

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MARVINR OUELLETTE

Located At 258 HOLM AVE.

Job ID: 2011-06-1271-ALTR

CBL: 272 - - B - 013 - 001 - - - -

has permission to build a 21 foot by 34 foot attached garage.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

06/27/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1271-ALTR	Date Applied: 6/3/2011	CBL: 272 - - B - 013 - 001 - - - - -	
Location of Construction: 258 HOLM AVE	Owner Name: MARVIN R OUELLETTE	Owner Address: 258 HOLM AVE PORTLAND, ME 04102	Phone: 207-939-4772
Business Name:	Contractor Name: Steven Fecteau	Contractor Address: 103 Harding Bridge Rd, Gorham, ME 04038	Phone: 207-671-9606
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: R-3
Past Use: Single Family	Proposed Use: Single Family – build 21' x 34' attached garage	Cost of Work: 40000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IR 9/2009 Signature: <i>[Signature]</i>
Proposed Project Description: new 21' x 34' attached garage		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>Orwlecondith</i> <i>6/9/11</i> <i>AM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABN</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/ Setbacks
 2. Close-In: (Electrical, Plumbing, Framing)
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1271-ALTR

Located At: 258 HOLM AVE.

CBL: 272 - - B - 013 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
2. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
3. **R302.6 Dwelling/garage fire separation.** The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent *dwelling unit* wall.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

**TABLE R302.6
DWELLING/GARAGE SEPARATION**

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm; 1 foot = 304.8 mm

R-3

2011 06 1271

6/6/11

68



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>258 Holms Rd.</u>		
Total Square Footage of Proposed Structure/Area <u>Garage - 714</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>072</u> Block# <u>B 013</u> Lot# <u>SF</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Marvin Ouellette</u> Address <u>258 Holms Rd</u> City, State & Zip <u>Portland me.</u>	Telephone: <u>939-4772</u>
Lessee/DBA (If Applicable) RECEIVED JUN - 3 2011 Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>40,000.00</u> C of O Fee: \$ Total Fee: \$ <u>420.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>Garage</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>New Garage 21' X 34' attached</u>		
Contractor's name: <u>Steven O. Fecteau</u> Address: <u>103 Harding Bridge Rd Gorham</u> City, State & Zip <u>Gorham me 04038</u> Telephone: <u>call when ready</u> Who should we contact when the permit is ready: <u>Steven Fecteau</u> Telephone: <u>671-9606</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Steven O. Fecteau Date: 6/3/2011

This is not a permit; you may not commence ANY work until the permit is issued

R-3

lot size 8869

front 25' min - 31' 5" in (OE)

rear 25' min - 50' 5" in (OE)

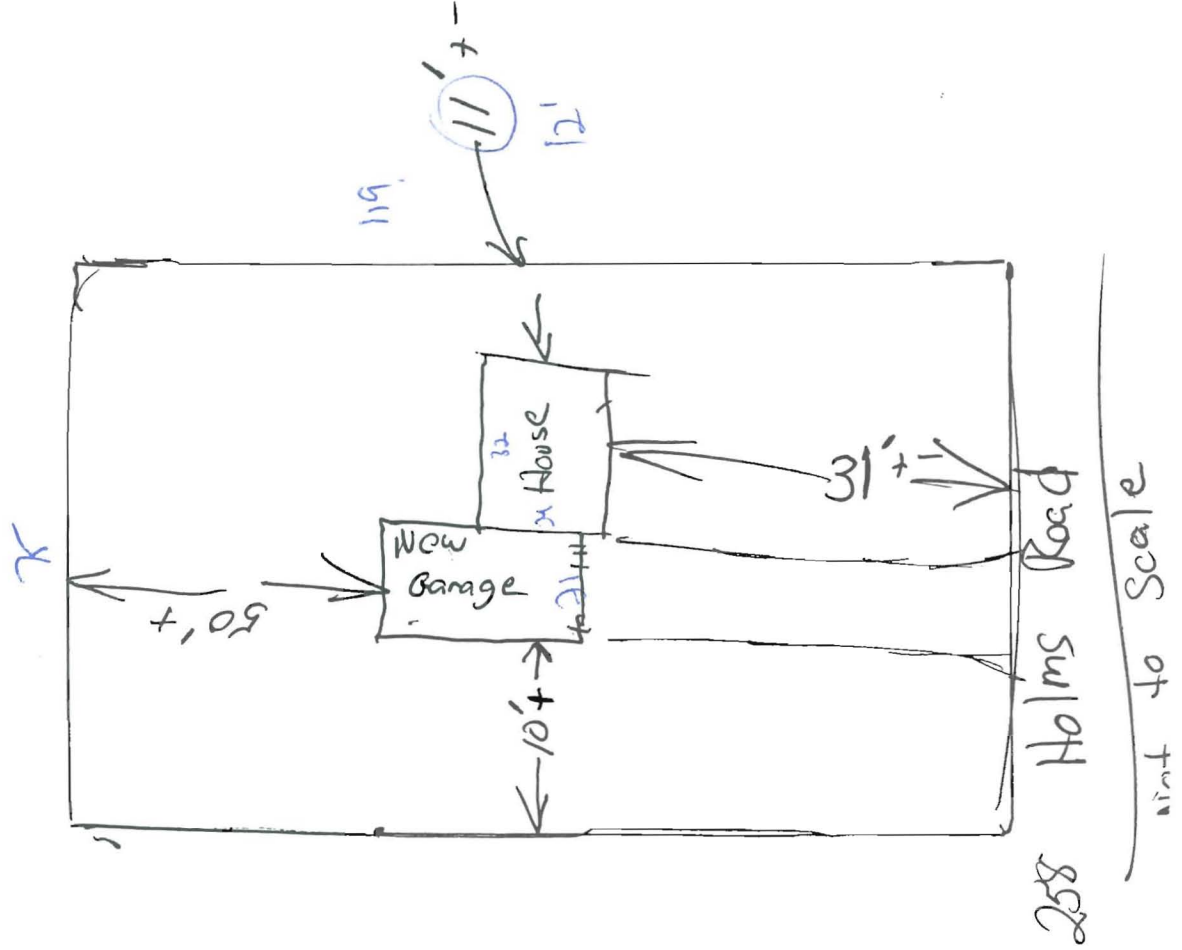
Side - 15' by - 8' min - needs 15'

* ~~extra height needed~~ 15' on back

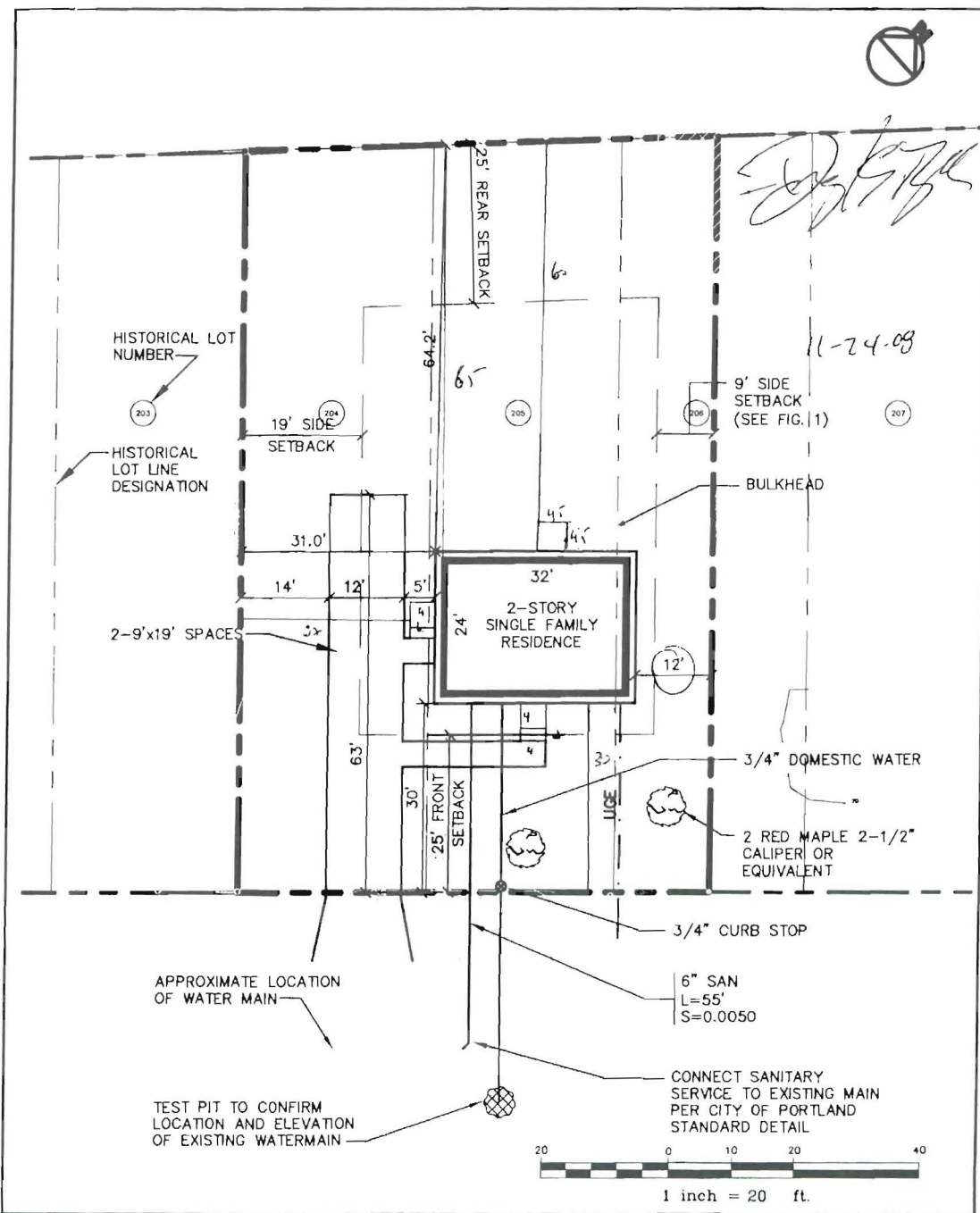
lot coverage - 35% = 3104.15 sq ft

* existing house had 12' on right
borrowed 7' from left (OE)

768
100
714 21 x 34
1568 (OE)



Original permit -08-1503

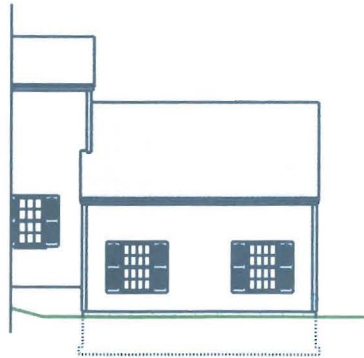


Design: DER Date: 3/06
 Draft: CAH Job No. 1563
 Checked: DER Scale: 1"=20'
 File Name: 1563-PBASE_05

GP Corroll-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237 Phone: 207-657-6910
 15 Shaker Road Fax: 207-657-6912
 Scarborough, ME 04039 Email: malbox@corrollpalmer.com

Drawing Name:
Layout & Utility Plan
 Project: 058 HOLM AVENUE
 Portland, ME

Figure No.
2



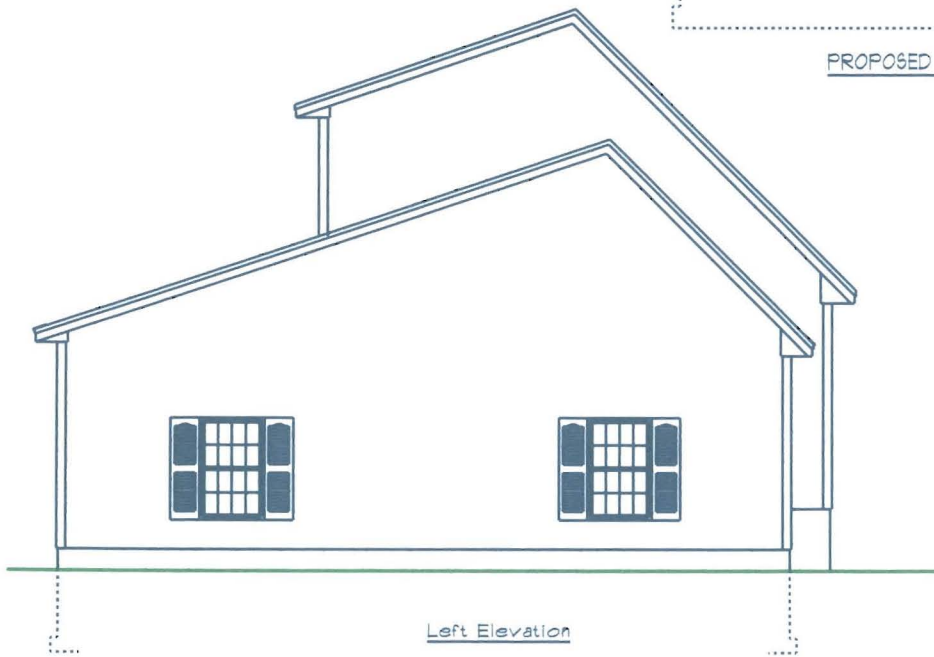
Rear Elevation
1/8" = 1'-0"



PROPOSED ADDITION

EXISTING STRUCTURE

Front Elevation
1/4" = 1'-0"



Left Elevation



WAYNE PARADIS INC.



Custom Design &
Carpentry
Service
Tel: 892-3424
Cell: 229-7641

Wayne Paradis Inc. is a registered contractor in
Florida. www.wayneparis.com

Elevations

Garage Addition

Plan For:

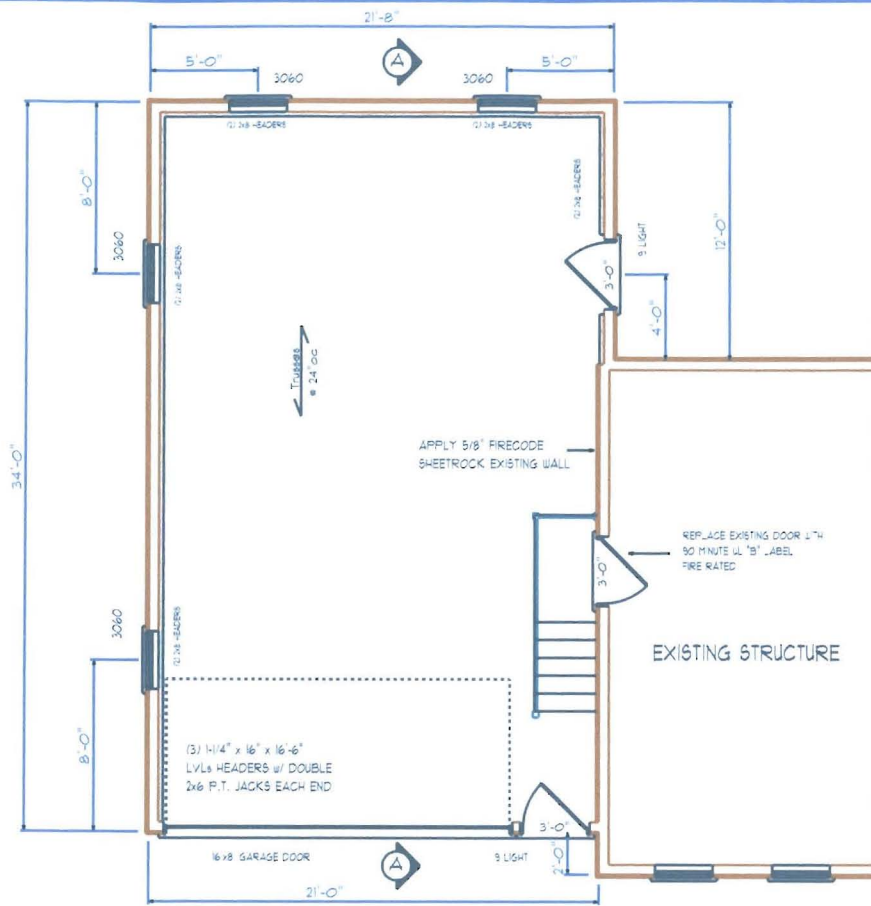
Marvin Ouellette

1
3

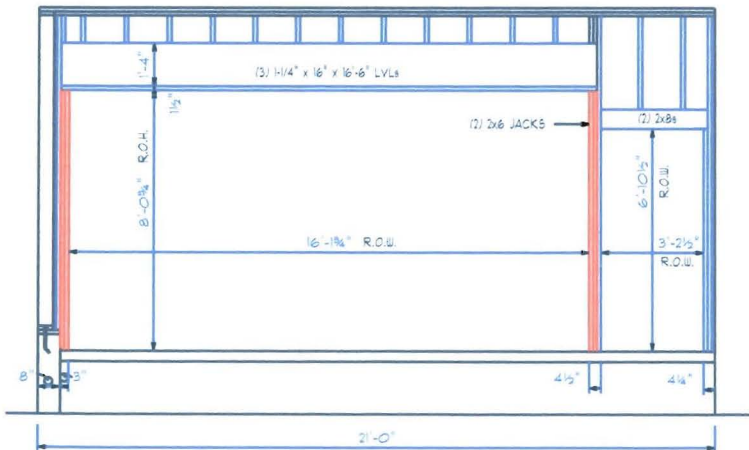
Drawn by:

Wayne Paradis

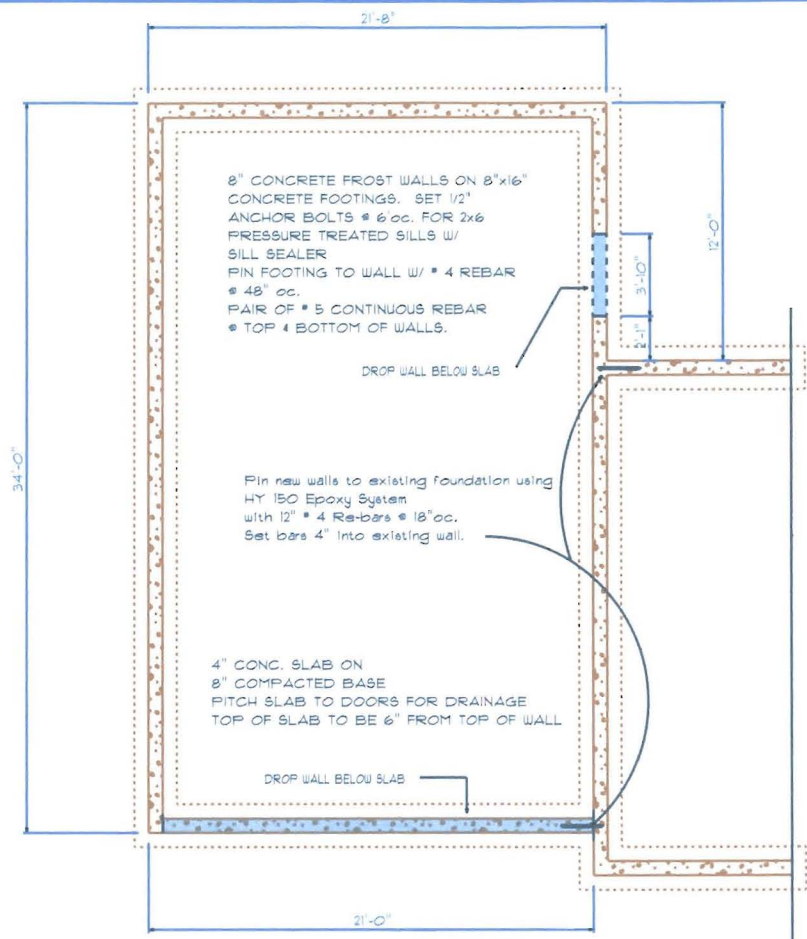
May 31 2011



Floor Plan
1/4" = 1'-0"



Wall Framing
3/8" = 1'-0"

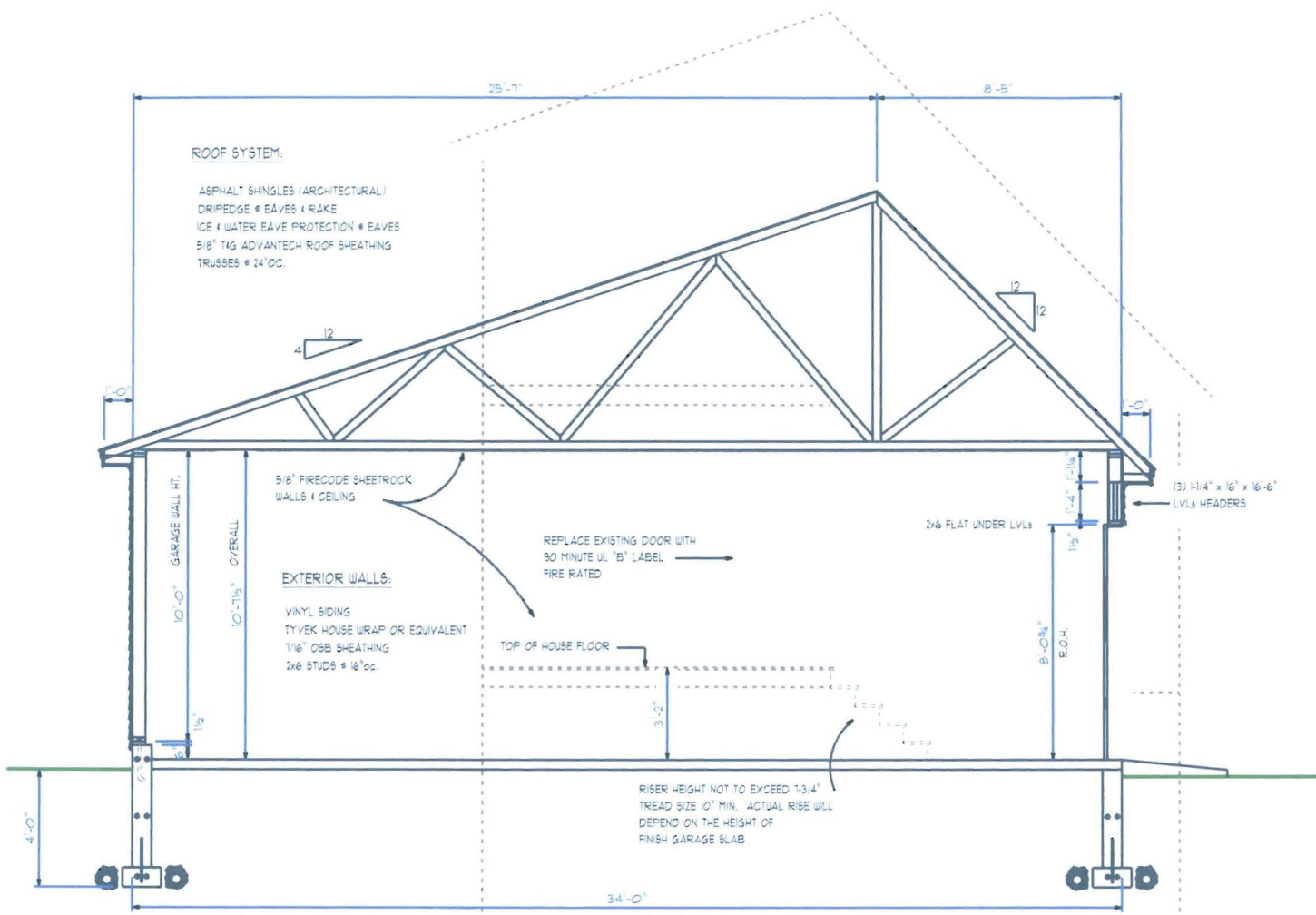


Foundation Plan
1/4" = 1'-0"

NOTE: STRUCTURE TO BE BUILT USING STANDARD 2009 MAINE RESIDENTIAL BUILDING CODES.

WAYNE PARADIS INC.
 Custom Design &
 Carpentry
 Service
 Tel: 892-3424
 Cell: 229-7641
 www.wayneparadis.com

Foundation & Floor	Garage Addition
Plan For:	2/3
Marvin Ouellette	
Drawn by:	Wayne Paradis
	May 31, 2011



ROOF SYSTEM:

ASPHALT SHINGLES (ARCHITECTURAL)
 DRIPEDGE @ EAVES (RAKE)
 ICE & WATER EAVE PROTECTION @ EAVES
 5/8" TAG ADVANTECH ROOF SHEATHING
 TRUSSES @ 24" O.C.

EXTERIOR WALLS:

VINYL SIDING
 TYVEK HOUSE WRAP OR EQUIVALENT
 1/8" OSB SHEATHING
 2x6 STUDS @ 16" O.C.

REPLACE EXISTING DOOR WITH
 90 MINUTE UL "B" LABEL
 FIRE RATED

TOP OF HOUSE FLOOR

RISE HEIGHT NOT TO EXCEED 13/4"
 TREAD SIZE 10" MIN. ACTUAL RISE WILL
 DEPEND ON THE HEIGHT OF
 FINISH GARAGE SLAB

NOTE: WALL HEIGHTS WERE FIGURED ASSUMING THE GARAGE SLAB WILL BE 3'-2" FROM THE HOUSE DECK.
 ANY CHANGES WILL REQUIRE NEW CALCULATIONS FOR WALL HEIGHTS SO THAT THERE IS ADEQUATE HEADROOM
 FOR THE EXISTING DOOR.

Section "A"
 3/8" = 1'-0"

NOTE: STRUCTURE TO BE BUILT USING STANDARD 2009
 MAINE RESIDENTIAL BUILDING CODES.

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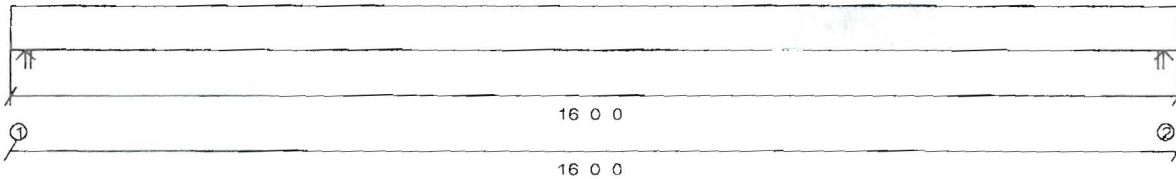
© paradis & carpentry
 http://www.paradisinc.com/wayn

Section "A"		Garage Addition	
Plan For:		3	3
Marvin Ouellette			
Drawn by:	Wayne Paradis	May 31, 2011	

KeyBeam® 4.506a
kmBeamEngine 4.508e1
Materials Database 1276

Member Data

Description: Standard Load: Dead Load: 340 PLF Snow Load: 1020 PLF	Member Type: Beam Top Lateral Bracing: Continuous Bottom Lateral Bracing: Continuous Moisture Condition: Dry Deflection Criteria: L/360 live, L/240 total Deck Connection: Nailed Filename: KYB1	Application: Roof Slope: 0.00 / 12 Building Code: IBC / IRC Member Weight: 21.8 PLF
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Bearings and Reactions

	Location	Type	Input Length	Min Required	Gravity Reaction	Gravity Uplift
1	0' 0.000"	Wall	3.500"	2.409"	10752#	--
2	15' 6.750"	Wall	3.500"	2.409"	10752#	--

Maximum Load Case Reactions

Used for applying point loads (or line loads) to carrying members

	Dead	Snow
1	2815#	7937#
2	2815#	7937#

Design spans
15' 6.750"

Product: 1-3/4 x 16 x 2.0E CP-Lam LVL 3 ply
 Component Member Design has Passed Design Checks.**
 Design assumes continuous lateral bracing along the top chord.
 Design assumes continuous lateral bracing along the bottom chord.

Allowable Stress Design

	Actual	Allowable	Capacity	Location	Loading
Positive Moment	41833. #	65339. #	64%	7.78'	Total load D+S
Shear	8910. #	18354. #	48%	0.01'	Total load D+S
Max. Reaction	10752. #	15619. #	68%	0'	Total load D+S
TL Deflection	0.5088"	0.7781"	L/367	7.78'	Total load D+S
LL Deflection	0.3756"	0.5188"	L/497	7.78'	Total load S

Control: LL Deflection
 DOLs: Live=100% Snow=115% Roof=125% Wind=160%
 Design assumes a repetitive member use increase in bending stress: 4 %
 Manufacturer's installation guide MUST be consulted for multi-ply connection details and alternatives

All product names are trademarks of their respective owners



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**Passing is defined as when the member, floor joist, beam or girder, shown on this drawing meets applicable design criteria for Loads, Loading Conditions, and Spans listed on this sheet. The design must be reviewed by a qualified designer or design professional as required for approval. This design assumes product installation according to the manufacturer's specifications.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

June 3 2011

Received from SOF Borders

Location of Work 258 Hesse Ave

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 273 P.013

Check #: 1705 Total Collected \$ 450.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: May 6

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy