



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14

Project Description

Prepared by Jamie Grattelo

We were recently approached by the Fitness Factory on Warren Ave that the building they are currently renting on 55 Warren Ave is in the process of being closed on and they will have to vacate the building by October 1st. Upon review of our current economies at our Joker's Location on 512 Warren Ave we have decided that this business will be in the best interest of the community as well as our business plan of keeping the location as an entertainment/sports complex.

In order to move the Fitness Factory over to the current Jokers location we have to build out shower/locker room facilities to support the new customer base and business. In our plan that we have submitted the jokers building as is will assume a majority of the costs for the renovation as the building has more than enough amenities to move the Fitness Factory over without making many changes. In order to facilitate the new Locker Room shower facilities we need to update floors with tile, support waste water to our current holding tank, and install shower and bathroom stalls to complete the renovation.

We hope this process is as seamless as the last construction project we enjoyed with the city previously in 2012 when we put an addition on to the Portland Sports Complex.

Sincerely

James Grattelo



Commercial Interior & Change of Use Permit Application Checklist



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All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations — everything is ground floor except upstairs workout 1+2 Rooms
- Window and door schedules *no specs on current fire rated doors and windows*
- Complete electrical and plumbing layout.
- NA* Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2009 *Don't have any factors for existing Building*
- NA* Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required.
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- NA* Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

Check Site Plan For 2012 addition new business has less parking than Jokers

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)



Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
 - Proposed use of structure (NFPA and IBC classification) *Assembly A+B mixture*
 - Square footage of proposed structure (total and per story) *13,000 10k ground floor 3k 2nd story*
 - Existing and proposed fire protection of structure.
 - Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
 - A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
 - Elevators shall be sized to fit an 80" x 24" stretcher.
- > Mark Messier asked for notes from each instead of Plans*

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



FIRE ALARM AND EMERGENCY COMMUNICATION SYSTEM INSPECTION AND TESTING FOR

Date: _____

*To be completed by the system inspector or tester at the time of the inspection or test.
It shall be permitted to modify this form as needed to provide a more complete and/or clear record.
Insert N/A in all unused lines.
Attach additional sheets, data, or calculations as necessary to provide a complete record.*

Date of this inspection or test: 3-5-2014 Time of inspection or test: 0900

1. PROPERTY INFORMATION

Name of property: Joker's
Address: 512 Warren Avenue; Portland, ME 04103*
Description of property: _____
Occupancy type: _____
Name of property representative: Bill Latvis
Address: _____
Phone: _____ Fax: _____ E-mail: _____
Authority having jurisdiction over this property: Portland FD
Phone: _____ Fax: _____ E-mail: _____

2. INSTALLATION, SERVICE, AND TESTING CONTRACTOR INFORMATION

Service and/or testing organization for this equipment: Cunningham Security Systems
Address: 10 Princes Point Road, Yarmouth, ME 04096
Phone: (207) 846-3350 Fax: (207) 846-6080 E-mail: info@cunninghamsecurity.com
Service technician or tester: [Signature]
Qualifications of technician or tester: IMS A-II
A contract for test and inspection in accordance with NFPA standards is in effect as of: _____
The contract expires: _____ Contract number: _____ Frequency of tests and inspections: Annual
Monitoring organization for this equipment: Centra-Larm Monitoring, Inc.
A contract for test and inspection in accordance with NFPA standards is in effect as of: _____
Address: 994 Candia Road, Manchester, NH 03109
Phone: 1-800-639-2066 Fax: (603) 668-1117 E-mail: inputting@centragroup.net
Entity to which alarms are retransmitted: _____ Phone: _____

3. TYPE OF SYSTEM OR SERVICE

- Fire alarm system (nonvoice)
- Fire alarm with in-building fire emergency voice alarm communication system (EVACS)
- Mass notification system (MNS)
- Combination system, with the following components:
 - Fire alarm
 - EVACS
 - MNS
 - Two-way, in-building, emergency communication system
- Other (specify): _____



3. TYPE OF SYSTEM OR SERVICE (continued)

NFPA 72 edition: _____ Additional description of system(s): _____

3.1 Control Unit

Manufacturer: Notifier Model number: 200

3.2 Mass Notification System

This system does not incorporate an MNS

3.2.1 System Type:

- In-building MNS—combination
 In-building MNS—stand-alone Wide-area MNS Distributed recipient MNS
 Other (specify): _____

3.2.2 System Features:

- Combination fire alarm/MNS MNS ACU only Wide-area MNS to regional national alerting interface
 Local operating console (LOC) Direct recipient MNS (DRMNS) Wide-area MNS to DRMNS interface
 Wide-area MNS to high-power speaker array (HPSA) interface In-building MNS to wide-area MNS interface
 Other (specify): _____

3.3 System Documentation

- An owner's manual, a copy of the manufacturer's instructions, a written sequence of operation, and a copy of the record record drawings are stored on site. Location: _____

3.4 System Software

This system does not have alterable site-specific software.

Software revision number: _____ Software last updated on: _____

- A copy of the site-specific software is stored on site. Location: _____

4. SYSTEM POWER

4.1 Control Unit

4.1.1 Primary Power

Input voltage of control panel: 120 VAC Control panel amps: 5

4.1.2 Engine-Driven Generator

This system does not have a generator.

Location of generator: _____

Location of fuel storage: _____ Type of fuel: _____

4.1.3 Uninterruptible Power System

This system does not have UPS.

Equipment powered by a UPS system: _____

Location of UPS system: _____

Calculated capacity of UPS batteries to drive the system components connected to it: _____

In standby mode (hours): _____ In alarm mode (minutes): _____



4. SYSTEM POWER (continued)

4.1.4 Batteries

Location: Panel Type: SLA Nominal voltage: 12 Amp/hour rating: 12

Calculated capacity of batteries to drive the system:

In standby mode (hours): _____ In alarm mode (minutes): _____

Batteries are marked with date of manufacture.

4.2 In-Building Fire Emergency Voice Alarm Communication System or Mass Notification System

This system does not have an EVACS or MNS.

4.2.1 Primary Power

Input voltage of EVACS or MNS panel: _____ EVACS or MNS panel amps: _____

4.2.2 Engine-Driven Generator

This system does not have a generator.

Location of generator: _____

Location of fuel storage: _____ Type of fuel: _____

4.2.3 Uninterruptible Power System

This system does not have a UPS.

Equipment powered by a UPS system: _____

Location of UPS system: _____

Calculated capacity of UPS batteries to drive the system components connected to it:

In standby mode (hours): _____ In alarm mode (minutes): _____

4.2.4 Batteries

Location: _____ Type: _____ Nominal voltage: _____ Amp/hour rating: _____

Calculated capacity of batteries to drive the system:

In standby mode (hours): _____ In alarm mode (minutes): _____

Batteries are marked with date of manufacture.

4.3 Notification Appliance Power Extender Panels

This system does not have power extender panels.

4.3.1 Primary Power

Input voltage of power extender panel(s): 120 VAC Power extender panel amps: 5

4.3.2 Engine-Driven Generator

This system does not have a generator.

Location of generator: _____

Location of fuel storage: _____ Type of fuel: _____

4.3.3 Uninterruptible Power System

This system does not have a UPS.

Equipment powered by a UPS system: _____

Location of UPS system: _____

Calculated capacity of UPS batteries to drive the system components connected to it:

In standby mode (hours): _____ In alarm mode (minutes): _____



4. SYSTEM POWER (continued)

4.3.4 Batteries

Location: Panel Type: SLA Nominal voltage: 12 Amp/hour rating: 7

Calculated capacity of batteries to drive the system:

In standby mode (hours): _____ In alarm mode (minutes): _____

Batteries are marked with date of manufacture.

5. ANNUNCIATORS

This system does not have annunciators.

5.1 Location and Description of Annunciators

Annunciator 1: Front Door

Annunciator 2: Dome Entry

Annunciator 3: _____

6. NOTIFICATIONS MADE PRIOR TO TESTING

Monitoring organization	Contact: <u>Y</u>	Time: <u>0700</u>
Building management	Contact: <u>Y</u>	Time: <u>0700</u>
Building occupants	Contact: <u>Y</u>	Time: <u>0700</u>
Authority having jurisdiction	Contact: <u>N</u>	Time: <u>—</u>
Other, if required	Contact: <u>N</u>	Time: <u>—</u>

7. TESTING RESULTS

7.1 Control Unit and Related Equipment

Description	Visual Inspection	Functional Test	Comments
Control unit	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Lamps/LEDs/LCDs	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Fuses	<input type="checkbox"/>	<input type="checkbox"/>	
Trouble signals	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Disconnect switches	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Ground-fault monitoring	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Supervision	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Local annunciator	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Remote annunciators	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Power extender panels	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Isolation modules	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	



7. TESTING RESULTS (continued)

7.2 Control Unit Power Supplies

Description	Visual Inspection	Functional Test	Comments
120-volt power	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Need New Next Year</i>
Generator or UPS	<input type="checkbox"/>	<input type="checkbox"/>	
Battery condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Load voltage	<input type="checkbox"/>	<input type="checkbox"/>	
Discharge test	<input type="checkbox"/>	<input type="checkbox"/>	
Charger test	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify)	<input type="checkbox"/>	<input type="checkbox"/>	

7.3 In-Building Fire Emergency Voice Alarm Communications Equipment

Description	Visual Inspection	Functional Test	Comments
Control unit	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Lamps/LEDs/LCDs	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Fuses	<input type="checkbox"/>	<input type="checkbox"/>	
Primary power supply	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Secondary power supply	<input type="checkbox"/>	<input type="checkbox"/>	
Trouble signals	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Disconnect switches	<input type="checkbox"/>	<input type="checkbox"/>	
Ground-fault monitoring	<input type="checkbox"/>	<input type="checkbox"/>	
Panel supervision	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
System performance	<input type="checkbox"/>	<input type="checkbox"/>	
Sound pressure levels	<input type="checkbox"/>	<input type="checkbox"/>	
Occupied <input type="checkbox"/> Yes <input type="checkbox"/> No			
Ambient _____ dBA			
Alarm _____ dBA			
(attach report with locations, values, and weather conditions)			
System intelligibility	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> CSI <input type="checkbox"/> STI			
(attach report with locations, values, and weather conditions)			
Other (specify)	<input type="checkbox"/>	<input type="checkbox"/>	



7. TESTING RESULTS (continued)

7.4 Notification Appliance Power Extender Panels

Description	Visual Inspection	Functional Test	Comments
Lamps/LEDs/LCDs	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Fuses	<input type="checkbox"/>	<input type="checkbox"/>	
Primary power supply	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Secondary power supply	<input type="checkbox"/>	<input type="checkbox"/>	
Trouble signals	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Ground-fault monitoring	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Panel supervision	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Other (specify)	<input type="checkbox"/>	<input type="checkbox"/>	

7.5 Mass Notification Equipment

Description	Visual Inspection	Functional Test	Comments
Functional test	<input type="checkbox"/>	<input type="checkbox"/>	
Reset/power down test	<input type="checkbox"/>	<input type="checkbox"/>	
Fuses	<input type="checkbox"/>	<input type="checkbox"/>	
Primary power supply	<input type="checkbox"/>	<input type="checkbox"/>	
UPS power test	<input type="checkbox"/>	<input type="checkbox"/>	
Trouble signals	<input type="checkbox"/>	<input type="checkbox"/>	
Disconnect switches	<input type="checkbox"/>	<input type="checkbox"/>	
Ground-fault monitoring	<input type="checkbox"/>	<input type="checkbox"/>	
CCU security mechanism	<input type="checkbox"/>	<input type="checkbox"/>	
Prerecorded message content	<input type="checkbox"/>	<input type="checkbox"/>	
Prerecorded message activation	<input type="checkbox"/>	<input type="checkbox"/>	
Software backup performed	<input type="checkbox"/>	<input type="checkbox"/>	
Test backup software	<input type="checkbox"/>	<input type="checkbox"/>	
Fire alarm to MNS interface	<input type="checkbox"/>	<input type="checkbox"/>	
MNS to fire alarm interface	<input type="checkbox"/>	<input type="checkbox"/>	
In-building MNS to wide-area MNS	<input type="checkbox"/>	<input type="checkbox"/>	



7. TESTING RESULTS (continued)

7.5 Mass Notification Equipment (continued)

Description	Visual Inspection	Functional Test	Comments
MNS to direct recipient MNS	<input type="checkbox"/>	<input type="checkbox"/>	
Sound pressure levels Occupied <input type="checkbox"/> Yes <input type="checkbox"/> No Ambient _____ dBA Alarm _____ dBA (attach report with locations, values, and weather conditions)	<input type="checkbox"/>	<input type="checkbox"/>	
System intelligibility <input type="checkbox"/> CSI <input type="checkbox"/> STI (attach report with locations, values, and weather conditions)	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	

7.6 Two-Way Communications Equipment

Description	Visual Inspection	Functional Test	Comments
Phone handsets	<input type="checkbox"/>	<input type="checkbox"/>	
Phone jacks	<input type="checkbox"/>	<input type="checkbox"/>	
Off-hook indicator	<input type="checkbox"/>	<input type="checkbox"/>	
Call-in signal	<input type="checkbox"/>	<input type="checkbox"/>	
System performance	<input type="checkbox"/>	<input type="checkbox"/>	
System audibility	<input type="checkbox"/>	<input type="checkbox"/>	
System intelligibility	<input type="checkbox"/>	<input type="checkbox"/>	
Radio communications enhancement system	<input type="checkbox"/>	<input type="checkbox"/>	
Area of refuge communication system	<input type="checkbox"/>	<input type="checkbox"/>	
Elevator emergency communications system	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	



7. TESTING RESULTS (continued)

7.7 Combination Systems

Description	Visual Inspection	Functional Test	Comments
Fire extinguishing monitoring devices/system	<input type="checkbox"/>	<input type="checkbox"/>	
Carbon monoxide detector/system	<input type="checkbox"/>	<input type="checkbox"/>	
Combination fire/security system	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	

7.8 Special Hazard Systems

Description (specify)	Visual Inspection	Functional Test	Comments
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

7.9 Emergency Communications System

- Visual
- Functional
- Simulated operation
- Ensure pre-discharge notification appliances of special hazard systems are not overridden by the MNS.
See *NFPA 72*, 24.4.1.7.1.

7.10 Monitored Systems

Description (specify)	Visual Inspection	Functional Test	Comments
Engine-driven generator	<input type="checkbox"/>	<input type="checkbox"/>	
Fire pump	<input type="checkbox"/>	<input type="checkbox"/>	
Special suppression systems	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	



7. TESTING RESULTS (continued)

7.11 Auxiliary Functions

Description	Visual Inspection	Functional Test	Comments
Door-releasing devices	<input type="checkbox"/>	<input type="checkbox"/>	
Fan shutdown	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Smoke management/smoke control	<input type="checkbox"/>	<input type="checkbox"/>	
Smoke damper operation	<input type="checkbox"/>	<input type="checkbox"/>	
Smoke shutter release	<input type="checkbox"/>	<input type="checkbox"/>	
Door unlocking	<input type="checkbox"/>	<input type="checkbox"/>	
Elevator recall	<input type="checkbox"/>	<input type="checkbox"/>	
Elevator shunt trip	<input type="checkbox"/>	<input type="checkbox"/>	
MNS override of FA signals	<input type="checkbox"/>	<input type="checkbox"/>	
Other (specify)	<input type="checkbox"/>	<input type="checkbox"/>	

7.12 Alarm Initiating Device

Device test results sheet attached listing all devices tested and the results of the testing

7.13 Supervisory Alarm Initiating Device

Device test results sheet attached listing all devices tested and the results of the testing

7.14 Alarm Notification Appliances

Appliance test results sheet attached listing all appliances tested and the results of the testing

7.15 Supervisory Station Monitoring

Description	Visual Inspection	Functional Test	Time	Comments
Alarm signal	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Alarm restoration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Trouble signal	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Trouble restoration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Supervisory signal	<input type="checkbox"/>	<input type="checkbox"/>		
Supervisory restoration	<input type="checkbox"/>	<input type="checkbox"/>		



8. NOTIFICATIONS THAT TESTING IS COMPLETE

Monitoring organization	Contact:	Y	Time:	1030
Building management	Contact:	Y	Time:	1030
Building occupants	Contact:	Y	Time:	1030
Authority having jurisdiction	Contact:	N	Time:	—
Other, if required	Contact:	N	Time:	—


9. SYSTEM RESTORED TO NORMAL OPERATION

Date: 3-5-2014 Time: 1030

10. CERTIFICATION

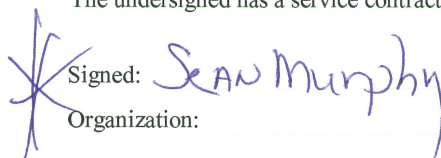
10.1 Inspector Certification:

This system, as specified herein, has been inspected and tested according to all NFPA standards cited herein.

Signed:  Printed name: Gary LeRoy Date: 3-5-2014
 Organization: Cunningham Title: Technician Phone: 207-846-3350

10.2 Acceptance by Owner or Owner's Representative:

The undersigned has a service contract for this system in effect as of the date shown below.

Signed:  Printed name: _____ Date: _____
 Organization: _____ Title: _____ Phone: _____



DEVICE TEST RESULTS

(Attach additional sheets if required)

Device Type	Address	Location	Test Results
Pull Station	1	Exit Hall near Panel R.M	PASS
Pull Station	1	Main Entry Jokers	PASS
Pull Station	1	North entry Jokers	PASS
Pull Station	1	2 nd FL OFFICE	PASS
Pull Station	1	Laser Exit	PASS
Pull station	2	Electrical Rm near kitchen	PASS
Pull Station	2	Exit Jokers to SPORTS	PASS
Pull Station	2	behind quick bar	PASS
Ansul	3	Kitchen Hood	By Others
Duct Smoke	4	Jokers overhead near Stage	PASS
Duct Smoke	4	Jokers outside restroom	PASS
Duct Smoke	4	Jokers over ATM	PASS
Duct Smoke	4	Jokers over Climbing Cage	No Access
Duct Smoke	4	Jokers Gold Rm Hall to Kitchen	PASS
Smoke	5	Electrical Rm next to Panel	
Water flow	6	Riser in Jokers 2 nd room from Panel	By Others
Pull Station	8	Studio Fit Entry	PASS
Pull Station	10	Dome	
Pull Station	10	Dome	
Pull Station	10	Dome	
Pull Station	10	Dome	
Pull Station	10	Dome	
Pull Station	10	Dome	
Pull Station	11	Dome Rear	PASS
Pull Station	11	Dome Front Door	PASS
Pull Station	11	Dome Side	
Pull Station	11	Dome Side Rear	
Duct smoke	12	Sports Bar	PASS
Pull Station	13	Bar Entry	PASS
Smoke	13	By Riser	PASS
Water flow	14		By Others
Water flow	15		
Gate Valve	16		
Gate Valve	16		
Gate Valve	16		
Pull Station	2		
Pull Station	13	New Dome	PASS



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August 12, 2014

Fire Prevention Bureau
Portland Fire Department
380 Congress Street
Portland, ME 04101
Fax#: (207) 874-8410

To Whom It May Concern:

This letter is to inform you that on March 05, 2014, we performed the annual Fire Alarm Test and Inspection with a written report (attached) on the fire alarm system at Joker's located at 512 Warren Avenue, Portland, ME. All existing devices were tested to NFPA 72 standards with all signals sent to and received at our central monitoring station. The system was found to be fully functional at that time. We are currently contracted to continue monitoring this system and performing the annual Fire Alarm Inspections and have been receiving daily test signals from this fire alarm system.

Should you have any questions or comments regarding this matter, please feel free to contact me at (207) 846-3350.

Sincerely,

Ronald S. Sneider, Manager

cc: Acct. File



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Tell
Manufacturing, Inc.

SPARTAN : DOOR SPARTAN : DOOR



DOORS

MADE IN USA

TELL MFG offers a complete line of standard hollow metal doors to fit your needs. **SPARTAN DOORS** are available in 20 and 18 gauge steel. All doors come with a polystyrene core as standard, making every door smoother, flatter, and stronger. **SPARTAN DOORS** are available in a complete range of fire ratings (up to 3 hours) and are certified by Underwriters Laboratories. All door panels are manufactured from high quality galvanized steel and are thoroughly cleaned inside and out to insure excellent corrosion resistance and paint adhesion. **SPARTAN DOORS** come standard with a prime coat, ready to be finished. Factory applied finish coat paint is available in many colors. Contact customer service for pricing and quantities required, for factory finish paint.

TELL MFG follows the same set of performance specifications as other door manufacturers, as set forth in the Steel Door Institute (SDI) requirements.

- Insulated with polystyrene core
- Non-handed
- Galvanized (standard)
- Fire rated up to 3 hours
- 7 gauge hinge reinforcements
- Reinforced 161 lock prep
- Closer reinforcement (standard)
- Meets ANSI standards
- Universal 4 1/2" hinge prep
- Inverted top and bottom channel
- Installed steel cap standard

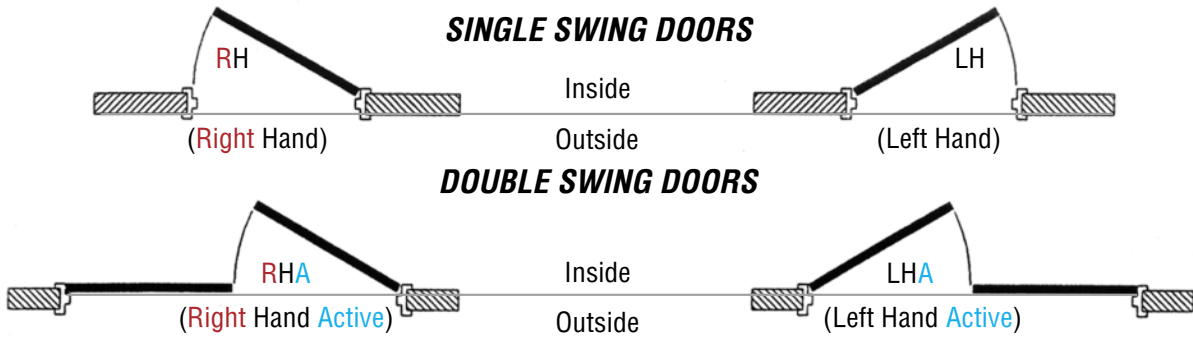
TELL MANUFACTURING, INC — Page 1 — 2014

CORPORATE OFFICE: 18 Richard Drive, Lititz, PA 17543 **TOLL FREE:** 800-433-4047 **PHONE:** 717-625-2990 **FAX:** 717-625-7095
OTHER LOCATIONS: BIRMINGHAM, ALABAMA MIRA LOMA, CALIFORNIA ELKHART, INDIANA HOUSTON & DALLAS, TEXAS
WEBSITE: www.tellmfg.com

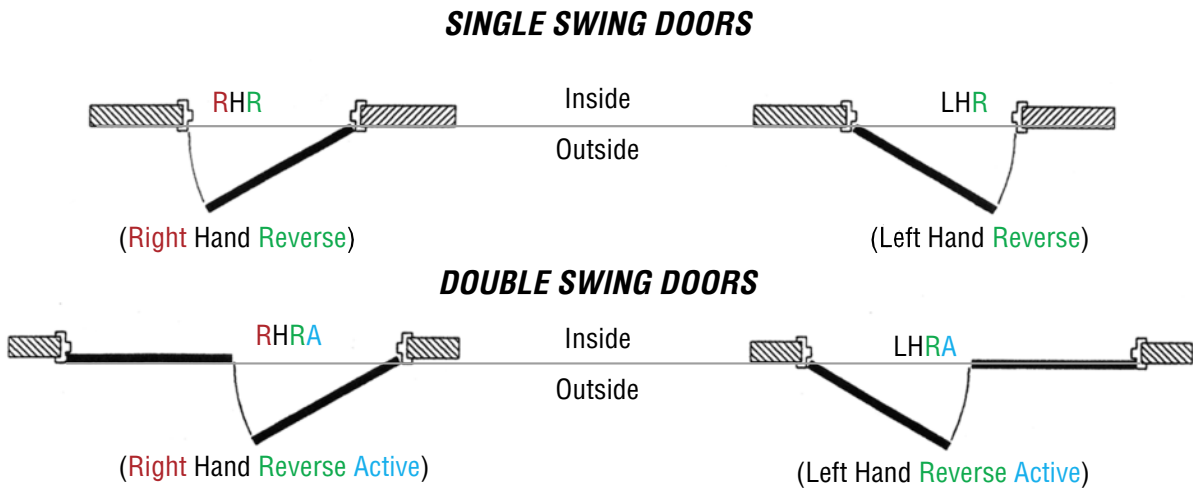
SPARTAN HOLLOW METAL HANDING CHART

Handing of doors and frames present a problem for many, even within the door industry. The below chart is designed to make your choice easy, reducing the chances of error.

IN-SWING DOORS



OUT-SWING DOORS



Non-Handed



**Polystyrene
Flush**



Urethane Flush





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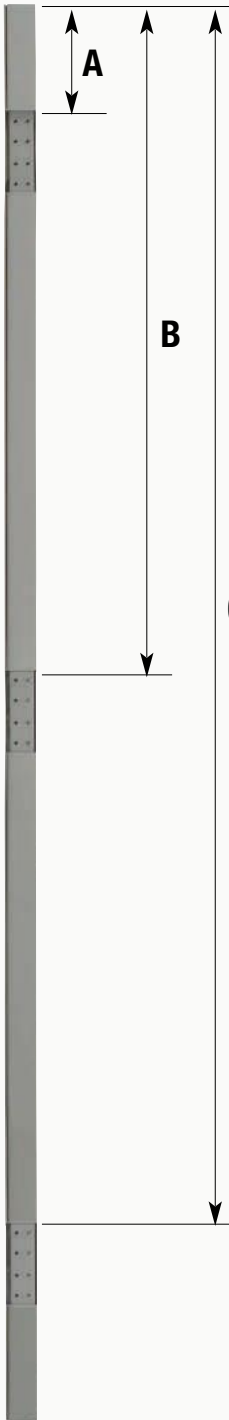
DOOR DIMENSIONS

TOP

1
May Date:



HINGE
SIDE



DOOR HEIGHT*	A	B	C	D
6'8"	7-3/8"	37-5/16"	67-1/4"	39-9/16"
7'0"	7-3/8"	39-5/16"	71-1/4"	43-9/16"

**OTHER SIZES AND HINGE LOCATIONS
AVAILABLE ON REQUEST**

***WITH 3/4" UNDERCUT**

LATCH
SIDE



HINGE
CLOSE
UP

4-1/2"
HINGE
PREP



2-1/4"
X
1-1/8"
LATCH
PREP

LATCH
CLOSE
UP

BOTTOM





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SPARTAN DOORS COLOR OPTIONS



BRONZE BZ
(TIOGA)



MEDIUM GRAY
(MSD/PRIMER GRAY)
PR



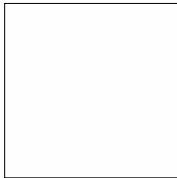
LIGHT GRAY
(TELSTAR)
GR



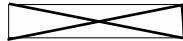
OFF WHITE
(TELSTAR)
OW



TRUE WHITE
(TIOGA)
WH



BRIGHT WHITE
(TELSTAR)
BW



NO PAINT
NP

NOTE:

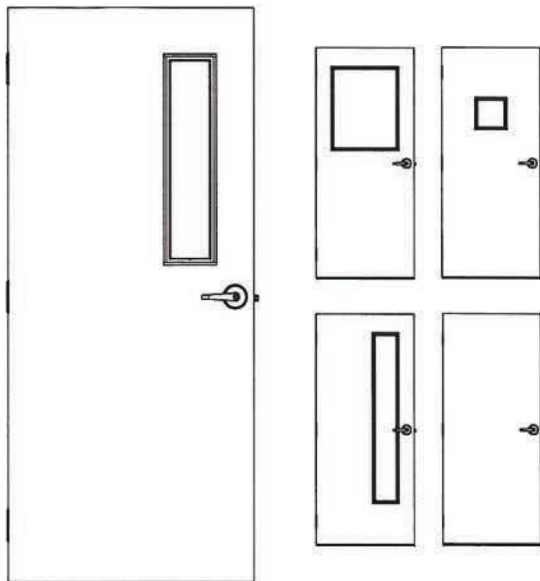
ACTUAL COLORS MAY VARY FROM THOSE SHOWN DUE TO LIMITATIONS OF THE PRINTING PRODUCTION PROCESS.

Technical Data Series

Rev. 1 - June 6, 2011



Doors & Fra Date: 10/20/14
 + Hollow Metal
 + SPARTAN SERIES
 + Doors
 1



FEATURES AND BENEFITS:

Spartan Series Doors offer the following standard unique features, which enhance long term performance and durability.

1. Polystyrene core system enhances the structural integrity of the door, while significantly reducing the weight.
2. Full height, epoxy filled mechanical interlock edges provide structural support and stability along the full height of the door edges.
3. Patented universal hinge preparations allow for easy field conversion from standard weight (.134) hinges to heavy weight (.180) hinges.
4. 18 gage top and bottom channels provide stability and protection for the top and bottom edges from abuse.
5. Square hinge and lock edges allow for non-handed options and eliminate handing issues in the field.
6. All steel glass trim provides a clean, neat, and flush finish with the door surface.
7. Factory applied baked on rust inhibiting primer in accordance with ANSI A250.10.
8. Calculated R-Value of 7.14

ABOUT THE PRODUCT:

The Spartan Series Doors are designed to meet the architectural requirements for hollow metal doors. This premium door construction combines the strength and dimensional stability of steel with the structural integrity of the a polystyrene core. The continuous bonding of core to metal provides an attractive flat door, free of face welding marks. Windstorm Tests have proven that the Spartan door has integral high resistance to impact damage, low thermal conductivity, and high STC ratings. To meet application, specification and performance requirements, the Spartan doors offer a wide range of specifiable options including sizes, glass lite designs, hardware (mechanical, pneumatic, electrical) preparations and edge constructions.

SPECIFICATION COMPLIANCE:

1. Door construction for the Spartan Series Hollow Metal Doors meets the requirements of ANSI A250.8-1998 (commonly referred to as SDI-100).
2. Hardware preparations and reinforcements are in accordance with ANSI A250.6-1997. Locations are in accordance with ANSI/DHI A115.

FIRE RATINGS:

The Spartan Series doors meet the broadest fire rating requirements. They are listed for installations requiring compliance to both negative pressure testing (ASTM E152 and UL-10B) and positive pressure standards (UBC 7-2 and UL-10C)

Steel Thickness	Opening	Usage Frequency ¹	Frame Applications
16-Gage Galv anealed ²	Interior & Exterior	Extra-Heavy Duty	16 & 14-Gage Steel Frames
18-Gage Galv anealed ²	Interior & Exterior	Heavy Duty	16-Gage Steel Frames
20-Gage Galv anealed ²	Interior & Exterior	Standard Duty	16-Gage Steel Frames

¹Usage frequency is based on ANSI A250.8-1998

²Reinforcements for galvanized doors are also galvanized

MATERIAL:

All doors are supplied with a factory applied baked on coat of paint, depending on environmental conditions this factory applied paint may serve as a finished paint or may be finish painted in the field.

Core Material	R-Value	U-Value
Polystyrene	7.14	0.14
Polyurethane	11.01	0.091

PROPRIETARY AND CONFIDENTIAL

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Core Material	STC-Rating
Polystyrene	33
Polyurethane	31



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14

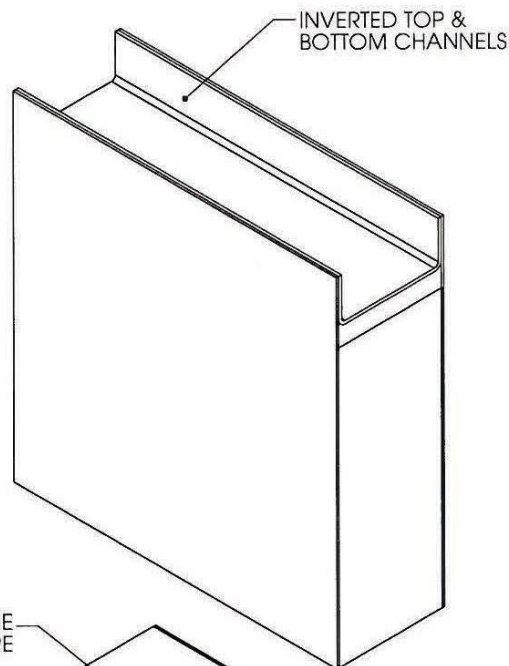
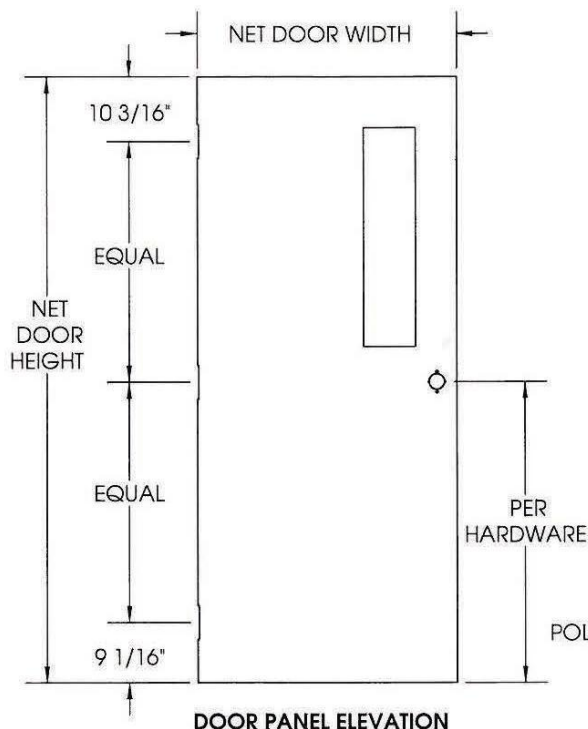
Technical Data Series

Rev. 0 - April 15, 2010

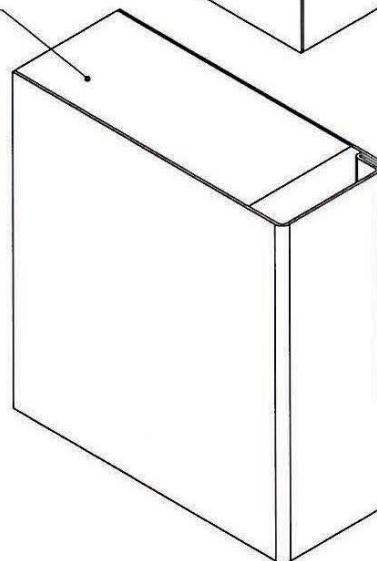


Doors & Fram

+ Hollow Me
+ SPARTAN SE
+ Doors
2



POLYSTYRENE CORE



CONSTRUCTION NOTES:

1. Doors are 1 3/4" (45mm) thick.
2. Door opening size maximum:
Single door opening size 4'0" x 8'0" (1219mm x 3048mm)
Double door opening size 8'0" x 8'0" (2438mm x 3048mm)
3. Standard operating clearances (installed in frame):
Head = 1/8" (3mm) to bottom of head or transom panel
Hinge and lock side = 3/32" (2mm) to rabbet on jamb
4. Standard core system:
1.0 lb/ft³ Polystyrene core is laminated to both face sheets with contact adhesive.
5. Hardware preparations: to meet specifications, doors can be prepared for all commercial mortised hardware, and can be factory reinforced for surface applied hardware applications.
 - Lock preps - details and dimensions shown are for cylindrical (ANSI 115.2) type locks or for mortise (ANSI A115.1) locks.

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TELL MANUFACTURING, INC — Page 6 — 2014

CORPORATE OFFICE: 18 Richard Drive, Lititz, PA 17543 TOLL FREE: 800-433-4047 PHONE: 717-625-2990 FAX: 717-625-7095
OTHER LOCATIONS: BIRMINGHAM, ALABAMA MIRA LOMA, CALIFORNIA ELKHART, INDIANA HOUSTON & DALLAS, TEXAS
WEBSITE: www.tellmfg.com



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
10/20/14

Technical Data Series

Rev. 0 - April 15, 2010

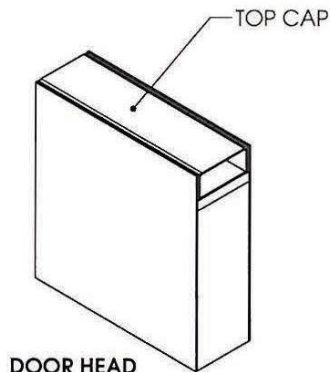


Doors & Frc

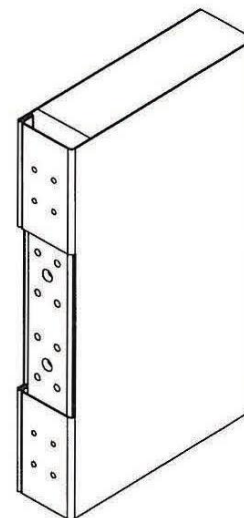
+ Hollow | Date:
+ SPARTAN SERIES
+ Doors
3



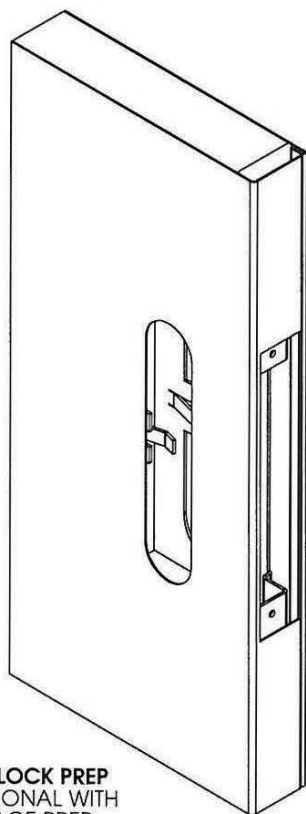
161L LOCK PREP



DOOR HEAD



HINGE PREP



86 LOCK PREP
OPTIONAL WITH
FACE PREP

GENERAL NOTES:

- Edge construction:
 - Vertical edges (both hinge and lock) are square with a visible seam.
 - Top and bottom edges are closed with inverted 18-gage welded channels. Exterior applications require the addition of snap-in top caps to protect against the weather.
- Optional cores available in the Spartan Series door construction:
 - Polystyrene for exterior applications in extreme weather conditions.
 - Polyurethane for exterior applications in arctic weather conditions. Not Fire Rated.
- Standard hardware preparations: standard mortised and reinforced for:
 - Universal hinge preps - 4 1/2" (114mm) patented preparation which allows easy and quick field conversion from standard to heavy weight hinges.
 - Locks - A multitude of standard lock preps are available. The most commonly used with a 47/8" (124mm) strike are 161, 61L and 86.

INSTALLATION:

- Installation shall conform to the published installation instructions, SDI 105 Recommended Installation Instructions for Steel Frames, and ANSI/DHI A115-IG Installation Guide for Doors and Hardware.
- Fire Rated Assemblies must be in accordance with NFPA Pamphlet 80. The Authority Having Jurisdiction is the final authority in issues related to the installation and use of installed Fire Rated Doors.

PROPRIETARY AND CONFIDENTIAL

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TELL MANUFACTURING, INC — Page 7 — 2014

CORPORATE OFFICE: 18 Richard Drive, Lititz, PA 17543 TOLL FREE: 800-433-4047 PHONE: 717-625-2990 FAX: 717-625-7095
OTHER LOCATIONS: BIRMINGHAM, ALABAMA MIRA LOMA, CALIFORNIA ELKHART, INDIANA HOUSTON & DALLAS, TEXAS
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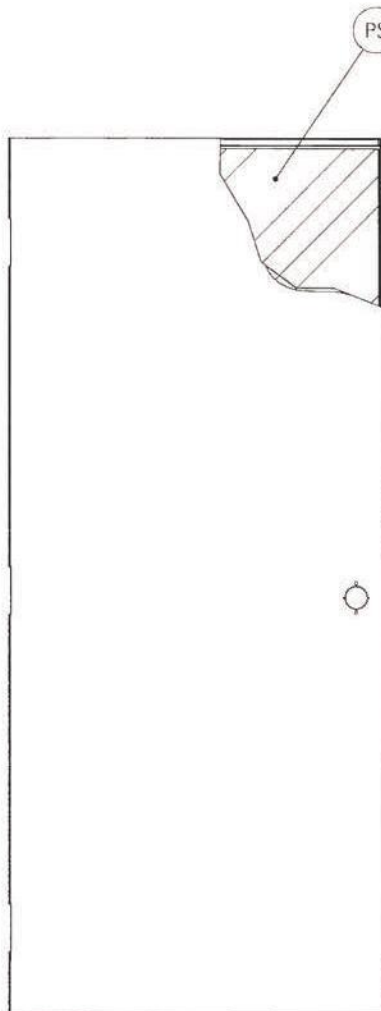
R-U VALUE INSULATION SPECS FOR SPARTAN DOORS, PAGE 1 OF 2

Technical Data Series
Rev. 0 - May 27, 2010



Doors & Frames
+ Hollow Metal
+ Doors

1.1



PS POLYSTYRENE CORE

ENGINEERING DETAILS for SPARTAN, TELSTAR, TIOGA Series Doors

Specifications:

1. Doors shall be formed from two 20 or 18 gage Galvannealed Steel per ASTM A924 and A653 and shall be 1-3/4" thick.
2. Doors shall have a core of rigid Polystyrene. The core shall have a nominal density of 1.0 #ft3, with a calculated "R" factor of 7.12. The door panel has a calculated "U" factor of 0.14.
3. Doors shall have vertical mechanical interlocking seams on hinge and lock edges. There shall be no seam on the faces of door.
4. Exterior doors shall be capped to retard moisture penetrating the door.
5. All hinge reinforcements shall be 3/16" thick.
6. All doors shall be internally reinforced with a 12 gage plate both sides of the door for application of surface applied door closures and holders.
7. All doors shall be cleaned and given one coat of baked -on rust- inhibitive metal primer in compliance with ANSI A250.10-2004 12. All fire rated doors, where indicated, shall be manufactured in accordance with UL procedures and bear the appropriate classification mark (label).
8. Door construction complies with ANSI A250.8-2003 (SDI 100)
9. Doors shall be packaged to minimize damage in transit and handling.
10. Hardware reinforcements are in accordance with ANSI A250.6-2003. Locations are in accordance with ANSI/BHMA A156.115



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 10/20/14



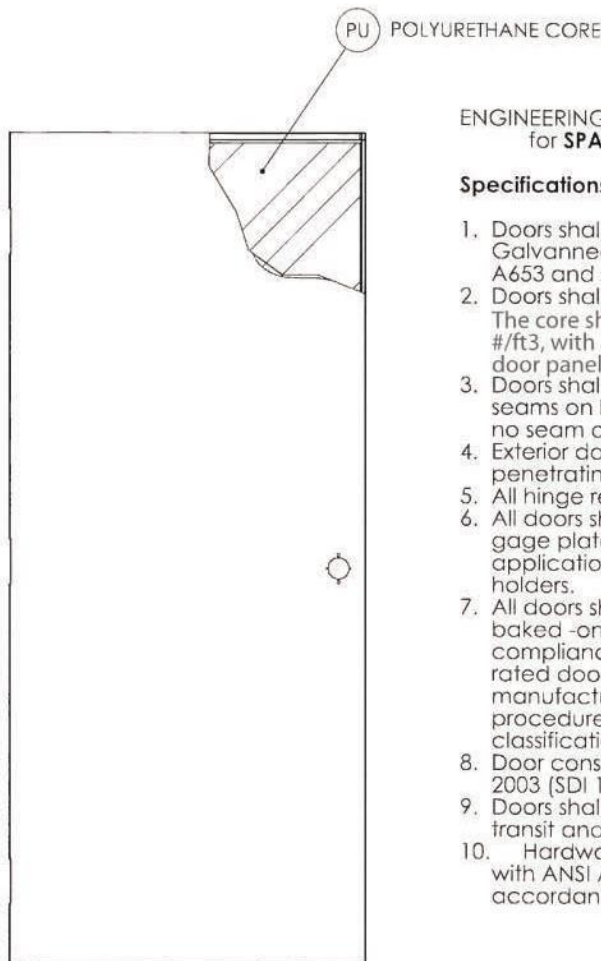
R-U VALUE INSULATION SPECS FOR SPARTAN DOORS, PAGE 2 OF 2

Technical Data Series
Rev. 0 - May 27, 2010



Doors & Frames
+ Hollow Metal
+ Doors

1.1



ENGINEERING DETAILS for SPARTAN, TELSTAR & TIOGA Series Doors

Specifications:

1. Doors shall be formed from two 20 or 18 gage Galvannealed Steel per ASTM A924 and A653 and shall be 1-3/4" thick.
2. Doors shall have a core of rigid Polyurethane. The core shall have a nominal density of 2.0 #/ft³, with a calculated "R" factor of 11.01. The door panel has a calculated "U" factor of 0.091.
3. Doors shall have vertical mechanical interlocking seams on hinge and lock edges. There shall be no seam on the faces of door.
4. Exterior doors shall be capped to retard moisture penetrating the door.
5. All hinge reinforcements shall be 3/16" thick.
6. All doors shall be internally reinforced with a 12 gage plate both sides of the door for application of surface applied door closures and holders.
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SPARTAN DOOR HOW TO ORDER CHART

MANUFACTURED STEEL DOOR (MSD SERIES)

HINGE PATTERN OPTIONS

- DO — DOMINION / DIAMOND
- NH — NO HINGE PREP
- TM — TIMELY
- CU — CURRIES / PREMIER
- PI — PIONEER
- CE — CECO
- AR — ARMWELD REVERSIBLE
- A — AMWELD / STEELCRAFT / REPUBLIC

DOOR DESIGNS *SEE CHART BELOW***

- NCR — NO CLOSER REINFORCEMENT
- IDB — INVISIBLE DEAD BOLT PREP
- DB — DEAD BOLT

FINISH

- X — TEXTURED FLUSH
- F — SMOOTH FLUSH

DOOR EDGE AND HINGE TYPES

- SQ — SQUARE EDGE W/ CUT THRU HINGES

DOOR SERIES

- DHM — SPARTAN DOOR HOLLOW METAL / POLYSTYRENE CORE
- DHMU — SPARTAN DOOR HOLLOW METAL / HOLLOW METAL / URETHANE CORE
- DHMU 3070
- 3070 — 30 = 3 FEET, 0 INCHES WIDE; 70 = 7 FEET, 0 INCHES TALL
- 20A — 20 GAUGE GALVANNEAL
- 18A — 18 GAUGE GALVANNEAL
- 16A — 16 GAUGE GALVANNEAL
- GAUGE*

LOCK OPTIONS

- 161 — STANDARD CYLINDER PREP 2-3/4" BACKSET
- 161L — ABOVE WITH PROVISION FOR LEVER THRU-BOLTS
- 161WR — WIND RATED
- 86 — MORTISE BOX WITH OVAL CUT-OUT & MORTISE EDGE PREP
- 00 — MORTISE BOX WITH NO CUT-OUT; MORTISE EDGE PREP ONLY
- B — BLANK; NO FACE OR EDGE PREP

PAINT OPTIONS (ALL COLORS NOT LISTED)

- NP — NO PAINT
- WH — TRUE WHITE (TIOGA)
- BW — BRIGHT WHITE (TELSTAR)
- OW — OFF WHITE (TELSTAR)
- GR — LIGHT GRAY (TELSTAR)
- PR — MEDIUM GRAY (MSD / PRIMER GRAY)
- BZ — BRONZE (TIOGA)

DOOR HANDING CHART

OUT-SWING DOORS SINGLE SWING DOORS

- RHR — (Right Hand Reverse)
- LHR — (Left Hand Reverse)

DOUBLE SWING DOORS

- RHRA — (Right Hand Reverse Active)
- LHRA — (Left Hand Reverse Active)

**** DOOR DESIGNS / WINDOW OPTIONS (ALL OPTIONS NOT LISTED, PLEASE CONTACT CUSTOMER SERVICE FOR MORE OPTIONS)**

- FLUSH
- NARROW LITE
- VISION PANEL
- HALF GLASS
- FULL GLASS

Sprinkler Systems, Inc.

P.O. Box 1285

Lewiston, Maine 04243-1285

Ph. (207) 782-0104 Fax (207) 783-4865

Fire Protection Professionals Since 1973



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14

Portland Sports Complex
512 Warren Avenue
Portland, Maine 04103

August 13, 2014

Attn: Jamie Grattelo

Re: Joker's renovation 2014

Gentlemen:

Please be advised that the upcoming change in occupancy from Joker's to the Fitness Factory will not affect the adequacy of the existing sprinkler system.

The existing sprinkler system design will meet NFPA-13 requirements for the proposed tenant occupancy: the Fitness Factory.

Sprinkler Systems, Inc. will review the renovations and relocate the existing sprinklers as necessary to meet NFPA spacing requirements. All revisions to the sprinkler system will be in accordance with NFPA-13.

If there are any questions, please do not hesitate to call.

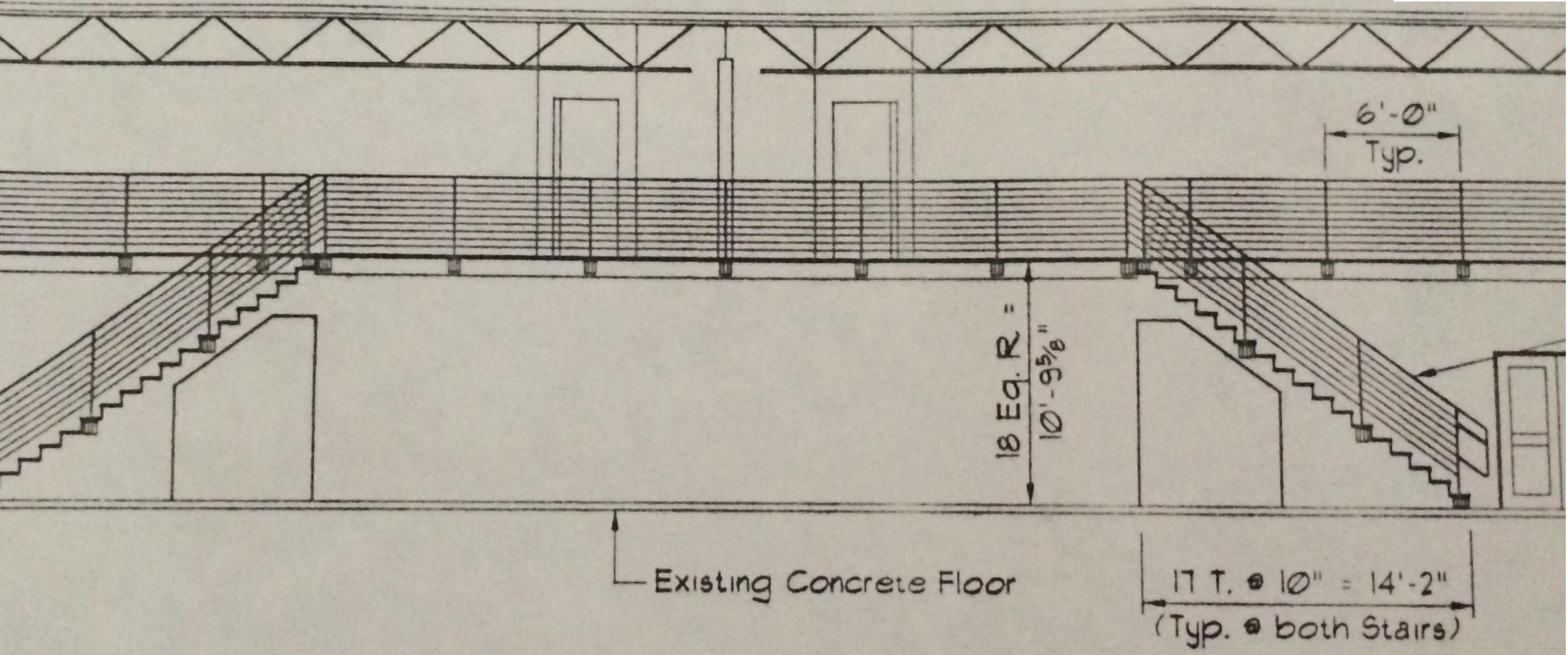
Very Truly Yours,

J Marc Kannegieser
President



Reviewed for Code Compliance
Inspectors Division
Approved with Conditions

Date: 10/20/14



A
AI

Interior Elevation

SCALE 1/8" = 1'-0"



Building Inspections - 550 Warren Ave new application submittal former Jokers

From: Jeanie Bourke
To: buildinginspections@portlandmaine.gov
Date: 9/12/2014 3:46 PM
Subject: 550 Warren Ave new application submittal former Jokers
CC: Tammy Munson
Attachments: Fitness Equipment Layout.pdf; Backup Files.pdf; Elevation Plan.pdf; Existing Plan.pdf; Plot Plan.pdf; Proposed New Plan.pdf; Reflective Ceiling Plan.pdf; Wall Partition.pdf; Fitness Factory Building Application.PDF; email reply for preliminary review and intake.pdf

Hi
 I hope this can now be taken in for processing, please contact the applicant as you would for payment of fees.

Let me know if you have any questions,
 Jeanie

>>> "Jamie Grattelo" <jamie@fitnessfactorymaine.com> 9/10/2014 4:40 PM >>>
 Jeanie,

Hopefully we are close enough for a conditional permit. I know this is probably more frustrating for you as we have submitted multiple plans engaging you in this back and forth email game so I understand and am thankful for the time you have spent getting back to us in a timely manner.

My father had a good conversation with Tammy Last Tuesday and we have been lead to believe that if we got you the previously submitted info in the PDF format you requested she would issue a permit with conditions so we could proceed. We plan to resolve all the outstanding issues for the final approval and Tammy said she would work with us. She agreed it's the same type of use, we are building no structural walls, we are not tearing down anything but just adding locker rooms, additional bathrooms with showers and some office space.

I met with our engineer and Carol Morrisette last week and we were able to tackle most of the items on the list of 8 which we were told you would work with us if we did. Carol is going to professionally submit the final packet that we hope to get to you in two weeks as Carol has been a great help but she has been to busy to drop everything she is doing for us as well as everyone else we have contacted.

I hope the PDF piece will be close enough for you knowing that Carol will submit it the way you want in a couple weeks she just doesn't have time to this week.

As far as the 8 things you asked me to submit.

1. Provide plans and documents per the electronic submittal criteria, specifically **PDF format** for **all** plans and documents. Also, the administrative staff should **not** have to distinguish which documents are being submitted between the all the emails sent. You will need to submit an email with a complete set of all the information, including the application. From my perspective, both of the following plans should be included as they have different required information: PDF file names: "**Proposed new plan**" and the "**CADdrawing for Change of Usage Application_3**" I still have no idea what you are asking for electronic submittal. I was told we don't need a cefrtified



engineer however it seems like I do to send the plans in correctly.

I have spoken with carol and with her guidance hopefully this works well enough for you to provide a conditional building permit. Understand I am still a little confused exactly how you want it so please bear with me if its not perfect.

2. Provide a code analysis per IBC and NFPA, as previously requested

Carol Morrissette will come up with IBC code analysis however it is going to take her at least a week to finish this.

3. Provide a (For Construction rather than Preliminary) compliant Life Safety plan, this plan shows dead end and common path of travel issues. Please address these and re-submit.

I was told originally that the prelim one we sent was good enough to start moving forward. Carol has committed to finishing this for us and I am confident it will be more than acceptable she just can't do this for at least a week.

4. On the pdf file plan, Wall Partition, please provide a section with the head of wall detail. This will clarify the ceiling type, ie. drop in ACT, hard ceiling or alternate design. There may be more than one wall detail, ie. the area under the existing mezzanine and the new men's locker area

We have resubmitted these and hopefully they are to your standards.

5. Provide an exercise equipment plan for the applicable areas

We have provided our equipment layout in the application

6. Provide an assessment of the existing exterior sewer tank size and ability to handle the additional Drainage Fixture Unit load

We are currently finding the drawing for the sewer tank and will provide drawings with specifics that are a better explanation than Existing sewer tank has way more than enough capacity as the usage is only 1/3 of Joker's current use.

7. On the CAD drawing provide the location of the Drinking Fountain

We have submitted the drinking fountains on the plans

8. Provide an internal plumbing application with fixture counts consistent with the proposed plans

I sent a plumbing application even though below you said we didn't have to I wanted something you could report to for our internal fixture count. It is consistent with fixture counts with the proposed new plan except I didn't have the water fountains in the internal plumbing application because I wasn't sure if my engineer was going to get the plan in on time with the water fountains..

Thanks

Jamie Grattelo

590-4778

From: [Jeanie Bourke](#)

Sent: Thursday, September 4, 2014 10:00 AM

To: [Jamie](#)

Cc: [Tammy Munson](#)

Subject: Re: resubmittal



Jamie,

You are getting closer, however as you will see in the attached electronic submittal criteria, each plan or document is required to be separate pdf file with a description name for each file. Documents are allowed to be multiple pages, ie. the Fire Alarm Test pages, but Plans are required to be single files, ie. Layout and Utility Plan.

Be advised, the plumbing and electrical permits are not required to be submitted with the building permit records, and they are not approval of such with the issuance of the building permit.

Example of a PDF file name:

Documents:

Project Description

Application & Checklist (**By the way, I do not see that the general building permit application has been included, see attachment**)

Plans:

Gym Bath and Locker Layout

Existing Floor Plan

Can you provide an update on the 8 the items I requested from the previous email sent 8/28?

I hope this helps,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703
Permit status can be viewed at: <http://www.portlandmaine.gov/792/Permit-Status>

>>> "Jamie" <jamie@portlandsportscomplex.com> 9/4/2014 8:16 AM >>>

Jeanie,

Hopefully this works.

Jamie

From: [Jeanie Bourke](#)
Sent: Wednesday, September 3, 2014 11:06 AM
To: jamie@portlandsportscomplex.com
Cc: [Tammy Munson](#)
Subject: Re: Fwd: New floor plan PDF format.



Hi Jamie,

Here is the excerpt from my previous email comments about the submittal of the plans and documents. Please let me know if you have any questions.

*1. Provide plans and documents per the electronic submittal criteria, specifically **PDF format** for **all** plans and documents. Also, the administrative staff should **not** have to distinguish which documents are being submitted between the all the emails sent. You will need to submit an email with a complete set of all the information, including the application. From my perspective, both of the following plans should be included as they have different required information: PDF file names: "**Proposed new plan**" and the "**CADdrawing for Change of Usage Application_3**"*

I will need a complete set of all the plans and documents to be submitted for this application in order for this to be processed.

Thanks,
Jeanie

*Jeanie Bourke
CEO/LPI/Plan Reviewer*

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
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>>> Tammy Munson 9/2/2014 3:47 PM >>>

Jamie, please include Jeanie on all emails as she is the reviewer. I will forward these to her.

Tammy M. Munson
Director of Inspections
City of Portland
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8703
Free access to codes on-line: <http://publicecodes.cyberregs.com/icod/index.htm>

>>> "Jamie" <jamie@portlandsportscomplex.com> 9/2/2014 3:36 PM >>>

Tammy,

I tried to call you to clarify what you were looking for as far as the floor plan goes. I accidentally submitted the cad drawing in the last one.



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 10/20/14

In order to prevent any confusion I have only included the final floor plan and the existing one.

Please call me if you have any issues.

Jamie Grattelo

590-4778

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

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Jeanie Bourke - Re: Resubmittal

From: Jeanie Bourke
To: Jamie Grattelo; Tammy Munson
Date: 9/12/2014 9:23 AM
Subject: Re: Resubmittal
CC: Jim Grattelo; Jonathan Rioux

Good Morning Jamie,

Thank you for providing these plans in the correct format. I am forwarding the documents you sent to the administrative staff for intake. They will reply to you promptly requesting payment, which will then start the review process.

We can issue a permit with conditions, however, your request is beyond the scope typically allowed. This will need to be reviewed by zoning, fire and building codes before a determination will be made on this matter.

I performed a preliminary review for building code from the previous documents, however there is a process to be followed.

Thank you,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
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Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

Permit status can be viewed at: <http://www.portlandmaine.gov/792/Permit-Status>

>>> "Jamie Grattelo" <jamie@fitnessfactorymaine.com> 9/10/2014 4:40 PM >>>

Jeanie,

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My father had a good conversation with Tammy Last Tuesday and we have been lead to believe that if we got you the previously submitted info in the PDF format you requested she would issue a permit with conditions so we could proceed. We plan to resolve all the outstanding issues for the final approval and Tammy said she would work with us. She agreed it's the same type of use, we are building no structural walls, we are not tearing down anything but just adding locker rooms, additional bathrooms with showers and some office space.



I met with our engineer and Carol Morrisette last week and we were able to tackle most of the it on the list of 8 which we were told you would work with us if we did. Carol is going to professor submit the final packet that we hope to get to you in two weeks as Carol has been a great help but she has been to busy to drop everything she is doing for us as well as everyone else we have contacted.

I hope the PDF piece will be close enough for you knowing that Carol will submit it the way you want in a couple weeks she just doesn't have time to this week.

As far as the 8 things you asked me to submit.

1. Provide plans and documents per the electronic submittal criteria, specifically **PDF format** for **all** plans and documents. Also, the administrative staff should **not** have to distinguish which documents are being submitted between the all the emails sent. You will need to submit an email with a complete set of all the information, including the application. From my perspective, both of the following plans should be included as they have different required information: PDF file names: **"Proposed new plan" and the "CADdrawing for Change of Usage Application_3"**

I still have no idea what you are asking for electronic submittal. I was told we don't need a cefrtified engineer however it seems like I do to send the plans in correctly.

I have spoken with carol and with her guidance hopefully this works well enough for you to provide the conditional building permit. Understand I am still a little confused exactly how you want it so please bear with me if its not perfect.

2. Provide a code analysis per IBC and NFPA, as previously requested

Carol Morrisette will come up with IBC code analysis however it is going to take her at least a week to finish this.

3. Provide a (For Construction rather than Preliminary) compliant Life Safety plan, this plan shows dead end and common path of travel issues. Please address these and re-submit.

I was told originally that the prelim one we sent was good enough to start moving forward. Carol has committed to finishing this for us and I am confident it will be more than acceptable she just can't do this for at least a week.

4. On the pdf file plan, Wall Partition, please provide a section with the head of wall detail. This will clarify the ceiling type, ie. drop in ACT, hard ceiling or alternate design. There may be more than one wall detail, ie. the area under the existing mezzanine and the new men's locker area

We have resubmitted these and hopefully they are to your standards.

5. Provide an exercise equipment plan for the applicable areas

We have provided our equipment layout in the application

6. Provide an assessment of the existing exterior sewer tank size and ability to handle the additional Drainage Fixture Unit load

We are currently finding the drawing for the sewer tank and will provide drawings with specifics that are a better explanation than Existing sewer tank has way more than enough capacity as the usage is only 1/3 of Joker's current use.

**7. On the CAD drawing provide the location of the Drinking Fountain**

We have submitted the drinking fountains on the plans

8. Provide an internal plumbing application with fixture counts consistent with the proposed plans

I sent a plumbing application even though below you said we didn't have to I wanted something you could report to for our internal fixture count. It is consistent with fixture counts with the proposed new plan except I didn't have the water fountains in the internal plumbing application because I wasn't sure if my engineer was going to get the plan in on time with the water fountains..

Thanks

Jamie Grattelo

590-4778

From: [Jeanie Bourke](#)

Sent: Thursday, September 4, 2014 10:00 AM

To: [Jamie](#)

Cc: [Tammy Munson](#)

Subject: Re: resubmittal

Jamie,

You are getting closer, however as you will see in the attached electronic submittal criteria, each plan or document is required to be separate pdf file with a description name for each file. Documents are allowed to be multiple pages, ie. the Fire Alarm Test pages, but Plans are required to be single files, ie. Layout and Utility Plan.

Be advised, the plumbing and electrical permits are not required to be submitted with the building permit records, and they are not approval of such with the issuance of the building permit.

Example of a PDF file name:

Documents:

Project Description

Application & Checklist **(By the way, I do not see that the general building permit application has been included, see attachment)**

Plans:

Gym Bath and Locker Layout

Existing Floor Plan

Can you provide an update on the 8 the items I requested from the previous email sent 8/28?

I hope this helps,

Jeanie



Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

Permit status can be viewed at: <http://www.portlandmaine.gov/792/Permit-Status>

>>> "Jamie" <jamie@portlandsportscomplex.com> 9/4/2014 8:16 AM >>>

Jeanie,

Hopefully this works.

Jamie

From: [Jeanie Bourke](#)
Sent: Wednesday, September 3, 2014 11:06 AM
To: jamie@portlandsportscomplex.com
Cc: [Tammy Munson](#)
Subject: Re: Fwd: New floor plan PDF format.

Hi Jamie,

Here is the excerpt from my previous email comments about the submittal of the plans and documents. Please let me know if you have any questions.

*1. Provide plans and documents per the electronic submittal criteria, specifically **PDF format** for **all** plans and documents. Also, the administrative staff should **not** have to distinguish which documents are being submitted between the all the emails sent. You will need to submit an email with a complete set of all the information, including the application. From my perspective, both of the following plans should be included as they have different required information: PDF file names: "**Proposed new plan**" and the "**CADdrawing for Change of Usage Application_3**"*

I will need a complete set of all the plans and documents to be submitted for this application in order for this to be processed.

Thanks,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715



Office: (207) 874-8703

Permit status can be viewed at: <http://www.portlandmaine.gov/792/Permit-Status>

>>> Tammy Munson 9/2/2014 3:47 PM >>>

Jamie, please include Jeanie on all emails as she is the reviewer. I will forward these to her.

Tammy M. Munson
Director of Inspections
City of Portland
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8703
Free access to codes on-line: <http://publicecodes.cyberregs.com/icod/index.htm>

>>> "Jamie" <jamie@portlandsportscomplex.com> 9/2/2014 3:36 PM >>>

Tammy,

I tried to call you to clarify what you were looking for as far as the floor plan goes. I accidentally submitted the cad drawing in the last one.

In order to prevent any confusion I have only included the final floor plan and the existing one.

Please call me if you have any issues.

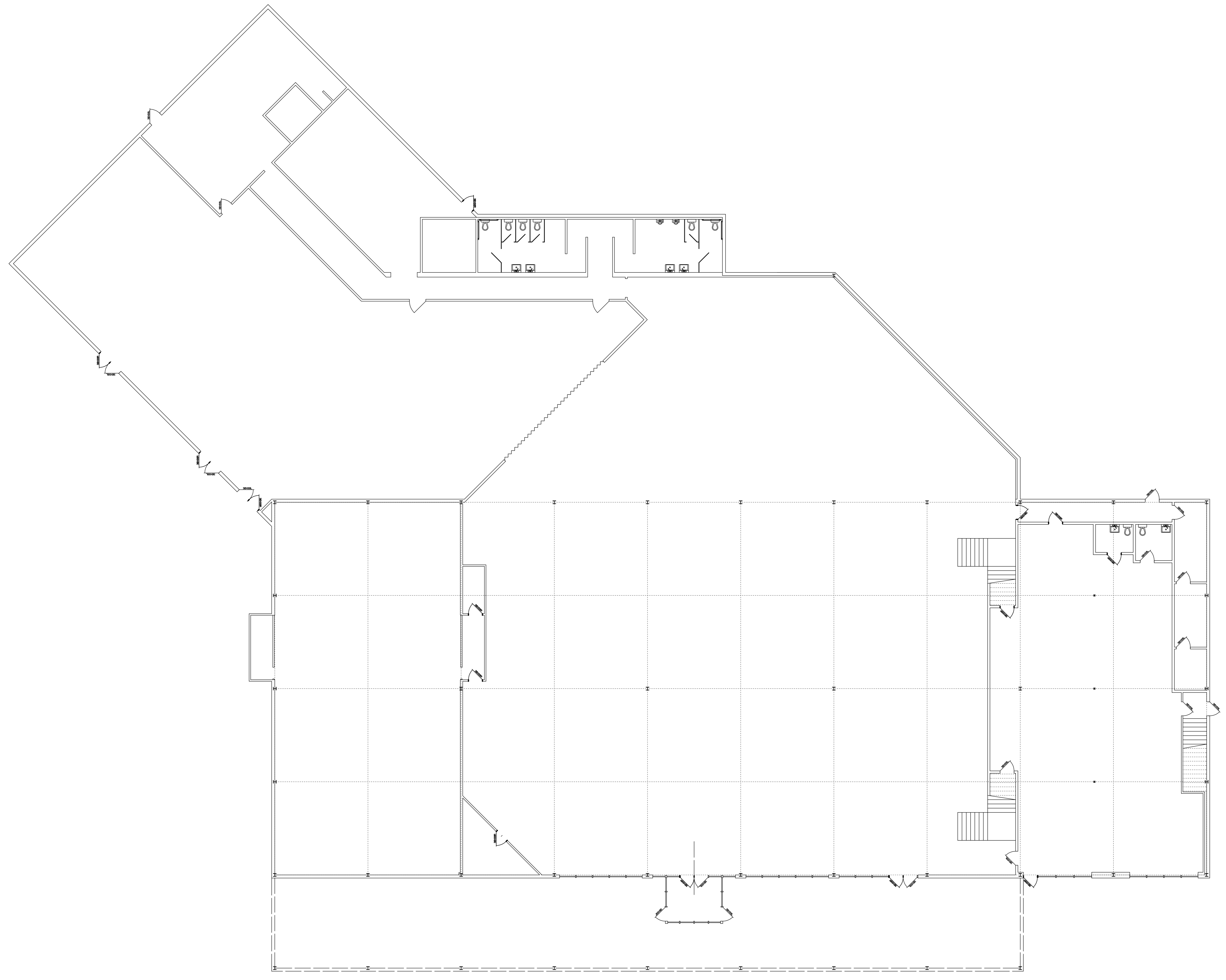
Jamie Grattelo

590-4778

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

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THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF MAINE RESIDENTIAL DESIGN. CUSTOMERS SHOULD APPRECIATE HOWEVER, THAT THE INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT, NEITHER MAINE RESIDENTIAL DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITH THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THE INFORMATION MAINE RESIDENTIAL DESIGN DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



MAINE RESIDENTIAL DESIGN		FILE NAME
CASCO, ME. 207-627-3362		
JOB: JOKERS BUILDING WESTBROOK	SCALE: 1/8"=1'-0"	DATE: 7/8/14
DISCIPLINE: EXISTING FLOOR PLAN	DRAWN BY: MEJ	APPROVED:



General Building Permit Application

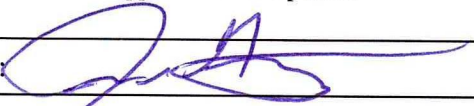
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>512 Warren Ave</u>		
Total Square Footage of Proposed Structure/Area <u>2000 square feet.</u>		Square Footage of Lot <u>13,000 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>271 - A-002 - 001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>James Grattelo</u> Address <u>398 Bridgton Rd</u> City, State & Zip <u>Westbrook ME 04092</u>	Telephone: <u>207-590-4778</u>
Lessee/DBA (If Applicable) <u>Joker's</u>	Owner (if different from Applicant) Name <u>Jim Grattelo</u> Address <u>512 Warren Ave</u> City, State & Zip <u>Portland ME 04103</u>	Cost Of Work: \$ <u>45,000</u> C of O Fee: \$ <u>100</u> Total Fee: \$ <u>609</u>
Current legal use (i.e. single family) <u>Restaurant Family Entertainment</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Fitness Center</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Moving Fitness Center Located @ 512 Warren Ave to 512 Warren Ave where Joker's is currently located. Project summary attached</u>		
Contractor's name: <u>James White DBA White Homes</u> Address: <u>2 Farwell Court Westbrook ME 04092</u> City, State & Zip <u>Westbrook ME 04092</u> Telephone: <u>838-3342</u> Who should we contact when the permit is ready: <u>Jim White</u> Telephone: <u>838-3342</u> Mailing address: <u>2 Farwell Court Westbrook ME 04092</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 7/29/2014

This is not a permit; you may not commence ANY work until the permit is issue



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14



PORTLAND MAINE

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Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.


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- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: 

Date: 7/29/2014

I have provided digital copies and sent them on: 

Date: 7/29/2014

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
10/20/14

Date: _____

Project Description

Prepared by Jamie Grattelo

We were recently approached by the Fitness Factory on Warren Ave that the building they are currently renting on 55 Warren Ave is in the process of being closed on and they will have to vacate the building by October 1st. Upon review of our current economies at our Joker's Location on 512 Warren Ave we have decided that this business will be in the best interest of the community as well as our business plan of keeping the location as an entertainment/sports complex.

In order to move the Fitness Factory over to the current Jokers location we have to build out shower/locker room facilities to support the new customer base and business. In our plan that we have submitted the jokers building as is will assume a majority of the costs for the renovation as the building has more than enough amenities to move the Fitness Factory over without making many changes. In order to facilitate the new Locker Room shower facilities we need to update floors with tile, support waste water to our current holding tank, and install shower and bathroom stalls to complete the renovation.

We hope this process is as seamless as the last construction project we enjoyed with the city previously in 2012 when we put an addition on to the Portland Sports Complex.

Sincerely

James Grattelo



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14

ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 7/29/2014

Permit #: _____

CBL#: _____

ADDRESS: 512 Warren Ave METER MAKE/MODEL #: 6052070454

CMP Work Order #: _____ OWNER: James Grattalo

TENANT: Fitness Factory PHONE #: 207-590-4770

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION! TOTAL EACH FEE

OUTLETS:	<u>20</u>	Receptacles	<u>10</u>	Switches		Smoke Detector	0.20	<u>6.00</u>
FIXTURES:	<u>10</u>	Incandescent		Flourescent		Strips	0.20	
SERVICES:	<u>2</u>	Overhead	<input type="checkbox"/>	Underground	<input type="checkbox"/>	TTL Amps <800	15.00	<u>30.00</u>
						TTL Amps >800	25.00	<u>50.00</u>
TEMPORARY SERVICE:		Overhead	<input type="checkbox"/>	Underground		TTL Amps	25.00	
METERS:		(Number of)					1.00	
MOTORS:		(Number of)					2.00	
RESID/COMMER:		Electric Units					1.00	
HEATING:		Oil/Gas Units	<input type="checkbox"/>	Interior	<input type="checkbox"/>	Exterior	5.00	
APPLIANCES:		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-hot		Water Heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (# of):		Air Cond (Window)					3.00	
		Air Cond (Central)				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
	<u>4</u>	Signs					10.00	<u>40.00</u>
		Alarms/Resident					5.00	
		Alarms/Commer					15.00	
		Heavy Duty (CRKT)					2.00	
		Alterations					5.00	
		Fire Repairs					15.00	
	<u>4</u>	Emergency Lights					1.00	<u>4.00</u>
		Emer Generators					20.00	
		Circus/Carnival					25.00	
PANELS:	<input type="checkbox"/>	Service	<input type="checkbox"/>	Remote	<input type="checkbox"/>	Main	4.00	
TRANSFORMER:	<input type="checkbox"/>	0-25 Kva					5.00	
	<input type="checkbox"/>	25-200 Kva					8.00	
	<input type="checkbox"/>	Over 200 Kva					10.00	

MINIMUM COMMERCIAL FEE: \$55.00 MINIMUM RESIDENTIAL FEE: \$45.00

Brief Description of work: _____ TOTAL DUE: 130.00

Adding Men's Bathroom/lockroom to existing facility

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CONTRACTOR INFORMATION:

Contractor Name: Jim White Master License #: MS 600014946 Master License

Address: 2 Farwell Court Westbrook Me Limited License #: _____ Desires 1003

Telephone & E Mail: 938-3342 - Jwhite04@maine.rr.com

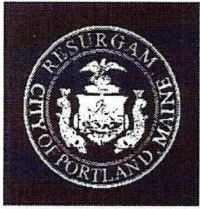
Contractor Signature: J White DBA White Homes

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CBL :



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14



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Tammy Munson
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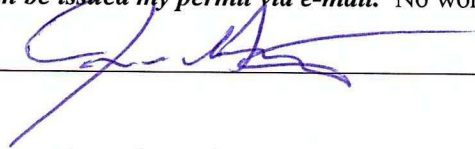
I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature:  Date: 7/29/2014

I have provided digital copies and sent them on: _____ Date: 7/29/2014

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



PLUMBING PERMIT APPLICATION

PROPERTY ADDRESS

Street: 512 Warren Ave

CBL:

PROPERTY OWNER(S) NAME

NAME: Jim Grattelo / William Latvis

Applicant Name: James Grattelo Jr

Mailing Address of Owner/Applicant (if Different) 512 Warren Ave

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.

James Grattelo Jr 7/24/2014
Signature of Owner/Applicant Date

Town/City PORTLAND Permit # _____

Date Permit Issued ____ / ____ / ____ Fee: \$ _____ Double Fee Charged []

L.P.I. # 360

Local Plumbing Inspector Signature _____

The Internal Plumbing Fixtures and Piping shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.

LPI Signature Date Approved (Final)

Date Approved (Rough-in)

PERMIT INFORMATION

This Application is for

1 NEW PLUMBING

2 RELOCATED PLUMBING

Type of Structure to be Served

1 SINGLE FAMILY RESIDENCE

2 MODULAR OR MOBILE HOME

3 MULTIPLE FAMILY DWELLING

4 OTHER-SPECIFY Business

Please call 874-8703 with your permit # to schedule inspections!

Plumbing to be Installed by:

NAME: TBD

1 MASTER PLUMBER

2 OIL BURNERMAN

3 MFG'D HOUSING DEALER / MECHANIC

4 PUBLIC UTILITY EMPLOYEE

5 PROPERTY OWNER

LICENSE # | | | | | | | | | |

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district.		Hosebib / Sillcock		Bathtub (and Shower)
	6	Floor Drain	6	Shower (separate)
		Urinal	9	Sink
	2	Drinking Fountain		Wash Basin
		Indirect Waste	1	Water Closet (Toilet)
	<input checked="" type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system		Water Treatment Softener, Filter, Etc.	
		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Other: _____	1	Water Heater
	8	Fixtures (Subtotal) Column 2	7	Fixtures (Subtotal) Column 1
OR		31	TOTAL FIXTURES	
<input type="checkbox"/> TRANSFER FEE [\$10.00]	Fees by fixture: First 4 fixtures = \$40 Over 4 = \$10/fixture + \$10 Surcharge		310	Fixture Fee
				Transfer Fee
			Hook-Up & Relocation Fee	

Please call 874-8703 with your permit # to schedule inspections! 310 PERMIT FEE (TOTAL)



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/20/14



PORTLAND MAINE

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Jeff Levine, AICP, Director
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Tammy Munson
Director, Inspections Division

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Applicant Signature: James Grattelo

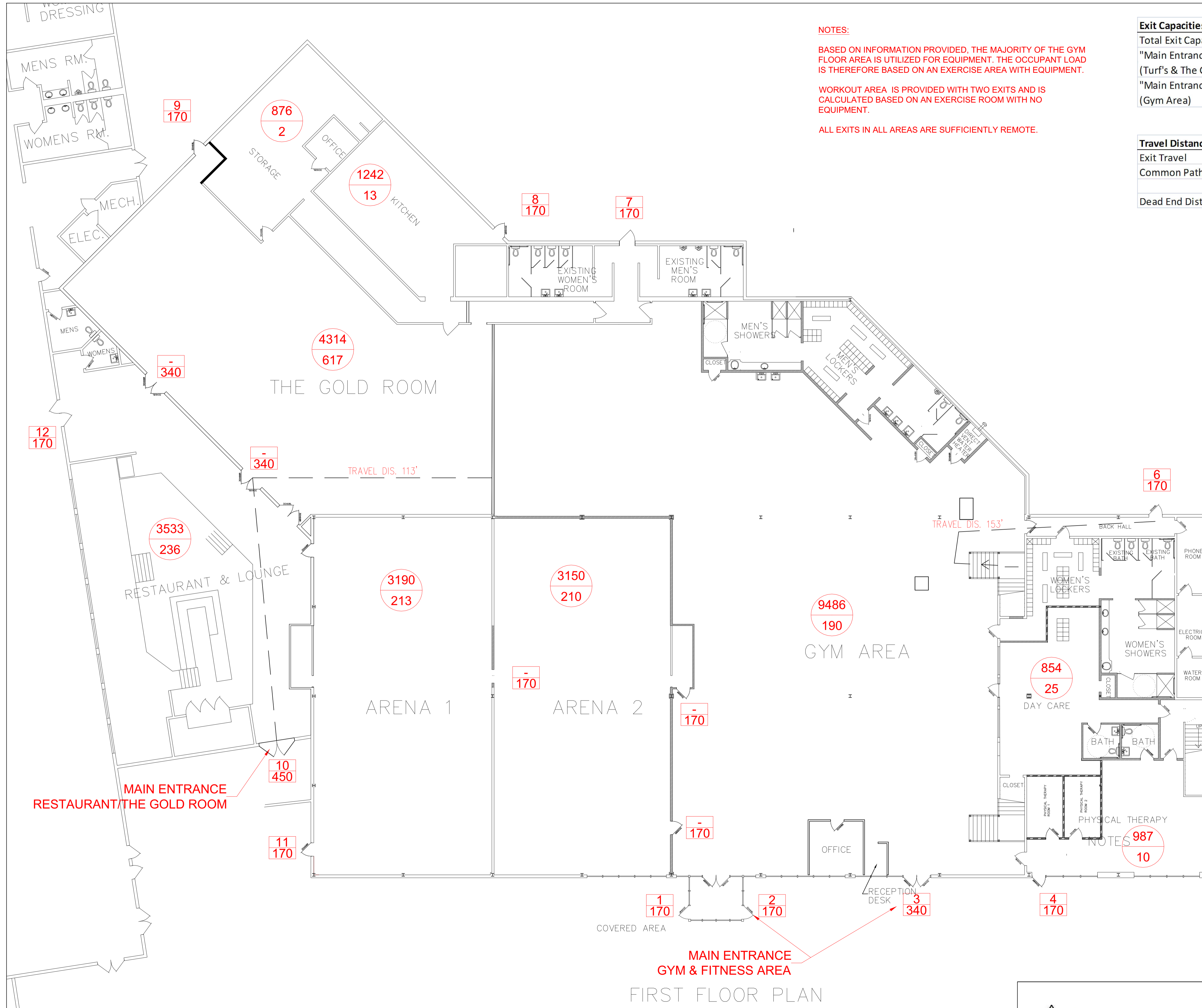
Date: 7/25/2014

I have provided digital copies and sent them on:

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Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



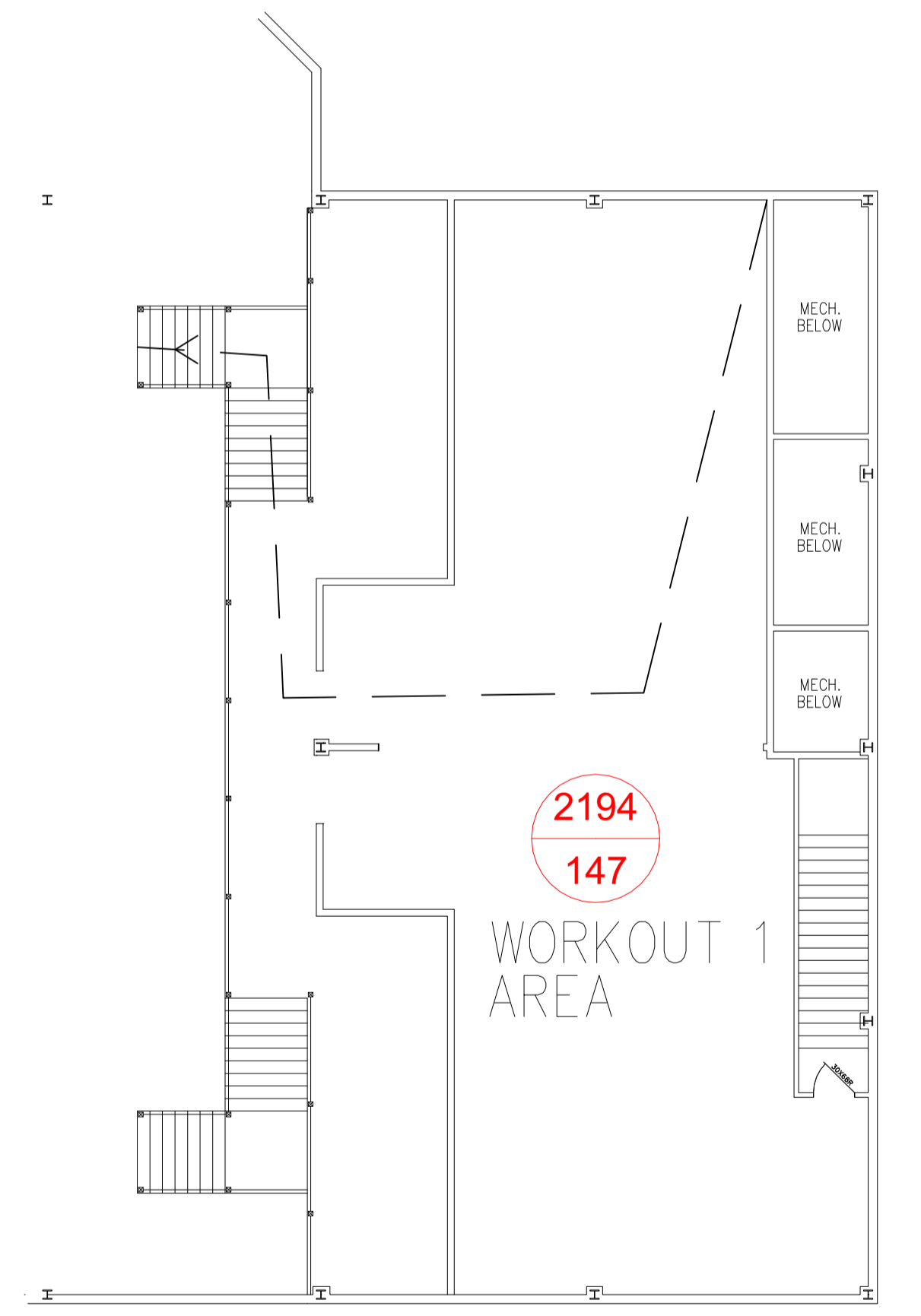
NOTES:
 BASED ON INFORMATION PROVIDED, THE MAJORITY OF THE GYM FLOOR AREA IS UTILIZED FOR EQUIPMENT. THE OCCUPANT LOAD IS THEREFORE BASED ON AN EXERCISE AREA WITH EQUIPMENT.
 WORKOUT AREA IS PROVIDED WITH TWO EXITS AND IS CALCULATED BASED ON AN EXERCISE ROOM WITH NO EQUIPMENT.
 ALL EXITS IN ALL AREAS ARE SUFFICIENTLY REMOTE.

Exit Capacities	Required	Provided
Total Exit Capacity	1664	2490
"Main Entrance" Exit Capacity (Turf's & The Gold Room)	428	450
"Main Entrance" Exit Capacity (Gym Area)	381	680

Travel Distances	Permitted (Max)	Actual (Max)
Exit Travel	250 ft	153 ft
Common Path of Travel	20 ft (Unlimited Occupants) / 75 ft ≤ 50 Occupants*	0
Dead End Distances	20 ft	0

1
234 EXIT#
EXIT-CAPACITY

1234
56 SQUARE-FOOTAGE
OCCUPANT-LOAD



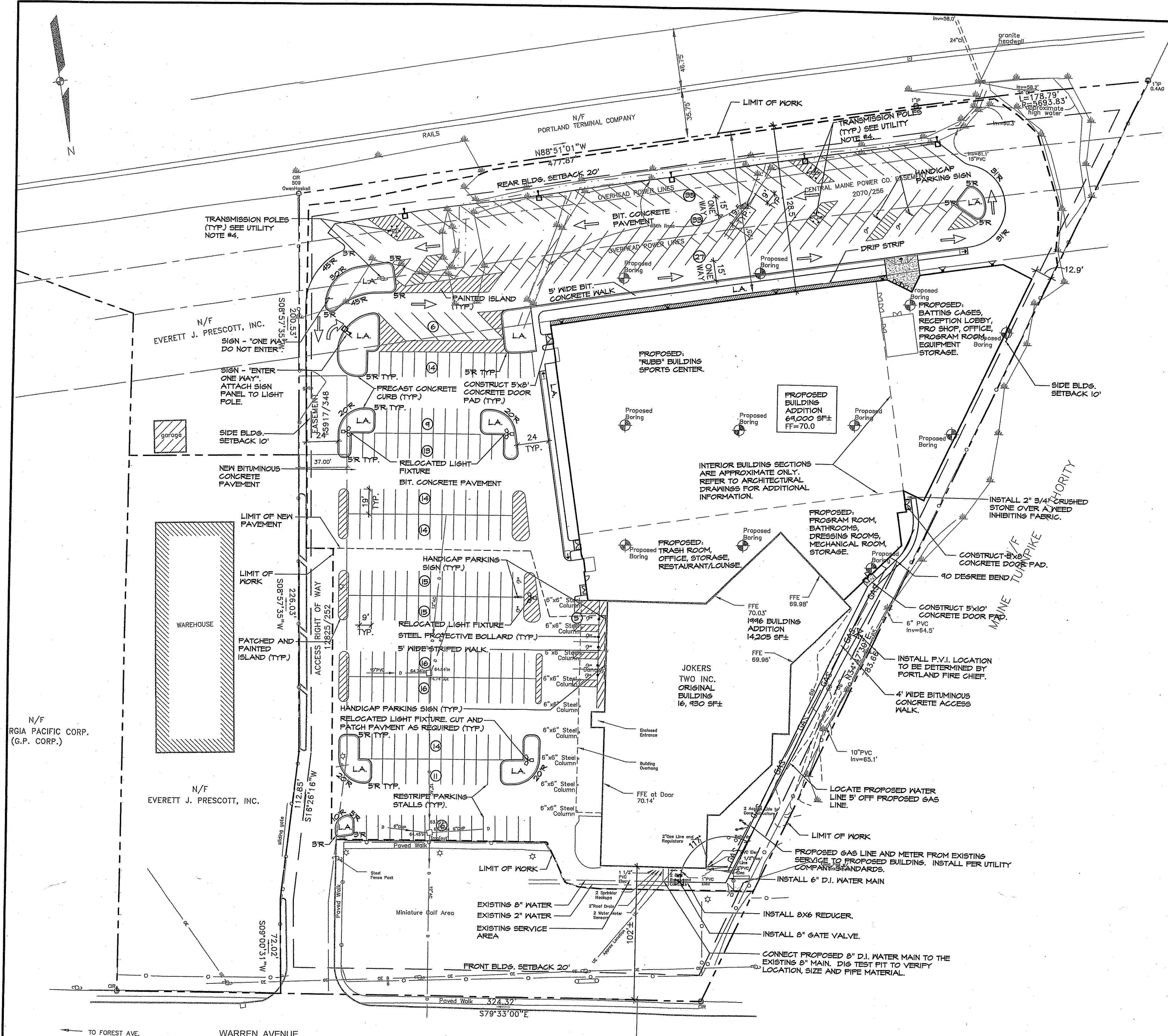
SECOND FLOOR PLAN

FIRST FLOOR PLAN

LS1 FIRST AND SECOND FLOOR LIFE SAFETY
 SCALE: 3/32"=1'-0"



PROJECT NAME:		FITNESS FACTORY MAINE PORTLAND SPORTS COMPLEX	
Revisions		PLAN TYPE: LIFE SAFETY PLAN	
512 WARREN AVENUE PORTLAND, ME		LS-1	
SHEET: 1 OF 1			
#	DATE	BY	APP.
		JSM	
	9/29		



- LAYOUT & MATERIALS NOTES:**
- ALL DIMENSIONS ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. STAKE LAYOUT PRIOR TO CONSTRUCTION FOR APPROVAL BY THE OWNER.
 - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION / DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED AT NO COST TO THE OWNER.
 - ALL DIRECTIONAL SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE MUTCD STANDARDS.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND GUIDELINES.
 - SIGNAGE FOR THE PROPOSED FACILITY SHALL MEET ALL CITY STANDARDS.
 - CITY OF PORTLAND STANDARD DETAILS SHALL BE USED FOR ALL WORK PERFORMED IN THE CITY RIGHT OF WAY.
 - THE PROPOSED STRUCTURE SHALL BE LAID OUT BY A LICENSED MAINE SURVEYOR WHO SHALL CERTIFY IN DOCUMENT TO THE OWNER'S REPRESENTATIVE THAT THE LAYOUT IS WITHIN THE PROPER ZONE SETBACKS.

- UTILITY & LIGHTING NOTES:**
- UTILITY CONNECTIONS (SEWER AND ELECTRIC) SHALL OCCUR FROM THE WITHIN THE EXISTING BUILDING.
 - REFER TO DRAWINGS C-102 FOR STORM DRAIN INFORMATION.
 - ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND UTILITY COMPANY STANDARDS.
 - TRANSMISSION LINE POLES LOCATED IN THE PARKING BAYS (B) SHALL BE PROTECTED BY THE PLACEMENT OF (6) CONCRETE FILLED STEEL BOLLARDS PLACED 3' AWAY FROM POLES AS REQUIRED BY CENTRAL MAINE POWER COMPANY AND AS SHOWN ON THE DRAWINGS.
 - PROPOSED LIGHT POLES AND FIXTURES TO MATCH EXISTING - CITATION SERIES LIGHT BY LSI LIGHTING SYSTEMS. PROPOSED NEW FIXTURES IN THE PARKING AREA SHALL BE 250 WATT, SUPER METAL HALIDE, TYPE III 250 WATT, METAL HALIDE MOUNTED AT APPROXIMATELY 22 FEET. WALL MOUNTED FIXTURES TO BE LIGHT POLE BASE, FIXTURE SCHEDULE AND OTHER REQUIRED ADDITIONAL INFORMATION.
 - CONTRACTOR SHALL PLACE 3/4" PVC, SCHEDULE 40 CONDUIT WITH FULL LINES BETWEEN ALL LIGHT POLES AND MECHANICAL ROOM.
 - SANITARY SEWER SERVICE TO PROPOSED EXPANSION SHALL BE CONNECTED TO EXISTING JOKERS TWO, SEWER INTERNALLY.
 - MINIMUM COVER OVER WATER LINE SHALL BE 5'-6".
 - GAS LINE SHALL BE INSTALLED PER UTILITY COMPANY STANDARDS.
 - THE OWNER SHALL SUBMIT AS-BUILT RECORD DRAWINGS TO THE CITY FOR ANY UTILITY SERVICE THAT IS UPGRADED OR REPLACED DURING CONSTRUCTION.

ZONING SUMMARY:
ZONE B-4 COMMERCIAL CORRIDOR

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
LOT SIZE	10,000	31,163 SF/1.617 ACRES
STREET FRONTAGE	60 FT. MIN.	324.32 FT.
LOT WIDTH	60 FT. MIN.	324.32 FT.
FRONT YARD (STRUCTURE)	20' MIN. (EXCEPT MAY NOT EXCEED THE AVE. DEPTH OF FRONT YARDS ON EITHER SIDE)	102± FT. MIN.
SIDE YARD (STRUCTURE)	10 FT. MIN. FOR 1-2 STORY BUILDINGS.	12.4 FT. MIN.
REAR YARD (STRUCTURE)	20 FT. MIN.	128.5 FT. MIN.
BUILDING HEIGHT	65 FT. MAX.	51' TO MEDIAN ROOF HEIGHT, 54' TO PEAK.
IMPERVIOUS SURFACE RATIO	80% Max.	75% (235,663/311,163 SF=75% SF)
FLOOR AREA RATIO	65% Max.	31% (98,235 SF/311,163 SF= 31%)

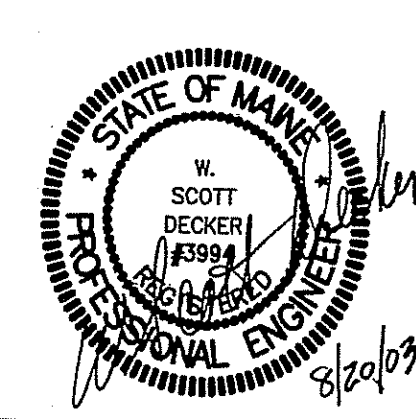
LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING	BUILDING	UTILITY POLE	UTILITY POLE
GAS VALVE	GAS VALVE	TEST BORING	TEST BORING
TEST BORING	TEST BORING	WETLAND	WETLAND
WETLAND	WETLAND	STREAM	STREAM
STREAM	STREAM	PROPERTY LINE	PROPERTY LINE
PROPERTY LINE	PROPERTY LINE	RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE	EASEMENT LINE	EASEMENT LINE
EASEMENT LINE	EASEMENT LINE	PROPERTY SETBACK	PROPERTY SETBACK
PROPERTY SETBACK	PROPERTY SETBACK	BIT. CONCRETE	BIT. CONCRETE
BIT. CONCRETE	BIT. CONCRETE	BITUMINOUS CURB	BITUMINOUS CURB
BITUMINOUS CURB	BITUMINOUS CURB	PRECAST CONCRETE CURB	PRECAST CONCRETE CURB
PRECAST CONCRETE CURB	PRECAST CONCRETE CURB	CONCRETE DOOR PAD	CONCRETE DOOR PAD
CONCRETE DOOR PAD	CONCRETE DOOR PAD	TREELINE	TREELINE
TREELINE	TREELINE	CONCRETE BOLLARD	CONCRETE BOLLARD
CONCRETE BOLLARD	CONCRETE BOLLARD	SIGN	SIGN
SIGN	SIGN	SWALE	SWALE
SWALE	SWALE		

NOTE: TOPOGRAPHIC SURVEY PERFORMED BY TITCOMB ASSOCIATES OF FALMOUTH, MAINE.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign CONSULTANTS. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign CONSULTANTS.

NO.	REV.	DATE	STATUS	BY	CHKD	APPD
3	8-19-03		REVISED FOR CITY OF PORTLAND SITE PLAN APPROVAL AND CONSTRUCTION	PBB	WSD	WSD
2	8-5-03		REVISED FOR CITY OF PORTLAND SITE PLAN APPROVAL AND CONSTRUCTION	PBB	WSD	WSD
1	7-18-03		ISSUED FOR CONSTRUCTION	PBB	WSD	WSD
C	7-15-03		REVISED AND RESUBMITTED FOR CITY OF PORTLAND SITE PLAN REVIEW	PBB	WSD	WSD
B	5-21-03		ISSUED FOR PRICING	PBB	WSD	WSD
A	4-2-03		CITY OF PORTLAND SITE PLAN REVIEW	PBB	WSD	WSD



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FIELD BOOK #	DESIGN: PBB	PROJECT:	PORTLAND SPORTS CENTER 512 WARREN AVENUE, PORTLAND, MAINE
FIELD BOOK PAGE	DRAWN: PBB		
FILE FOLD INDEX NUMBER	CHKD: WSD		
PROJECT DIR.	DATE: APRIL 2013	PROJ. NO.	03-213-00
DRAWING NAME	SCALE: 1" = 40'	DWG. NO.	2 OF 7
			C-101

