

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that **PORTLAND SPORTS REALTY**

Located At **512 WARREN AVE**

Job ID: **2012-06-4372-ALTCOMM**

CBL: **271- A-002-001**

has permission to Build 120' x 150' additon for an Athletic Practice Field
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

A handwritten signature in black ink, followed by the date "8.2.12" written in black ink.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-06-4372-ALTCOMM

Located At: 512 WARREN AVE

CBL: 271- A-002-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. This B-4 zone has maximum noise allowances. The City of Portland strictly enforces the level of sound generated on the property. Any verified noise violations shall require the owner to take mitigating measures to bring the property and the noise it generates into compliance. Separate permits are required for new HVAC units. DBAs must be submitted at the time of application.
4. All previous conditions are still in force with the issuance of this permit.

Building

1. Application approval based upon information provided by the applicant or design professional, including the floor plan dated received 7/24/12 and email details from Jim G. Any deviation from approved plans requires separate review and approval prior to work.
2. The permitted use of this building addition is Assembly (A-3) for an athletic practice field only, no spectator events or concerts.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

Fire

1. All construction shall comply with City Code Chapter 10.
2. Maximum occupant load for this space shall be 360. The occupant load shall be posted at the main entrance to the space. There shall be no spectator events in this space.
3. Private fire mains and fire hydrants should have been installed in accordance with Fire Department Regulations, NFPA 1:18 and NFPA 1:I. Due to a Fire Department oversight the fire hydrants will not be required until future site work is done. Plans must be submitted prior to installation for approval by the Fire Prevention Bureau.

4. Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations.
5. Fire extinguishers are required per NFPA 1.
6. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
7. Application requires State Fire Marshal approval.
8. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
9. A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation.
10. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
11. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
12. Fire alarm system requires a wireless master box connection per city ordinance. Master box design and installation shall be in conformance with Fire Department Regulations and approved by Fire Department Electrical Division.
13. Fire alarm occupant notification shall be by voice evacuation and visual notification appliances.
14. The sprinkler system shall be installed in accordance with NFPA 13.
15. A separate Suppression System Permit is required. This review does not include approval of sprinkler system design or installation.
16. Sprinkler supervision shall be provided in accordance with NFPA 101, Life Safety Code, and NFPA 72, National Fire Alarm and Signaling Code.
17. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
18. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
19. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
20. A Knox Box is required.
21. Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
22. All means of egress to remain accessible at all times.
23. Emergency lights and exit signs are required. The emergency lighting shown on the plans does not appear to meet the requirements of NFPA 101:7.9.2.1. An illumination study will be required.
24. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
25. Any cutting and welding done will require a Hot Work Permit from Fire Department.
26. The minimum construction type for this facility is II(000). The non-combustible construction of this structure requires all construction to be Non-combustible.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4372-ALTCOMM	Date Applied: 6/29/2012	CBL: 271- A-002-001	
Location of Construction: 512 WARREN AVE	Owner Name: PORTLAND SPORTS REALTY LLC	Owner Address: 510 WARREN AVE PORTLAND, ME 04103	Phone: 205-0705
Business Name: Portland Sports Center Training Facility	Contractor Name: James Gratello	Contractor Address: 550 Warren Avenue, Portland, ME 04103	Phone: 205-0705
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: B-4
Past Use: Restaurant with entertainment and recreational services	Proposed Use: Athletic Practice field Same: restaurant with entertainment and recreational services - permit for new building 120' x 150' addition to go on foundation permit #2012-06-4345	Cost of Work: 533500.000000	CEO District:
		Fire Dept: 8/1/12 Signature: <i>Bjanda</i> (58)	Inspection: Use Group: A-3 Type: 2B IB 2009 Signature: <i>JMB</i> 7/6/12
Proposed Project Description: new 18,000 sf addition athletic field - no spectators		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>ok w/ conditions</i> <i>7/6/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>S</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7-13-12 DWM Bill 252-1653 Footing Line A OK

8-13-12 DWM Larry 332-4512 under slab plumbing OK

11-2-12 DWM/BKL/capt Pirone Jim 205-0705 Final
Fire Soil DRC OK for Temp Bldg + Elec OK

1-20-13 DWM TCO Issued expires 6-1-13

Entered 208

2012 064372

66



General Building Permit Application

B-A

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Portland Sports Complex - 512 Warren Avenue</u>		
Total Square Footage of Proposed Structure/Area <u>18,000 S.F.</u>	Square Footage of Lot <u>311,963 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>271</u> Block# <u>A</u> Lot# <u>2</u>	Applicant * must be owner, Lessee or Buyer * Name <u>James Granello</u> Address <u>Portland Sports Realty LLC</u> <u>550 Warren Avenue</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>(207) 205-0705</u>
Lessee/DBA (if Applicant) <i>Portland Sport Center Training Facility</i> RECEIVED JUN 29 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>533,500</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>5,360.00</u>
Current legal use (i.e. single family) <u>Athletic training field</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Athletic training field (addition)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Proposed athletic training facility associated with the existing Portland Sports Center.</u>		
Contractor's name: <u>James Granello</u> Address: <u>550 Warren Avenue</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>(207) 205-0705</u> Who should we contact when the permit is ready: <u>James Granello (owner)</u> Telephone: _____ Mailing address: _____		

Foundation permit under 2012-06-4345

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/29/12

This is not a permit; you may not commence ANY work until the permit is issue

Jeanie Bourke - portland sports complex addition

From: Jim Grattelo <jgrattelo@gmail.com>
To: <jmb@portlandmaine.gov>
Date: 7/23/2012 1:36 PM
Subject: portland sports complex addition
CC: Ed Brake <ed@attarengineering.com>

Jeanie,

Ed Brake from Attar Engineering will be calling you to answer some of your questions you left on my voice mail Friday. Here is what I know.

The building is basically 4 walls and a ceiling and very basic.

There is no floor plan because it's all turf. It's a practice field with nets around the perimeter and wide open space.

There are no bathrooms since the main dome has plenty. The planning board made us agree we would only hold big events in the main dome and not in the practice facility.

The electrical is very basic: Just lights in the ceiling and a dozen outlets (similar to the existing dome). We plan to do an "as built" and submit when we get the electrical permit.

There is no A/C like the main dome and there is a letter on file from HVAC Services (in planning) verifying the existing heating unit will more than cover the new practice field.

The floor elevations are the same as the main dome and the building is connected to the existing one. All exits will walk out to the parking lot as in the main dome.

I have the fire safety plans submitted to the State Fire Marshall's office (I thought we included one) and will drop off tomorrow.

The connection from the main dome to the practice field will be two "arch ways" between both buildings.

If you have any other questions and would like to set up a meeting this week please call me @ 205-0705.

The foundation inspections have gone well with you inspector as well as the 3rd party and we hope to begin erecting beams next week.

Thank you again for all your help on this tight time line project.

Jim

RECEIVED
JUL 24 2012
Dept. of Building Inspections
City of Portland Maine

Jeanie Bourke - Re: portland sports complex addition

From: Jim Grattelo <jgrattelo@gmail.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 7/26/2012 12:41 PM
Subject: Re: portland sports complex addition

Jeanie,

Are we all set? I dropped off the plans to your office for the Doors and Fire Marshall Tuesday. The two openings between the domes are existing doors and loading doors. We are simply removing the doors and framing it out so it looks like an archway.

Thanks,
Jim

On Tue, Jul 24, 2012 at 9:18 AM, Jeanie Bourke <JMB@portlandmaine.gov> wrote:

Hi Ed and Jim,

Thanks for the clarifications Jim, this is helpful, receiving the life safety plan will also provide required details on exiting etc. As for the 2 arched openings connecting the dome with the new practice fields, are they existing openings and if not, please provide construction details for these.

Thanks,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

>>> "Ed Brake" <ed@attarengineering.com> 7/23/2012 4:22 PM >>>

Jeanie,

I wanted to follow-up on the voicemail I left you earlier today. It looks like Jim addressed some of your comments in his email. Please give me a call with any other questions. I look forward to discussing the project with you. Thanks!

Ed Brake, E.I.T.

Attar Engineering, Inc

1284 State Road

Eliot, ME 03903

Phone (207) 439-6023

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

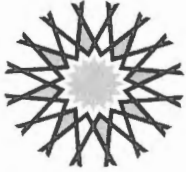
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Business Name: Portland Sports Center Training Facility	Contractor Name: JAMES GRATELLO	Contractor Address: 550 WARREN AVENUE, PORTLAND, ME 04103	Phone: (207) 205-0705
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADD	Zone: B-4
Past Use: Restaurant with entertainment and recreational services	Proposed Use: Same: restaurant with entertainment and recreational services - FOUNDATION ONLY for 120' x 150' addition to the sports center	Cost of Work: \$59,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type:
Proposed Project Description: foundation only for the Athletic Training sports		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



ATTAR

ENGINEERING, INC

CIVIL • STRUCTURAL • MARINE

Ms. Tammy Munson, Division Director
Ms. Jeanie Bourke, Code Enforcement Officer
Inspection Services Division
389 Congress Street 4th Floor
Portland, ME 04101

June 28, 2012
Project No.: C089-12

**Re: Portland Sports Center Addition
Building Permit Application (Foundation)
550 Warren Avenue**

*This application is for B-4
The rest of The Bldg*

Dear Ms. Munson:

Please find enclosed the Building Permit Application for the construction of the Portland Sports Center Training Facility addition located at 550 Warren Avenue. Included with the Building Permit Application are the Geotechnical Report, the final approved Site Plan Set, the Foundation Plans, the Building Plans, and a digital copy of the Level III Site Plan Application Materials. The Level III Site Plan application for this project was approved at the May 22, 2012 Planning Board meeting. The Final Plan Set addresses the waivers and conditions of approval from that meeting as described in the May 23, 2012 letter from Carol Morrisette.

Portland Sports Realty, LLC has proposed adding a new, 18,000 S.F. indoor sports facility to the existing 50,844 S.F. Portland Sports Center dome. The project site (Tax Assessor's Map 271, Block A, Lot 2) is located in the B-4: Commercial Corridor Zone and is approximately 7.16 acres in area.

Please contact me for any additional information or clarifications required.

Sincerely,

Edward Brake

Edward Brake, EIT.

cc: Portland Sports Realty, LLC

*Orig to City
w/ Full Size Set 1-4
+ A1
1 COPY Jim
0 copy for File.
+ CD
- Check from Jim \$5,360*



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: The Dome Group, Check Number: 8227
Tender Amount: 5360.00

Receipt Header:

Cashier Id: gguertin
Receipt Date: 6/29/2012
Receipt Number: 45525

Receipt Details:

Referance ID:	7101	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	5355.00	Charge Amount:	5355.00
Job ID: Job ID: 2012-06-4372-ALTCOMM - new 18,000 sf addition athletic field			
Additional Comments: 512 Warren Ave, James Grattello			

Referance ID:	443	Fee Type:	MISC-Over Payment
Receipt Number:	0	Payment Date:	
Transaction Amount:	5.00	Charge Amount:	5.00
Job ID: Miscellaneous charges			

Additional Comments:

Thank You for your Payment!



Certificate of Design Application

From Designer: Corle Building Systems
 Date: 6/21/12
 Job Name: Portland Sports Center
 Address of Construction: 512 Warren Avenue

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) III (A-3)
 Type of Construction Metal Building 2B w/ sprinkler Increase

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) Y

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
"see attached"	
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

 Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
III, 1.15 Building category and wind importance Factor, w
 table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)
+ 19.57 Component and cladding pressures (1609.1.1, 1609.6.2.2)
19.57 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

 Design option utilized (1614.1)
C Seismic use group ("Category")
0.4855/ 0.1867 Spectral response coefficients, S_D & S_{D1} (1615.1)
E Site class (1615.1.5)

 Live load reduction
20 PSF Roof live loads (1603.1.2, 1607.11)
46.2 Roof snow loads (1603.7.3, 1608)
60 PSF Ground snow load, P_g (1608.2)
46.2 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.00 If $P_g > 10$ psf, snow exposure factor, C_e
1.10 If $P_g > 10$ psf, snow load importance factor, I_s
1.00 Roof thermal factor, C_t (1608.4)
 -- Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
steel system Basic seismic force resisting system (1617.6.2)
3.00 Response modification coefficient, R , and
 deflection amplification factor C_d (1617.6.2)
 equivalent lateral force analysis procedure (1616.6, 1617.5)
L=78.49 kips/ T=67.63 kips Design base shear (1617.4, 16175.5.1)

Flood loads (1803.1.6, 1612)

n/a Flood Hazard area (1612.3)
n/a Elevation of structure

Other loads

 Concentrated loads (1607.4)

 Partition loads (1607.5)

 Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separations
- Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IECC 2003
- Complete the Accessibility Certificate and The Certificate of Design
- n/a A statement of special inspections as required per the IBC 2003
- n/a Complete electrical and plumbing layout.
- n/a Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- n/a Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of $\geq 1" = 20'$ on paper $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- n/a Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



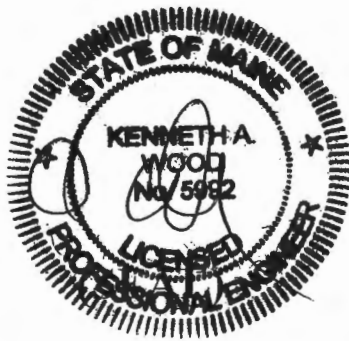
Accessibility Building Code Certificate

Designer: "See Attached" ATTAR ENGINEERING, INC.

Address of Project: 550 WARREN AVE.

Nature of Project: 18,000 S.F. ADDITION FIRE TRAINING FACILITY FOR PORTLAND SPORTS CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Kenneth A. Wood*

Title: PRESIDENT

Firm: ATTAR ENGINEERING, INC

Address: 128 1/2 STATE RD
ELIOT, ME 05903

Phone: (207) 439-6023

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



114 Rosemont Lane Imler, PA 16655

17096 Certificate of Design.ME.doc

Revised 8/17/2009

Certificate of Design

This Certificate is to confirm that all components of the Steel Building System described below, to be supplied by Corle Building Systems, produced at its Facility at Imler, PA, have been or will be designed in accordance with the following standards, loads, and design criteria as specified in the order documents.

Project/Building Description

CBS Factory Order Number:	FO-17096	Building Geometry:	
Purchaser/Customer Information:	Seacoast Crane & Building Co., Inc. P.O. Box 540 Kittery, ME 03904	<i>Width:</i>	120'-0"
Project Name and Location:	Portland Sports Realty, LLC 512 Warren Avenue Portland, ME 04101	<i>Length:</i>	150'-0"
		<i>Eave Height:</i>	34'-0"
		<i>Roof Slope:</i>	1.00/12

Design Standards

AISC: *Specification for Structural Steel for Buildings, Allowable Stress Design/9th Ed.*
 AISI: *North American Specification for the Design of Cold-Formed Steel Structural Members, 2001 Ed.*
 AWS D1.1/D1.1M: *Structural Welding Code – Steel, 2006 Ed.*
 MBMA: *Metal Building Systems Manual, 2006 Edition*

Design Load Criteria

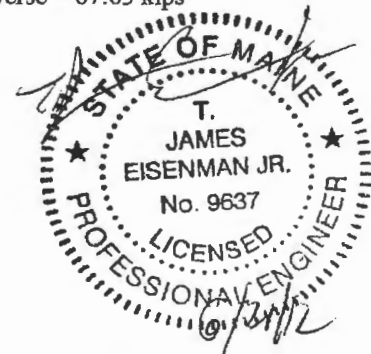
Building Code:	International Building Code, 2009		
Dead Load:	4.06 psf plus primary framing actual weight		
Collateral Load:	5 psf		
Roof Live Load:	20 psf		
Frame Live Load:	20 psf		
Snow Load Criteria:	<i>Ground Snow Load, p_g:</i> 60 psf <i>Snow Exposure Factor, C_e:</i> 1.00 <i>Snow Importance Factor, I_s:</i> 1.10	<i>Thermal Factor, C_t:</i> 1.00 <i>Flat Roof Snow Load, p_f:</i> 46.2 psf	
Wind Load Criteria:	<i>Basic Wind Speed:</i> 100 mph <i>Terrain Exposure:</i> B <i>Wind Importance Factor, I_w:</i> 1.15	<i>Occupancy Category:</i> III <i>Internal Pressure Coefficients:</i> +0.18/-0.18 <i>Components and Cladding not by CBS:</i> +19.57 psf -26.04 psf	
Seismic Criteria:	<i>Design Category:</i> C <i>Site Class:</i> E <i>Seismic Importance Factor, I_e:</i> 1.25 <i>Occupancy Category:</i> III <i>Analysis Procedure:</i> Equivalent Lateral Force Procedure <i>Basic Seismic Force Resisting Systems:</i> Steel Systems Not Specifically Detailed For Seismic Resistance	<i>S_s:</i> 0.320 <i>S₁:</i> 0.080 <i>S_{ds}:</i> 0.486 <i>S_{d1}:</i> 0.187	
	<i>Response Modification Factors, R:</i> Frame = 3.00 FSW = 3.00 BSW = 3.00 <i>Seismic Response Coefficients, C_s:</i> Frame = 0.165 FSW = 0.202 BSW = 0.202 <i>Seismic Base Shear, V:</i> Longitudinal = 78.49 kips Transverse = 67.63 kips		
Mezzanine Loads:	<i>Dead Load:</i> N/A <i>Collateral Load:</i> N/A <i>Live Load:</i> N/A	Additional Loads: N/A	

Certification by Engineer

I, T. James Eisenman, Jr., P.E., a licensed engineer in the State of Maine, certify that I have reviewed the design criteria for the steel building system described above and to the best of my knowledge all components have been designed to meet the applicable criteria as specified in the Order Documents.

Signature

6/26/12
Date



SEAL



TIOGA DOORS PRE-ASSEMBLED COMMERCIAL DOORS

**WIND RATED /
FLORIDA APPROVED**

Standard Features:

- **Door Leaf** 20 gauge insulated door, galvanized, heavy duty hinge reinforcements, non-handed (reversible)
- **Frame** 16 gauge, galvanized, heavy duty hinge reinforcement, non-handed (reversible), standard profile
- **Sub Frame** 16 gauge, galvanized, paintable
- **Hardware** Extra heavy duty lever lock (LC2481 CTL 26D), latchguard, 4.5" x 4.5" BB NRP hinges 26D, threshold ADA compliant, door bottom sweep, adjustable weather seal, adjustable "L" mounting clips
- **SDI Standards** TELL MFG follows the same set of performance specifications as other door manufacturers, as set forth in the Steel Door Institute (SDI) requirements.

Common Features:

- Complete preassembly in factory
- White or Bronze finish
- Heavy duty crating, per job

Optional Features:

- Door(s) may be upgraded to 18 gauge.
- All hardware sold by Tell Manufacturing, Inc. can be added or substituted as an option.
- Masonry system available
- Fire rated system available

TELL MANUFACTURING, INC — Page 23 — 2012

CORPORATE OFFICE: 18 Richard Drive, Litz, PA 17543 TOLL FREE: 800-433-4047 PHONE: 717-625-2990 FAX: 717-625-7095

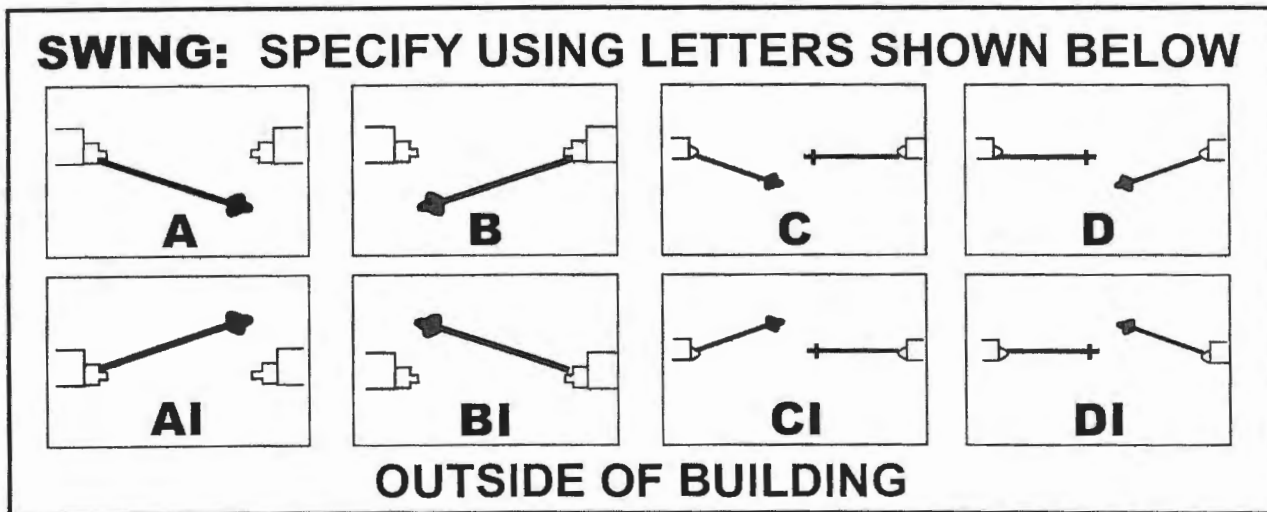
OTHER LOCATIONS: HOUSTON, TEXAS ELKHART, INDIANA MIRA LOMA, CALIFORNIA

WEBSITE: www.tellmfg.com



TIOGA METAL BUILDING HANDING CHART

Handing of doors and frames present a problem for many, even within the door industry. The below chart is designed to make your choice easy, reducing the chances of error.



At TELL MANUFACTURING, INC., our goal is to reduce problems that often arise for the builders / erectors. The TIOGA preassembled door system is a result of this effort. With complete factory assembly of all components — door, frame, sub frame and hardware — problems found during field installation are held to a minimum. Typical field installation is usually completed in under 30 minutes. Time normally added for the field installation of numerous options are now a thing in the past. We invite you to "experience the difference" of how the TIOGA door system can benefit your company.

TELL MANUFACTURING, INC — Page 24 — 2012

CORPORATE OFFICE: 18 Richard Drive, Lititz, PA 17543 TOLL FREE: 800-433-4047 PHONE: 717-625-2990 FAX: 717-625-7095
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INSULATION SPECS FOR TIOGA DOORS, PAGE 1 OF 2

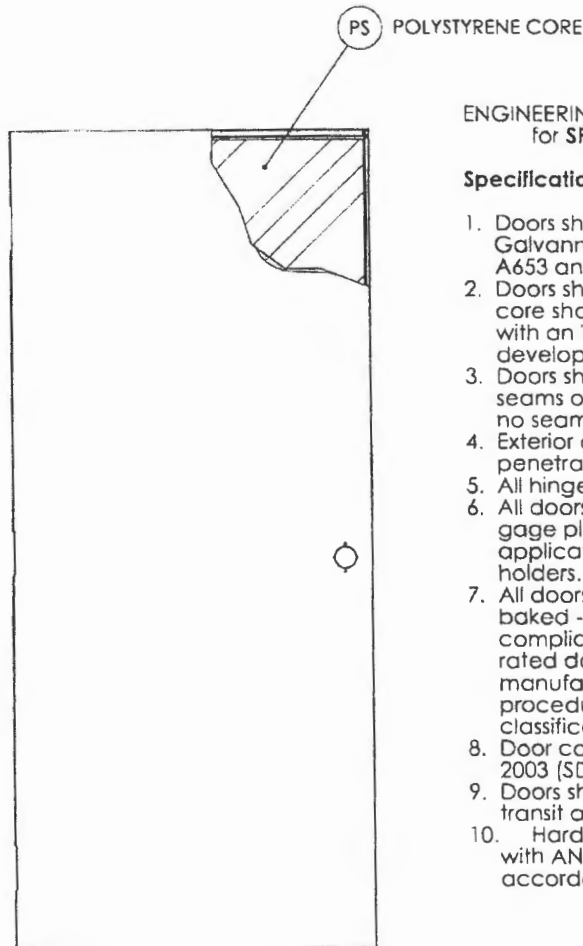
Technical Data Series

Rev. 0 - May 27, 2010



Doors & Frames
+ Hollow Metal
+ Doors

1.1



ENGINEERING DETAILS for SPARTAN, TELSTAR, TIOGA Series Doors

Specifications:

1. Doors shall be formed from two 20 or 18 gage Galvannealed Steel per ASTM A924 and A653 and shall be 1-3/4" thick.
2. Doors shall have a core of rigid Polystyrene. The core shall have a nominal density of 1.0 #/ft³ with an "R" factor of 7.12. The door panel shall develop a "U" factor of 0.14.
3. Doors shall have vertical mechanical interlocking seams on hinge and lock edges. There shall be no seam on the faces of door.
4. Exterior doors shall be capped to retard moisture penetrating the door.
5. All hinge reinforcements shall be 3/16" thick.
6. All doors shall be internally reinforced with a 12 gage plate both sides of the door for application of surface applied door closures and holders.
7. All doors shall be cleaned and given one coat of baked -on rust- inhibitive metal primer in compliance with ANSI A250.10-2004 12. All fire rated doors, where indicated, shall be manufactured in accordance with UL procedures and bear the appropriate classification mark (label).
8. Door construction complies with ANSI A250.8-2003 (SDI 100)
9. Doors shall be packaged to minimize damage in transit and handling.
10. Hardware reinforcements are in accordance with ANSI A250.6-2003. Locations are in accordance with ANSI/BHMA A156.115

TELL MANUFACTURING, INC — Page 25 — 2012

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OTHER LOCATIONS: HOUSTON, TEXAS ELKHART, INDIANA MIRA LOMA, CALIFORNIA
WEBSITE: www.tellmfg.com



INSULATION SPECS FOR TIOGA DOORS, PAGE 2 OF 2

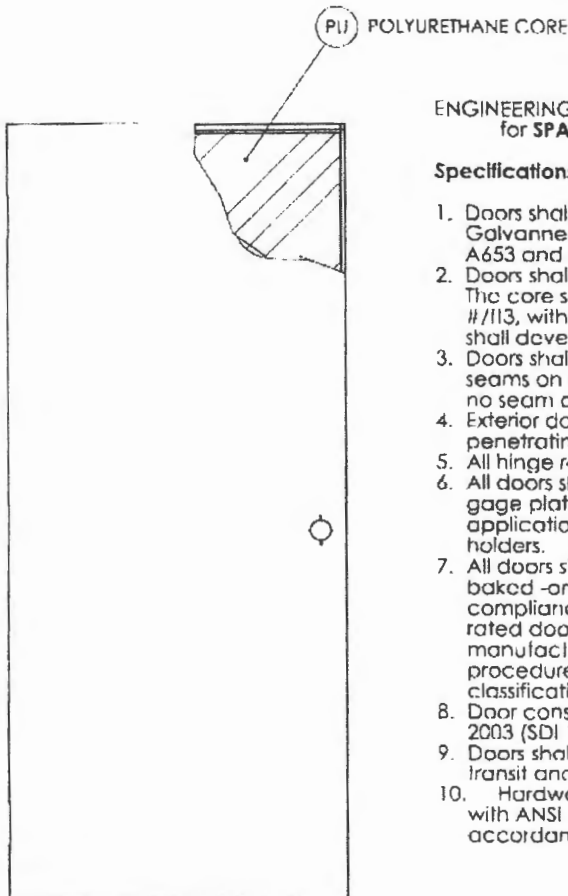
Technical Data Series

Rcv. 0 - May 27, 2010



Doors & Frames
+ Hollow Metal
+ Doors

1.1



ENGINEERING DETAILS for SPARTAN, TELSTAR & TIOGA Series Doors

Specifications:

1. Doors shall be formed from two 20 or 18 gage Galvanized Steel per ASTM A924 and A653 and shall be 1-3/4" thick.
2. Doors shall have a core of rigid Polyurethane. The core shall have a nominal density of 2.0 #/113, with an "R" factor of 11.01. The door panel shall develop a "U" factor of 0.091.
3. Doors shall have vertical mechanical interlocking seams on hinge and lock edges. There shall be no seam on the faces of door.
4. Exterior doors shall be capped to retard moisture penetrating the door.
5. All hinge reinforcements shall be 3/16" thick.
6. All doors shall be internally reinforced with a 12 gage plate both sides of the door for application of surface applied door closures and holders.
7. All doors shall be cleaned and given one coat of baked -on rust-inhibitive metal primer in compliance with ANSI A250.10-2004 12. All fire rated doors, where indicated, shall be manufactured in accordance with UL procedures and bear the appropriate classification mark (label).
8. Door construction complies with ANSI A250.8-2003 (SDI 100)
9. Doors shall be packaged to minimize damage in transit and handling.
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TELL MANUFACTURING, INC — Page 26 — 2012

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OTHER LOCATIONS: HOUSTON, TEXAS ELKHART, INDIANA MIRA LOMA, CALIFORNIA

WEBSITE: www.tellmfg.com

TIOGA PRE-ASSEMBLED DOOR HOW TO ORDER CHART

DOOR SWING**

- DI** - RIGHT HAND ACTIVE
- D** - RIGHT HAND REVERSE ACTIVE
- CI** - LEFT HAND ACTIVE
- C** - LEFT HAND REVERSE ACTIVE
- BI** - RIGHT HAND
- B** - RIGHT HAND REVERSE
- AI** - LEFT HAND
- A** - LEFT HAND REVERSE

WINDOW KIT OPTIONS

- 10X10 INS** - 10 INCHES X 10 INCHES INSULATED GLASS
- 10X10 TEMP** - 10 INCHES X 10 INCHES TEMPERED GLASS
- 24X30 INS** - 24 INCHES X 30 INCHES INSULATED GLASS
- 24X30 TEMP** - 24 INCHES X 30 INCHES TEMPERED GLASS
- 16X16 INS** - 16 INCHES X 16 INCHES INSULATED GLASS
- 16X16 TEMP** - 16 INCHES X 16 INCHES TEMPERED GLASS
- 6X30 INS** - 6 INCHES X 30 INCHES INSULATED GLASS
- 6X30 TEMP** - 6 INCHES X 30 INCHES TEMPERED GLASS

SPECIAL CONDITIONS PLEASE INDICATE ON ORDER / EXAMPLES LISTED

- KEYING** - SPECIAL KEYING SITUATIONS
- CURB** - CALL-OUT CURB WALL
- CLIP** - EXTRA CLIPS
- GIRT***** - EXTENDED GIRT HEIGHT***
- EOA** - EXISTING OPENING ANCHORS

SIZE*

- 6070** - 60 = 6 FEET, 0 INCHES WIDE
70 = 7 FEET, 0 INCHES TALL
- 4070** - 40 = 4 FEET, 0 INCHES WIDE
70 = 7 FEET, 0 INCHES TALL
- 3070** - 30 = 3 FEET, 0 INCHES WIDE
70 = 7 FEET, 0 INCHES TALL

DOOR SERIES

- STD** - STANDARD TIOGA PRE-ASSEMBLED DOOR

DOOR TYPE

- MA** - MASONRY
- FR** - FIRE RATED

GAUGE*

- 20A** - 20 GAUGE SKIN (STANDARD)
- 20X** - 20 GAUGE TEXTURED SKIN (OPTIONAL)
- 18A** - 18 GAUGE SKIN (OPTIONAL)

HARDWARE OPTIONS

- LC1200** - GRADE 1 LEVER
- ML1300** - MORTISE LEVER
- EXT** - PANIC LEVER
- LC2481** - GRADE 2 CYLINDRICAL LEVER (STANDARD)
- DB** - GRADE 2 DEADBOLT
- CLOSER** - GRADE 1 CLOSER
- LATCH** - LATCH GUARD

HINGES

- BBNRP** - BALL BEARING, NON-REMOVABLE PIN HINGE (STANDARD)

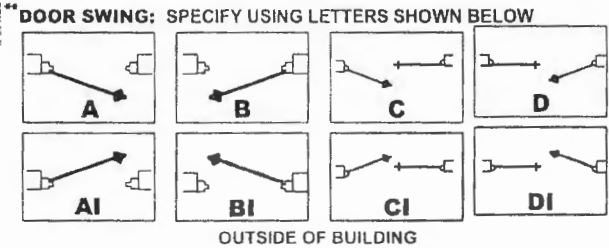
PAINT OPTIONS

- WA** - TIOGA WHITE
- BZ** - TIOGA BRONZE

EXAMPLE ORDER: **STD MA 3070 20A A LC1200 6X30 TEMP BBNRP EOA WH**

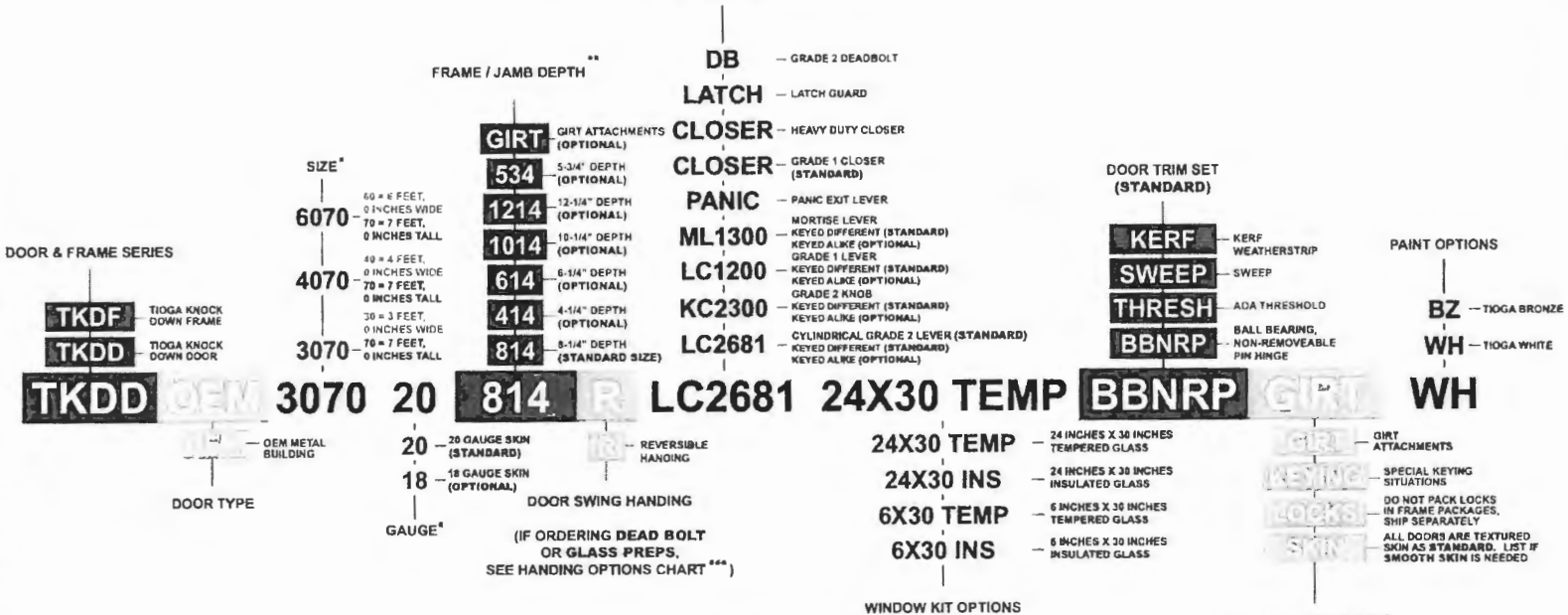
***SIZE AND GAUGE NOTES:**
FIRE RATED DOORS - STANDARD
 — 1.5 HOURS ON 20 GAUGE DOORS
 — 3 HOURS ON 18 GAUGE DOORS
TEXTURED DOORS AVAILABLE ONLY IN 20 GAUGE AND 3070 AND 6070 SIZES. NOT AVAILABLE IN FIRE-RATED.
FIRE-RATED AND 18 GAUGE DOORS NEED HEAVY-DUTY CLOSER TO MEET REQUIREMENTS.
 SAME APPLIES TO 4070 DOORS

**** GIRT (SUBJAMB) WIDTH OPTIONS**
 4-3/4" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME
 6-1/2" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME
 7" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME
8" - IN STOCK SIZE
8-1/2" - IN STOCK SIZE
 9-1/2" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME
 10" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME
 12" - SPECIAL ORDER, 2-5 WEEKS LEAD TIME

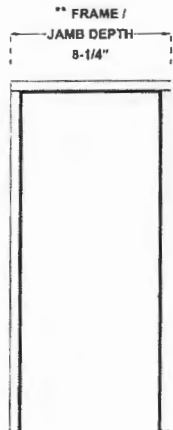


TELL MANUFACTURING, INC — Page 27 — 2012
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 OTHER LOCATIONS: HOUSTON, TEXAS ELKHART, INDIANA MIRA LOMA, CALIFORNIA
 WEBSITE: www.tellmfg.com

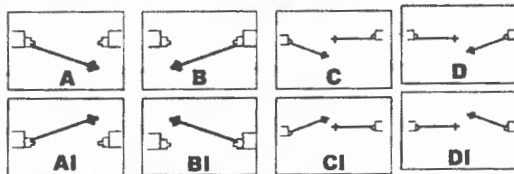
HARDWARE OPTIONS
 (LOCKS ARE PACKED IN THE FRAME CARTON AS STANDARD. IF PREFERRED TO SHIP SEPARATELY, PLEASE LIST - SEE SPECIAL CONDITIONS)



***SIZE AND GAUGE NOTES:**
 TEXTURED DOORS AVAILABLE ONLY IN 20 GAUGE AND 3070 AND 6070 SIZES. NOT AVAILABLE IN FIRE-RATED
 SMOOTH DOORS ARE AVAILABLE UPON REQUEST. NOT AVAILABLE IN FIRE-RATED



***** HANDING CHART DOOR SWING OPTIONS:**
 SPECIFY USING LETTERS SHOWN BELOW



OUTSIDE OF BUILDING

TELL MANUFACTURING, INC — Page 28 — 2012
 CORPORATE OFFICE: 18 Richard Drive, Litz, PA 17543 TOLL FREE: 800-433-4047 PHONE: 717-625-2890 FAX: 717-625-7095
 OTHER LOCATIONS: HOUSTON, TEXAS ELKHART, INDIANA MIRA LOMA, CALIFORNIA
 WEBSITE: www.tellmfg.com



COMcheck Software Version 3.9.0 Envelope Compliance Certificate

2009 IECC

Section 1: Project Information

Project Type: **New Construction**
Project Title : Portland Sports Complex

Construction Site:
512 Warren Ave
Portland, ME 04103

Owner/Agent:
Jim Grattelo
Portland Sports Complex
512 Warren Ave
Portland, ME 04103

Designer/Contractor:
William Belanger
Seacoast Crane & Building Co., Inc
98 Route 236
P.O. Box 540
Kittery, ME 03904
207-439-5899

Section 2: General Information

Building Location (for weather data): **Portland, Maine**
Climate Zone: **6a**
Building Type for Envelope Requirements: **Non-Residential**

Activity Type(s) **Floor Area**
Sports Arena 18000

Section 3: Requirements Checklist

Envelope PASSES: Design 8% better than code.

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ^(a)
Roof 1: Metal Building, Standing Seam	18350	25.0	13.0	0.032	0.049
Exterior Wall 1: Metal Building Wall	13970	19.0	0.0	0.070	0.069
Entry Doors: Insulated Metal, Swinging	126	—	—	0.140	0.700
Overhead Doors: Insulated Metal, Swinging	196	—	—	0.070	0.700
Floor 1: Slab-On-Grade:Unheated, Vertical 1 ft.	420	—	5.0	—	—

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- 2. Windows, doors, and skylights certified as meeting leakage requirements.
- 3. Component R-values & U-factors labeled as certified.
- 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- 5. 'Other' components have supporting documentation for proposed U-Factors.
- 6. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- 7. Stair, elevator shaft vents, and other outdoor air intake and exhaust openings in the building envelope are equipped with motorized dampers.
- 8. Cargo doors and loading dock doors are weather sealed.
- 9. Recessed lighting fixtures installed in the building envelope are Type IC rated as meeting ASTM E283, are sealed with gasket or caulk.

10. Building entrance doors have a vestibule equipped with self-closing devices.

Exceptions:

- Building entrances with revolving doors.
- Doors not intended to be used as a building entrance.
- Doors that open directly from a space less than 3000 sq. ft. in area.
- Doors used primarily to facilitate vehicular movement or materials handling and adjacent personnel doors.
- Doors opening directly from a sleeping/dwelling unit.

Section 4: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2009 IECC requirements in COMcheck Version 3.9.0 and to comply with the mandatory requirements in the Requirements Checklist.

William J. Belanger III - Project Manager

Name - Title


Signature

July 3rd, 2012

Date



July 3, 2012

Mr. Bill Belanger III
Seacoast Crane and Building Co.
PO Box 540
Kittery, ME 03904

RE: Project Name - Portland Sports, 512 Warren Avenue, Portland, ME 04103

Thank you for incorporating Thermal Design's liner system in your metal building roof envelope design. Thermal Design has completed numerous hot box tests and uses recognized modeling methods on our insulation liner systems for metal building roof assemblies in order to document installed performance. Although we have not tested the specific combination of a pre-installed R38 liner system, we believe the following should be more than acceptable and should be used to determine compliance.

Performance Reference: ANSI/ASHRAE/IESNA Standard 90.1-2010, *Energy Standard for Building Except Low-Rise Residential Buildings*

Table: A2.3 Assembly U-factors for Metal Building Roofs

Assembly: The R25+R11 (36) Liner System shows an estimated performance of an installed R-32.3 (U-factor: U-0.031) in a standing seam roof with thermal spacer blocks.

Increasing the insulation to a pre-installed R-38 is conservatively expected to yield an installed R-value of R-33.3 (U-0.030). It is important to following manufacturers installation instructions to represent typical installation and expected performance.

If there are any questions or clarifications required, please don't hesitate to contact Thermal Design and thank you for implementing Thermal Design's liner systems in your design.

100 Business Park Circle, Suite 201, PO Box 324, Stoughton, WI 53589
601 North Main Street, PO Box 468, Madison, NE 68748
www.thermaldesign.com

Belanger_20120703.bgr

Project: Building Addition – Portland Sports Complex
Date Prepared: May 4th, 2012

Structural Statement of Special Inspections

Project: *Building Addition – Portland Sports Complex*

Location: *512 Warren Avenue, Portland, Maine*

Owner: *Portland Sports Complex – Jim Gratello*

This *Statement of Special Inspections* encompass the following discipline: **Structural – Metal Building**

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all Structural inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

(Jim Eisenman - Structural Registered Design Professional in Responsible Charge)

Signature

Date

Design Professional Seal

Owner's Authorization:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Project: Building Addition – Portland Sports Complex
Date Prepared: May 4th, 2012

Structural Statement of Special Inspections (Continued)

List of Agents

Project: *Building Addition – Portland Sports Complex*

Location: *512 Warren Avenue, Portland, Maine*

Owner: *Portland Sports Complex – Jim Gratello*

This *Statement of Special Inspections* encompass the following discipline: **Structural – Metal Building**

(Note: *Statement of Special Inspections for other disciplines may be included under a separate cover*)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete System
- Masonry Systems
- Structural Steel
- Wood Construction
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. STRUCTURAL Special Inspections Coordinator (SSIC)		
2. Special Inspector (SI 1)	<i>Ted Greenlaw, P.E.</i>	<i>183 Columbia Road Hanover, MA 02339 (781)- 826-8369</i>
3.		
4.		
5.		
6.		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Building Addition – Portland Sports Complex
Date Prepared: May 4th, 2012

Structural Statement of Special Inspections (Continued)

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agents' Final Reports must be received prior to issuance.]

Project: *Building Addition – Portland Sports Complex*

Location: *512 Warren Avenue, Portland, Maine*

Owner: *Portland Sports Complex – Jim Gratello*

Owner's Address: *512 Warren Avenue, Portland, Maine*

Architect of Record: *N/A*

Structural Registered Design Professional in Responsible Charge: Jim Eisenman

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

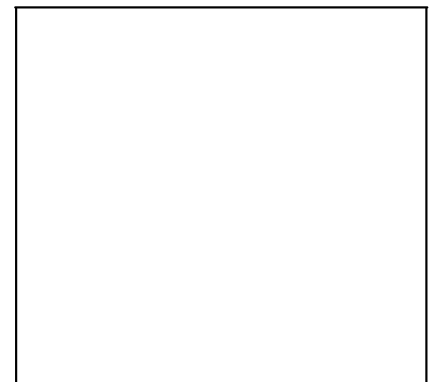
Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date



Licensed Professional Seal

Project: Building Addition – Portland Sports Complex
Date Prepared: May 4th, 2012

Structural Statement of Special Inspections (Continued)

Special Inspector's/Agent's Final Report

Project: *Building Addition – Portland Sports Complex*

Special Inspector or Agent:

Designation:

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

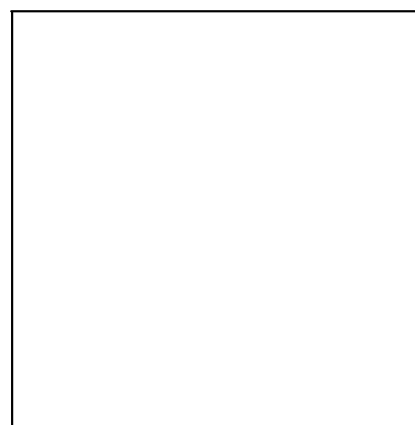
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



***Licensed Professional Seal or
Certification Number***

Structural Schedule of Special Inspections

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
-----	---

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Structural Schedule of Special Inspections - STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT : CONTINUOUS,	COMMENTS	AGENT	AGENT QUALIFICATION
IBC Section 1704.3					
1. Material verification of high-strength bolts, nuts and washers:					
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	AISC 360, Section A3.3 and applicable ASTM material Standards	SII	PE/SE or EIT
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT
2. Inspection of high-strength bolting					
a. Snug-tight joints	Y	P	AISC 360, Section M2.5 IBC 1704.3.3	SII	AWS/AISC-SSI
b. Pretensioned and slip-critical joints using turn-of-nut with matchmarking, twist-off bolt or direct tension indicator methods of installation	Y	P			AWS/AISC-SSI
c. Pretensioned and slip-critical joints using turn-of-nut without matchmarking or calibrated wrench methods of installation	Y	C			AWS/AISC-SSI
3. Material verification of structural steel and cold-formed steel deck.					
a. For structural steel, identification markings to conform to AISC 360	Y	S	AISC 360, Section M5.5	SII	PE/SE or EIT
b. For other steel, identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material standards	SII	PE/SE or EIT
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT
4. Material verification of weld filler materials:					
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC 360, Section A3.5 and applicable AWS A5 documents	SII	PE/SE or EIT
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SII	PE/SE or EIT
6. Inspection of welding					
a. Structural steel and cold-formed steel deck:					
1) Complete and partial penetration groove welds.	NA	C	AWS D1.1 IBC 1704.3.1		AWS-CWI
2) Multipass fillet welds.	NA	C			AWS-CWI
3) Single-pass fillet welds > 5/16"	NA	C			AWS-CWI
4) Single-pass fillet welds < 5/16"	NA	P	AWS D1.1 IBC 1704.3.1		AWS-CWI

Project: Building Addition – Portland Sports Complex
Date Prepared: May 4th, 2012

VERIFICATION AND INSPECTION	Y/N	<u>EXTENT</u> : CONTINUOUS,	COMMENTS	AGENT	AGENT QUALIFICATION
IBC Section 1704.3					
5) Floor and roof deck welds.	NA	P	AWS D1.3		AWS-CWI
b. Reinforcing steel:					
1) Verification of weldability of reinforcing steel other than ASTM A706.	NA	C			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	NA	C	AWS D1.4 ACI 318: 3.5.2		AWS-CWI
3) Shear reinforcement.	NA	C			AWS-CWI
4) Other reinforcing steel.	NA	P			AWS-CWI
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:					
a. Details such as bracing and stiffening.	Y	P	IBC 1704.3.2	SII	PE/SE or EIT
b. Member locations.	Y	P			PE/SE or EIT
c. Application of joint details at each connection.	Y	P			PE/SE or EIT

Structural Schedule of Special Inspection Services

FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

VERIFICATION AND INSPECTION IBC Section 1704.2	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC Certification -OR- 3. International Accreditation Service's AC472 Certification for Metal Building Systems	Y	S	Fabricator shall submit one of the three qualifications	SII	PE/SE or EIT
4. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SII	PE/SE or EIT

Structural Schedule of Special Inspections

SEISMIC RESISTANCE - STRUCTURAL

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION
IBC Section 1707					
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:			Seismic Design Category: C		
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	N	P	IBC 1707.1 – Exempted by Exception of Section 1705.3.1	N/A	PE/SE or EIT
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	P	IBC 1707.2 – Exempted by Exception 1 of Section 1707.2	N/A	AWS-CWI
3. Structural wood:					
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	NA	C	IBC 1702.3		PE/SE or EIT
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	NA	P	IBC 1702.3		PE/SE or EIT
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including struts, braces, and hold-downs	NA	N			
4. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	NA	N	IBC 1707.8		