.

Field verify access to ground level



RIGHT ELEVATION

Scale: N.T.S.

Field verify access to ground level

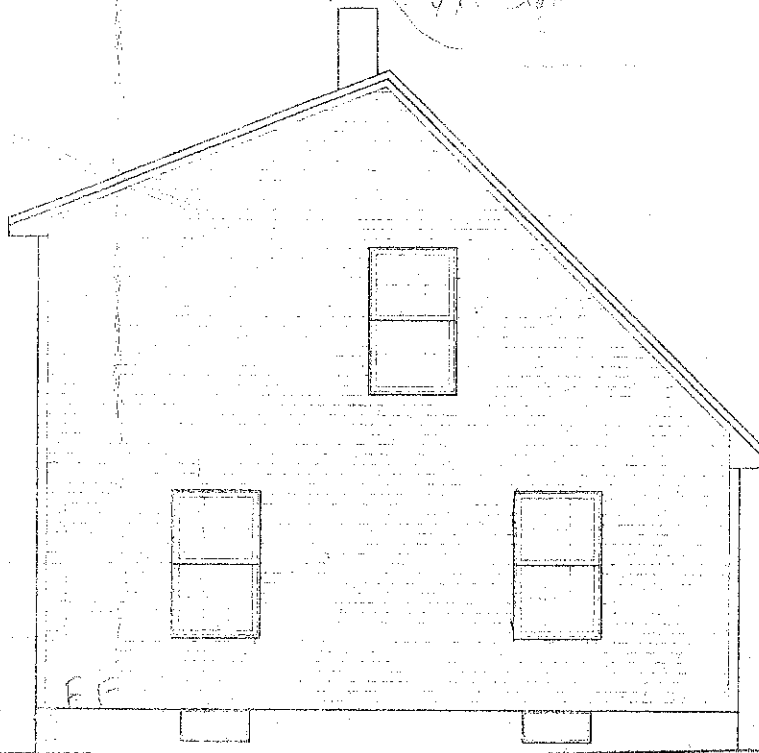
Field verify locations of foundation wall and footing drops dependent on existing site contours.



REAR ELEVATION

Scale: N.T.S.

42" gourd w/ ballusters-4" dia opening max



LEFT ELEVATION

Scale: N.T.S.

date drawn:	4/7/03
date issued:	4/7/03
drawn by:	JMG
scale:	NOTED

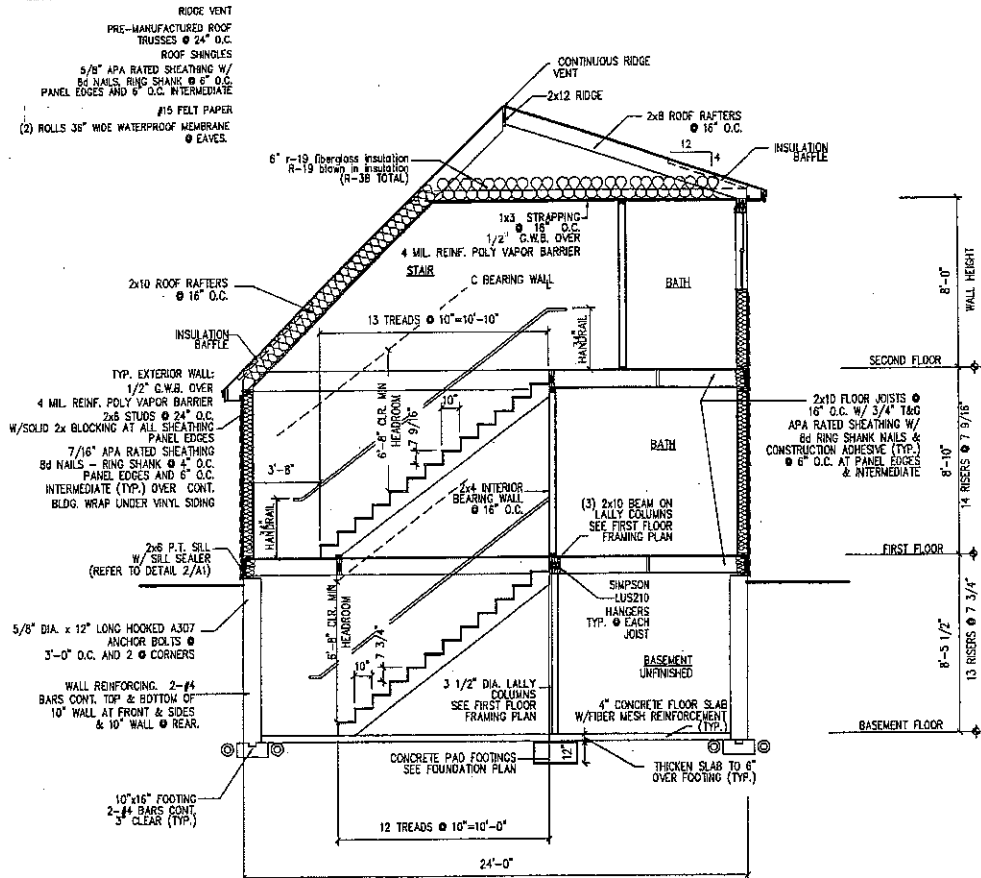
project number:	2366
revisions:	

project: 24' x 32' DORMERED CAPE  
 1401m Ave. Elevations Portland  
 drawing title

A1  
 sheet number

PLEASE BE ADVISED THAT JMG DESIGNS, INC. IS NOT CERTIFIED AS A STATE OF MAINE ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS SHOULD CONSULT AN ENGINEER OR ARCHITECT TO CONFIRM THE DESIGN'S CAPABILITIES AND SUITABILITY BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION. BEFORE BEGINNING CONSTRUCTION, IT IS THE CONTRACTOR/CUSTOMER'S RESPONSIBILITY TO MAKE SURE ALL TOWN/CITY CODES ARE BEING MET.

**TYPICAL ROOF CONSTRUCTION**

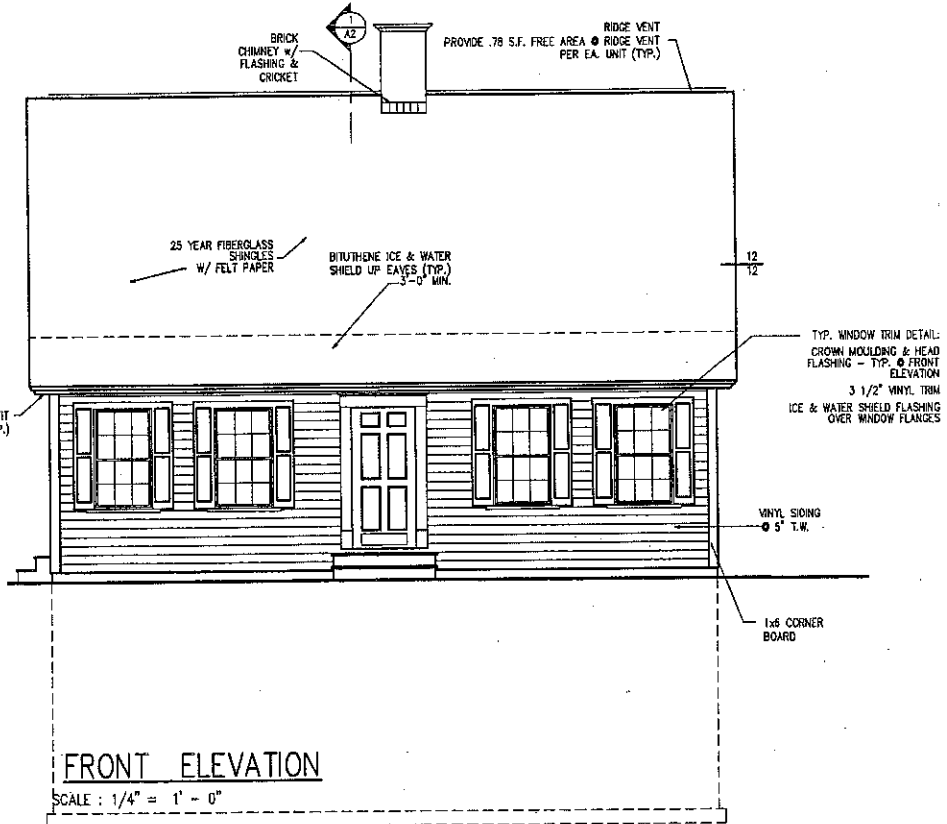


**SECTION THRU HOUSE**  
SCALE: 1/4" = 1' - 0"

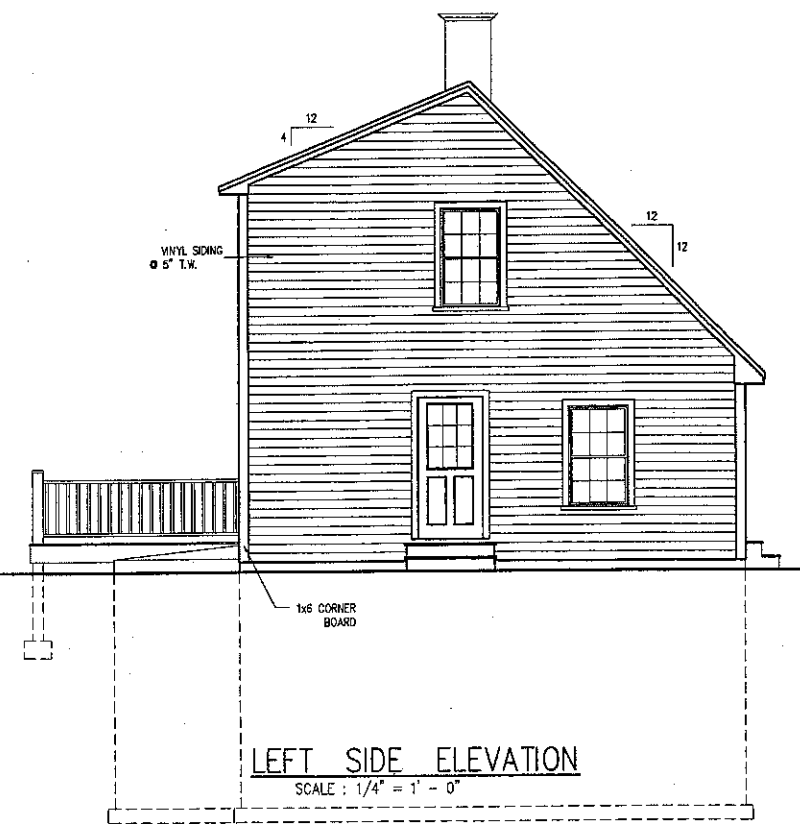
**HEADER SCHEDULE**

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(2) - 2x6
3'-1" - 4'-8"	(3) - 2x6
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

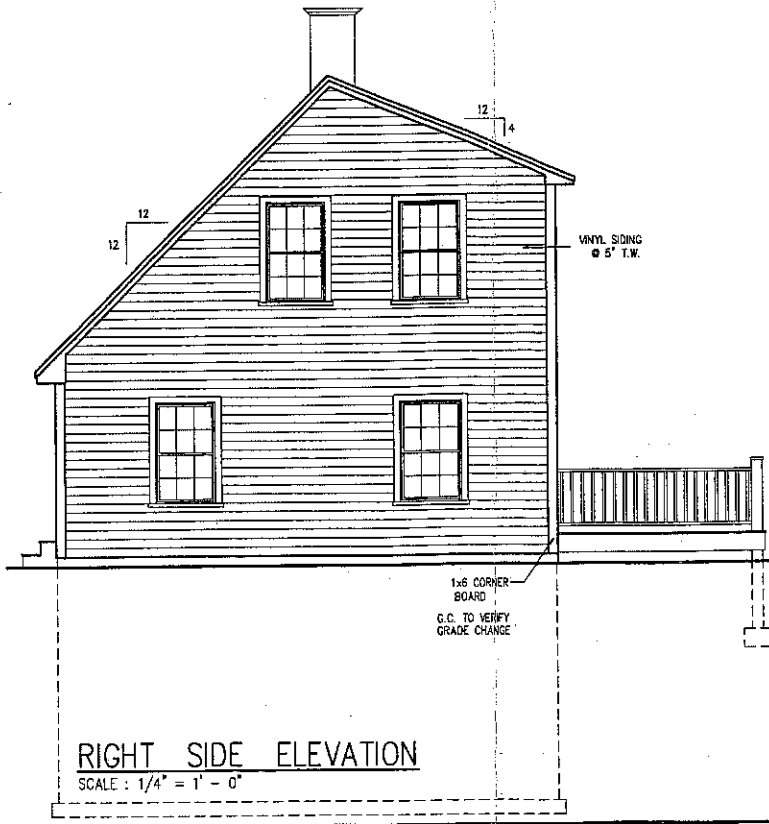
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING  
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



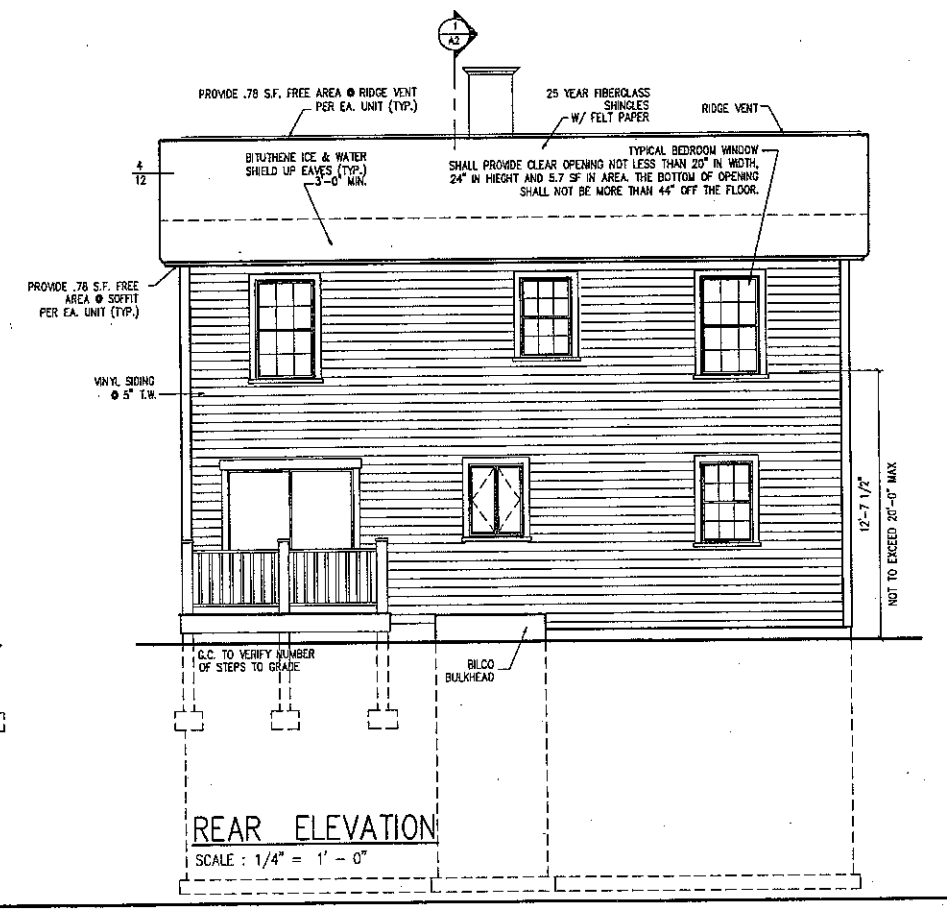
**FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"

DRAWINGS THIS SHEET

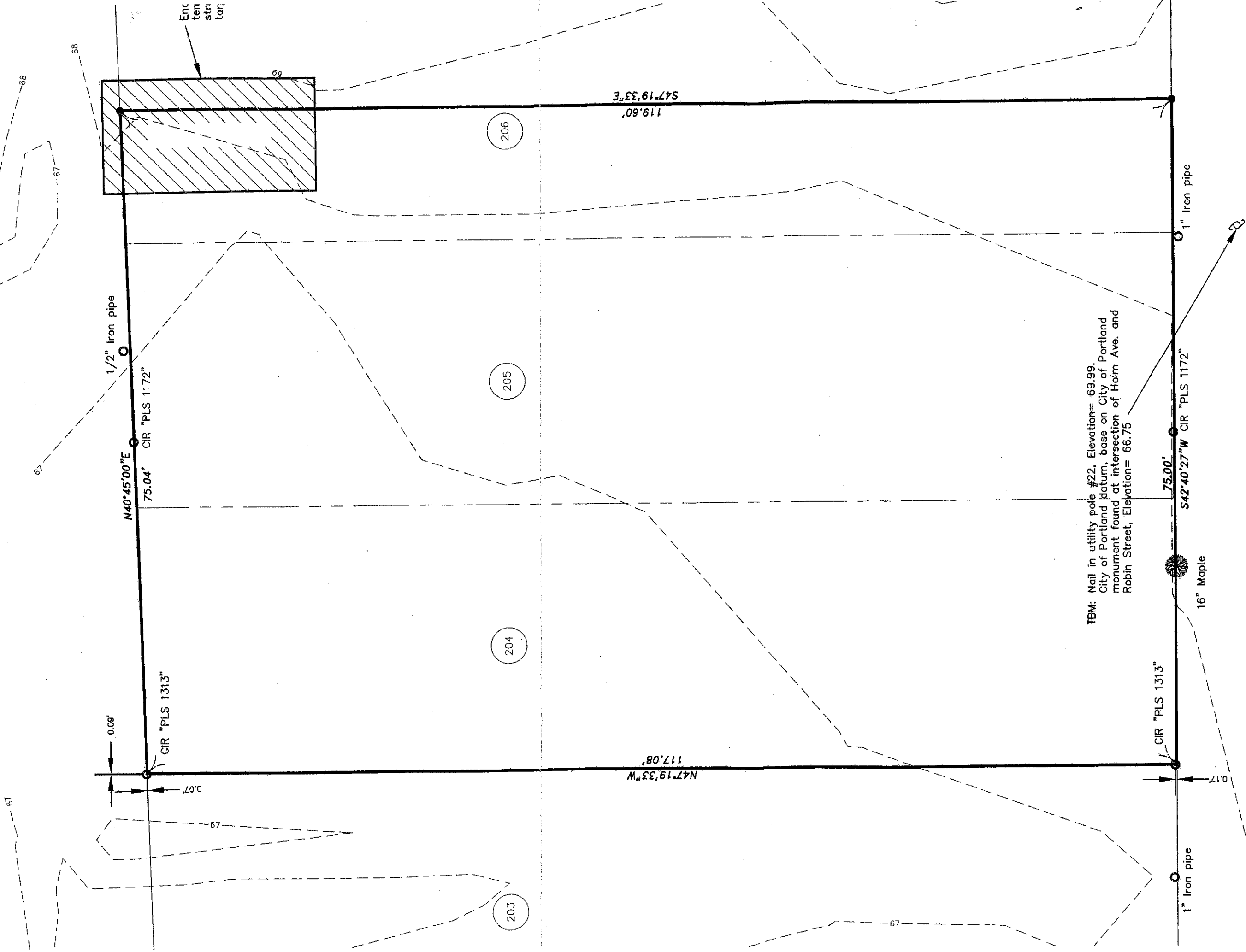
ELEVATIONS / SECTION

24x32 CAPE

DATE  
05/31/07

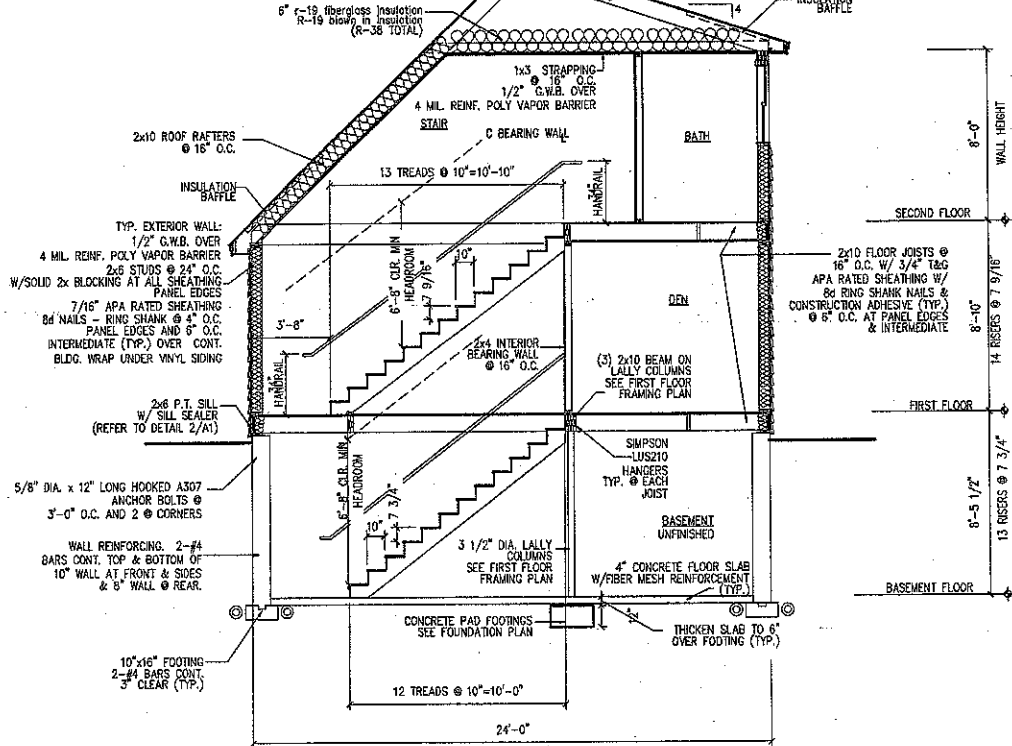
**A2**

N/F  
Portland Terminal Company  
894/281



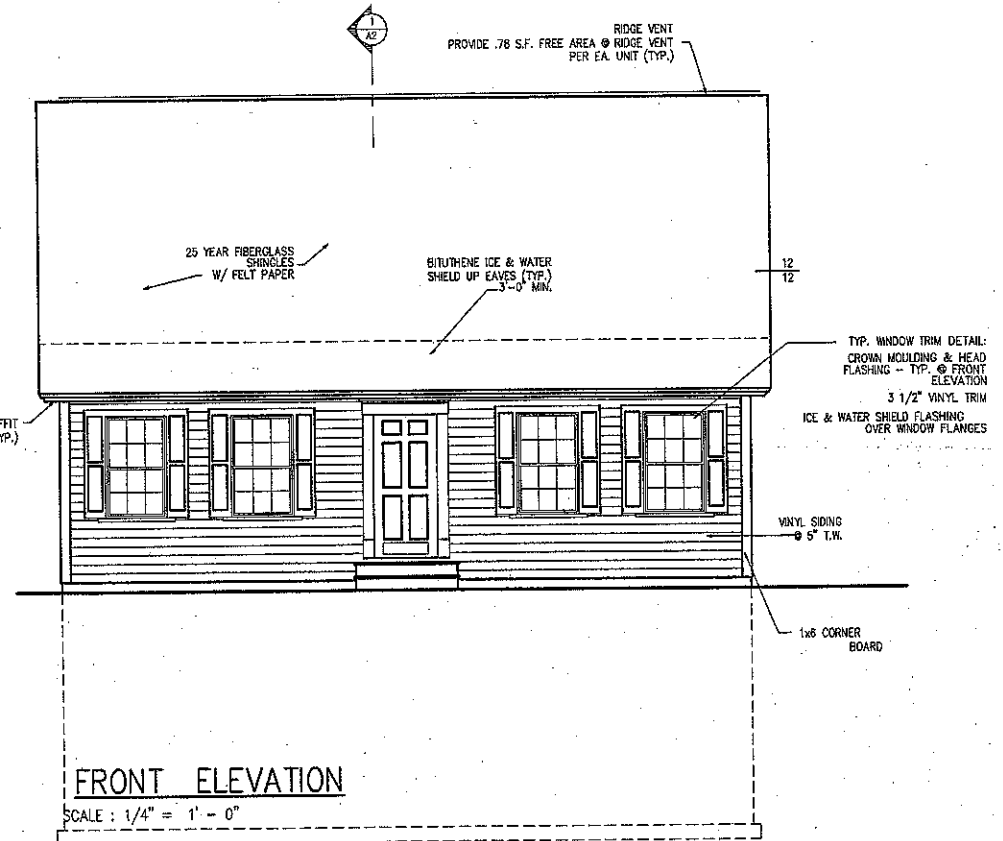
**TYPICAL ROOF CONSTRUCTION**

RIDGE VENT  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SHINGLES  
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 8" O.C. INTERMEDIATE  
 #15 FELT PAPER  
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.



ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

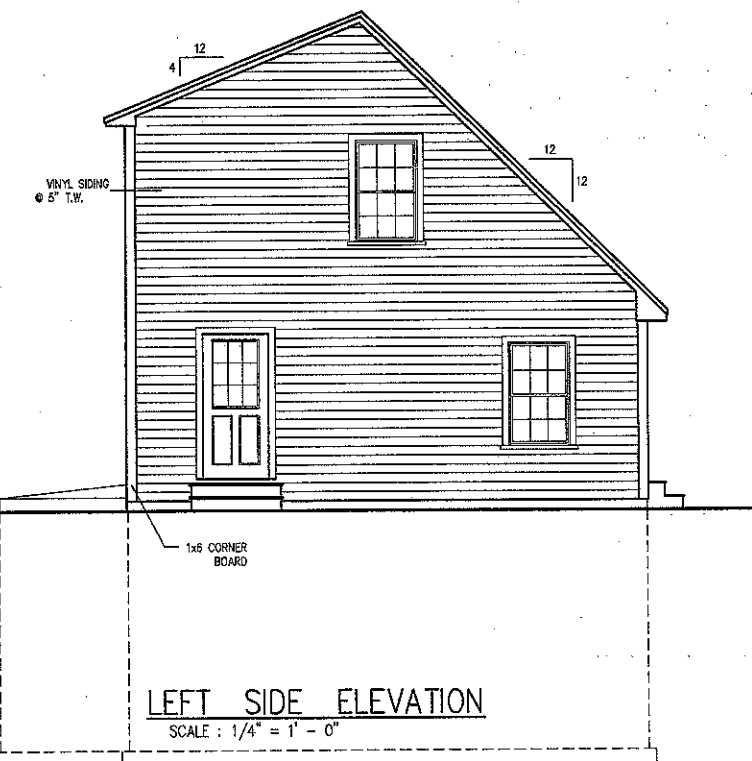


**FRONT ELEVATION**

SCALE: 1/4" = 1' - 0"

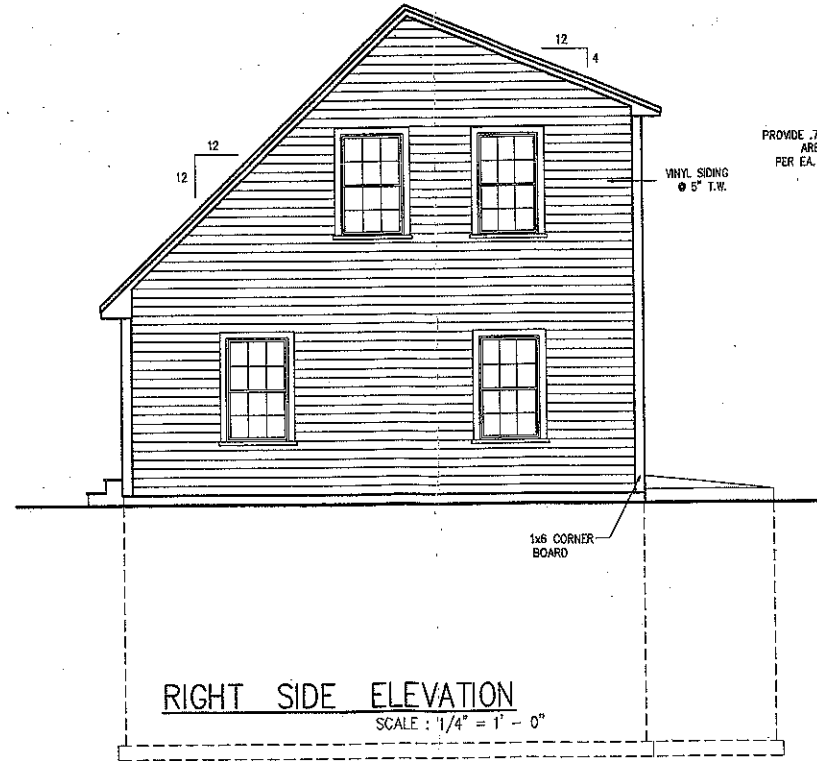
**SECTION THRU HOUSE**

SCALE: 1/4" = 1' - 0"



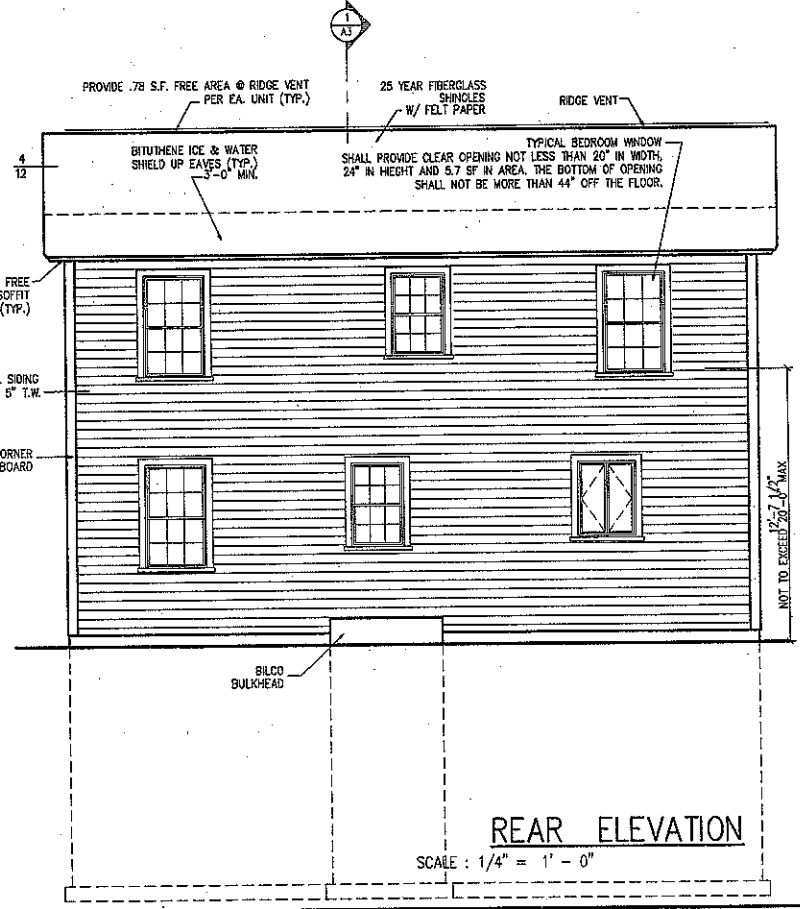
**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**

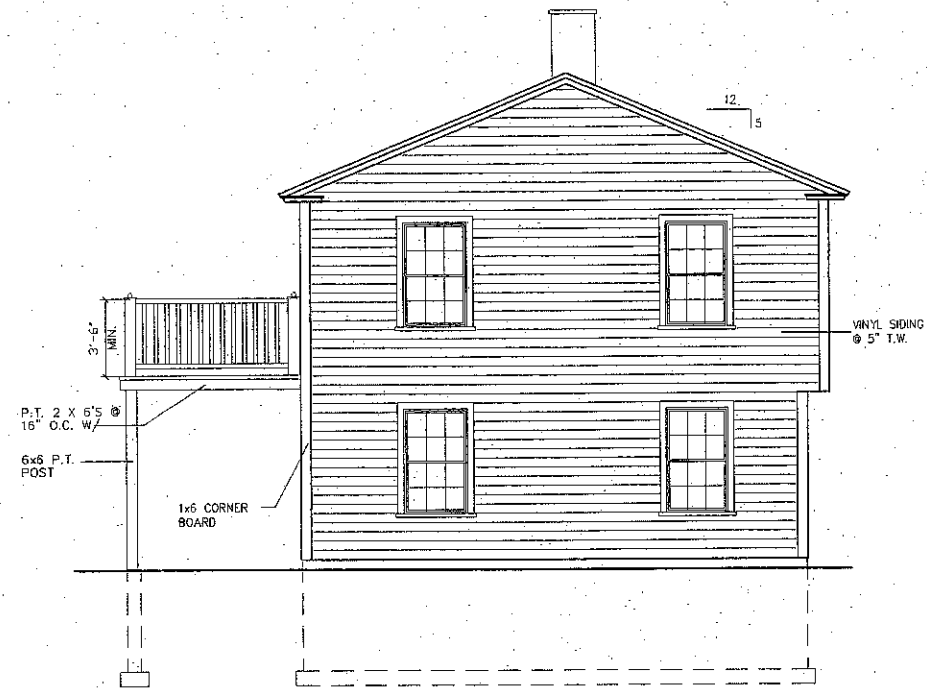
SCALE: 1/4" = 1' - 0"

258 HOLM AVE

DRAWINGS THIS SHEET  
 ELEVATIONS / SECTION  
 DATE  
 11/25/06

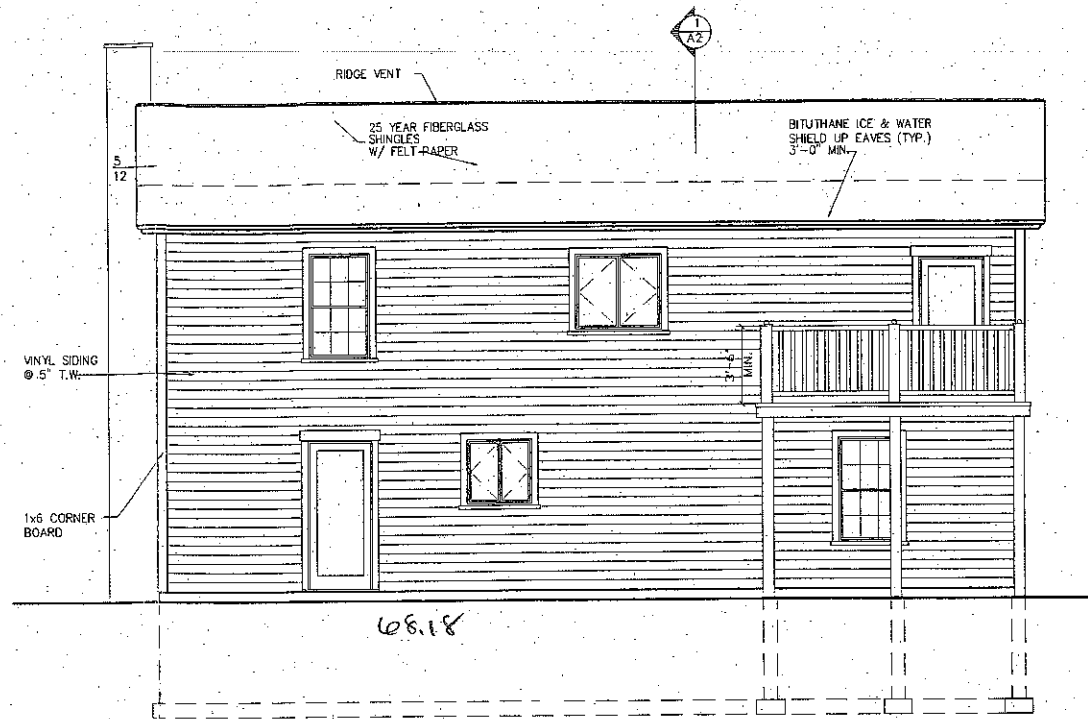
A2





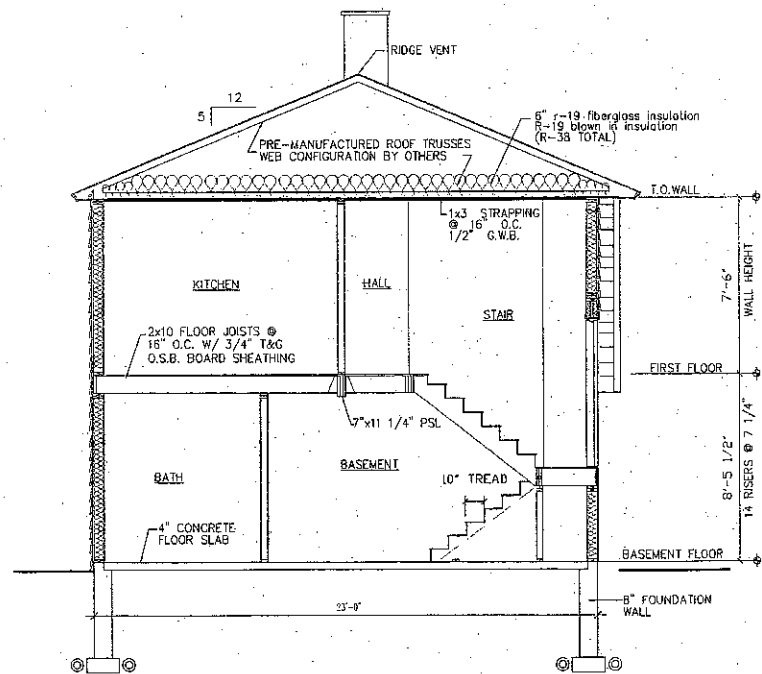
**LEFT SIDE ELEVATION**

(RIGHT SIDE ELEVATION SIMILAR) SCALE : 1/4" = 1' - 0"



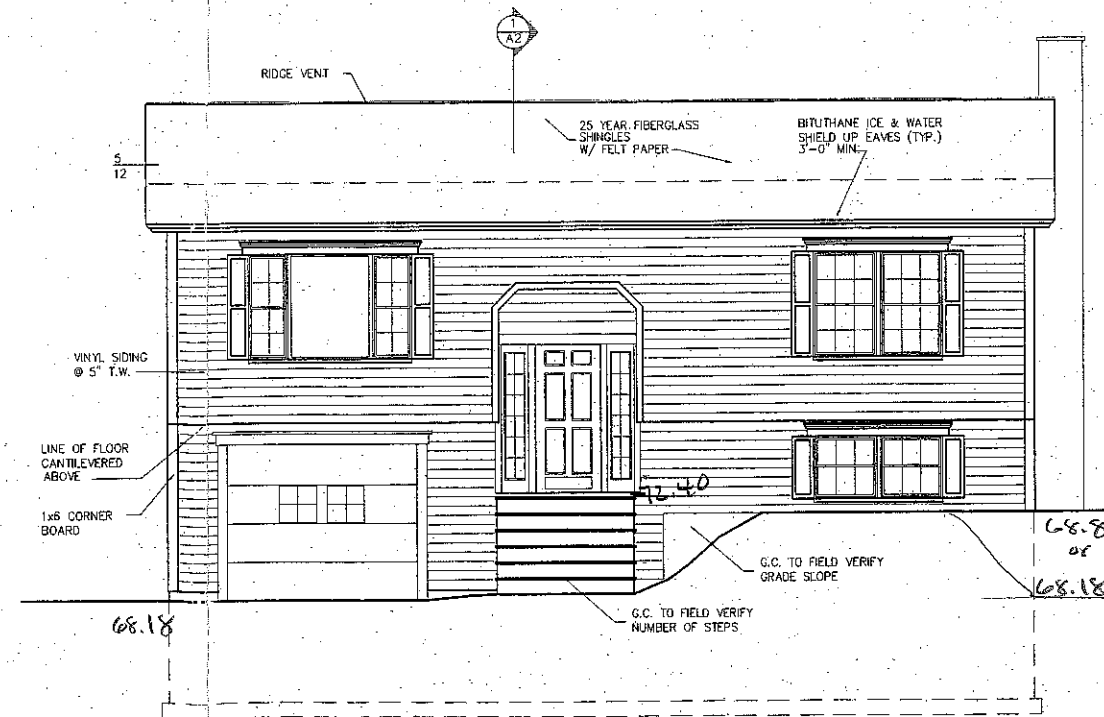
**REAR ELEVATION**

SCALE : 1/4" = 1' - 0"



**SECTION THRU HOUSE**

SCALE : 1/4" = 1' - 0"



**FRONT ELEVATION**

SCALE : 1/4" = 1' - 0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR 7 2008  
RECEIVED

HOLM AVE

#358

REVISIONS

#	DATE	DESCRIPTION

DATE:	02/08/02
PROJECT #:	
DRAWN BY:	DLP
CHECKED BY:	
DRAWING SCALE:	

SHEET TITLE  
ELEVATIONS SECTION

A-2