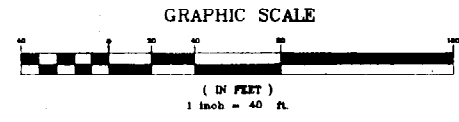
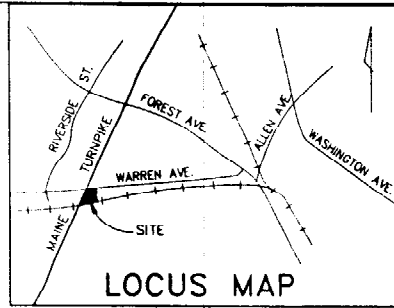


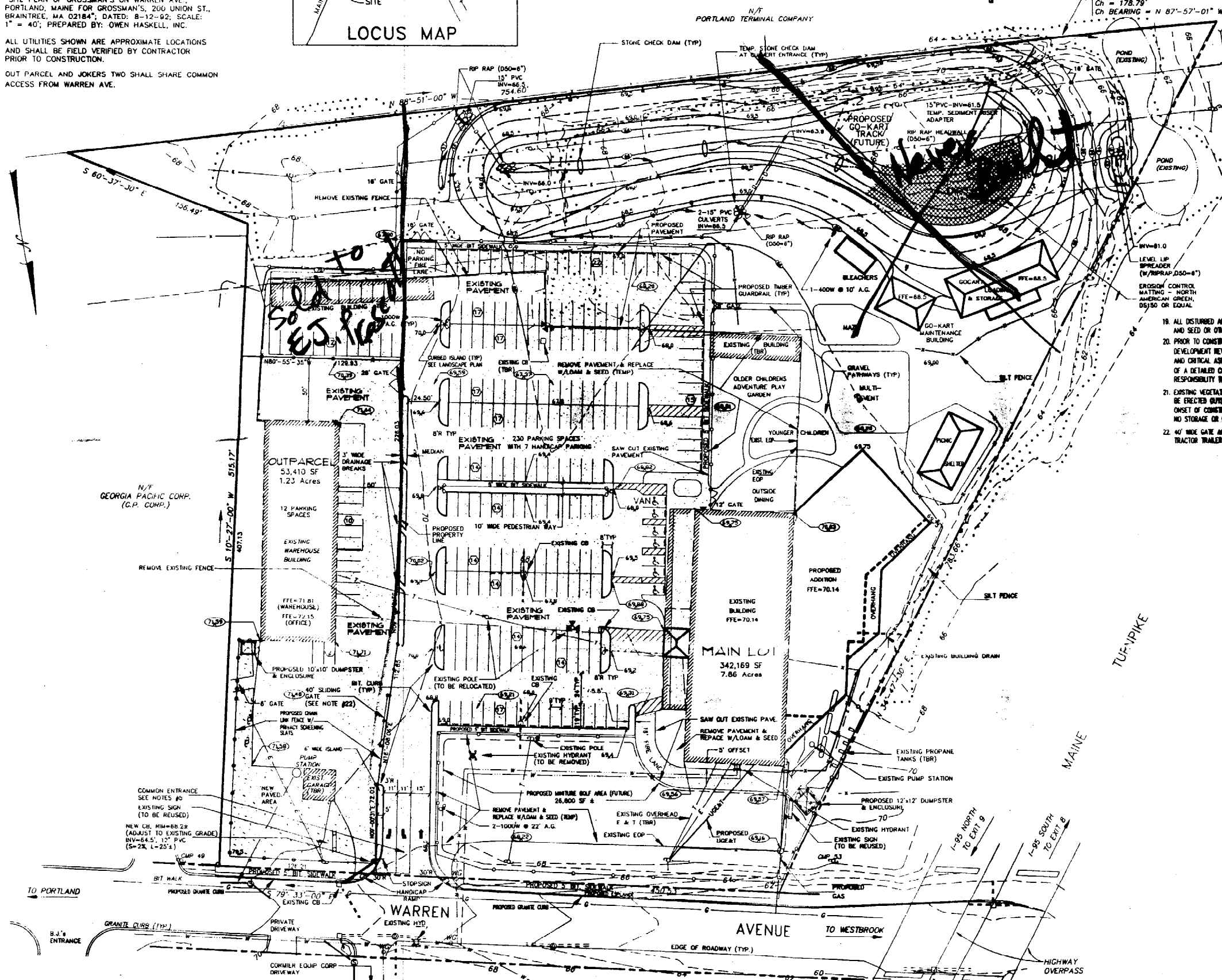
**NOTES:**

1. WETLANDS AS SHOWN FLAGGED ON SEPT. 9, 1996 BY THOMAS MILLIGAN, JR., SE, PE, PLS.
2. NORTH ARROW, BEARINGS AND PROPERTY LINES ARE BASED UPON A PLAN ENTITLED, "STANDARD BOUNDARY SURVEY ON WARREN AVENUE, PORTLAND, MAINE, MADE FOR PAUL BURGER, 465 CONGRESS PORTLAND, MAINE"; DATED: 9-19-96; SCALE: 1" = 40'; PREPARED BY: OWEN HASKELL, INC.
3. ELEVATIONS ARE BASED UPON A PLAN ENTITLED, "SITE PLAN OF GROSSMAN'S ON WARREN AVE., PORTLAND, MAINE FOR GROSSMAN'S, 200 UNION ST., BRAINTREE, MA 02184"; DATED: 8-12-92; SCALE: 1" = 40'; PREPARED BY: OWEN HASKELL, INC.
4. ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS AND SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
5. OUT PARCEL AND JOKERS TWO SHALL SHARE COMMON ACCESS FROM WARREN AVE.



**GENERAL NOTES:**

1. THE WORK SHOWN ON THESE PLANS IS FOR GRADING AND UTILITIES ONLY. FOR FURTHER DETAILS OF EROSION CONTROLS AND CONSTRUCTION DETAILS, REFER TO THE PLAN SET.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
5. ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND & ALL UTILITY COMPANY STANDARDS.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES W/ THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
7. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
8. NO BLASTING WILL BE ALLOWED WITHIN 500 FT. OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNLESS WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
9. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
11. INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIP RAPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
12. PROPOSED BUILDING DIMENSIONS ARE APPROXIMATE ONLY.
13. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
14. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED IN THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, ALTERATION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
15. ALL PORELINE UTILITIES SHALL BE UNDERGROUND.
16. SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT W/ UP DOWN RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
17. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE ORIGINAL AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPT. OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
18. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
19. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LUAM AND SEED OR OTHER MEASURES AS REQUIRED BY BEST MANAGEMENT PRACTICES.
20. PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COMMITTEE, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
21. EXISTING VEGETATION SHALL BE PRESERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE GRADING OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. MEASURES SHALL NOT TAKE PLACE WITHIN THE DROP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DROP-LINE OF TREES TO BE PRESERVED.
22. 40' WIDE GATE ACCESS TO OUTPARCEL SHALL BE OPENED TO A MAXIMUM WIDTH OF 24' EXCEPT DURING TIMES OF TRACTOR TRAILER TRAFFIC.



**LEGEND**

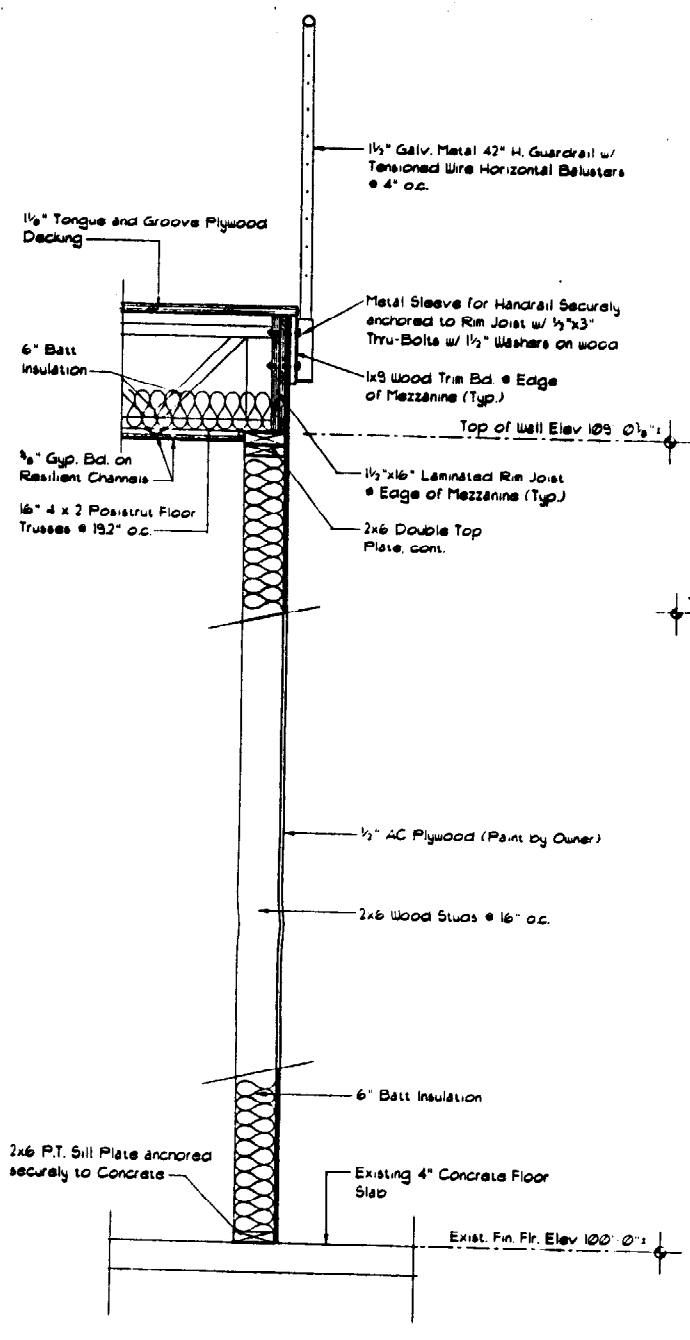
EXISTING	PROPOSED
	CONTOUR
	SPOT GRADE
	SWALE
	ROW
	PROPERTY LINE
	ROADWAY CENTERLINE
	BUILDING SETBACK
	EDGE OF PAVEMENT
	BIT CURB
	BUILDING
	SANITARY SEWER
	STORM DRAIN
	WATER MAIN
	GAS SERVICE
	ELECTRIC
	TELEPHONE
	UNDER GRND E & T
	CATCH BASIN
	MANHOLE
	HYDRANT
	GATE VALVE
	TRANSFORMER
	ELECTRICAL OUTLET
	STONE WALL
	WETLANDS
	TIMBER GUARDRAIL
	HANDICAP RAMP
	EXIST. LIGHT (WALL POLE)
	FENCE
	PAVEMENT
	TO BE REMOVED
	SILT FENCE
	EROSION CONTROL MATTING
	RIP RAP
	STONE CHECK DAM
	CULVERT CHECK DAM
	POLE LIGHTING 1000W
	POLE LIGHTING 400W
	CROSSWALK STRIPING

**JOKERS TWO, INC.**  
510 WARREN AVENUE  
PORTLAND, MAINE  
PREPARED FOR:  
JOKERS INC.  
7460A LAFAYETTE RD. PORTSMOUTH, NH 03301

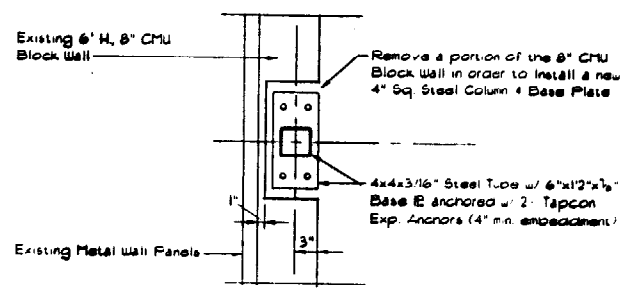
I.S. Date	10-21-96	Revision	1	PARKING, ENTRANCES, PROPERTY LINES & STORAGE	10-21-96
Drawn	C-M	Checked	J.S.	ADDED LIGHTING, CHG. FRI. LANE	11-04-96
Scale	1"=40'	Date	10-21-96	MOOPY ENTRENCH, ADD. SPOT DRAINS	11-04-96

FINAL  
SITE PLAN

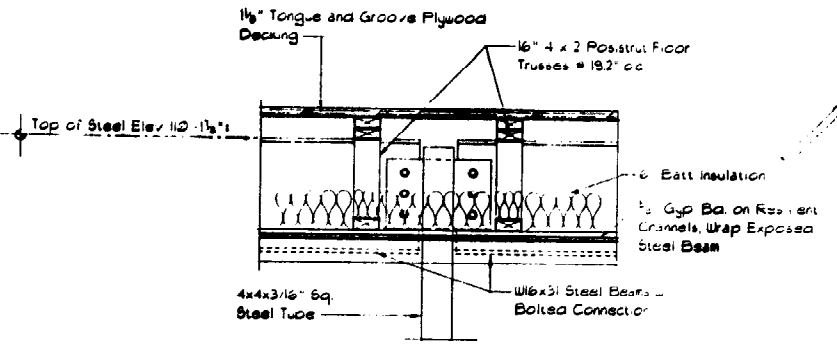
Job No. 3019  
Sheet  
SD-1



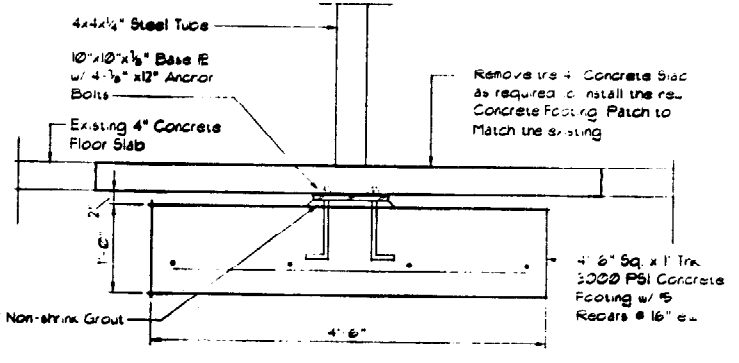
1 Wall Section  
SCALE 1" = 1'-0"



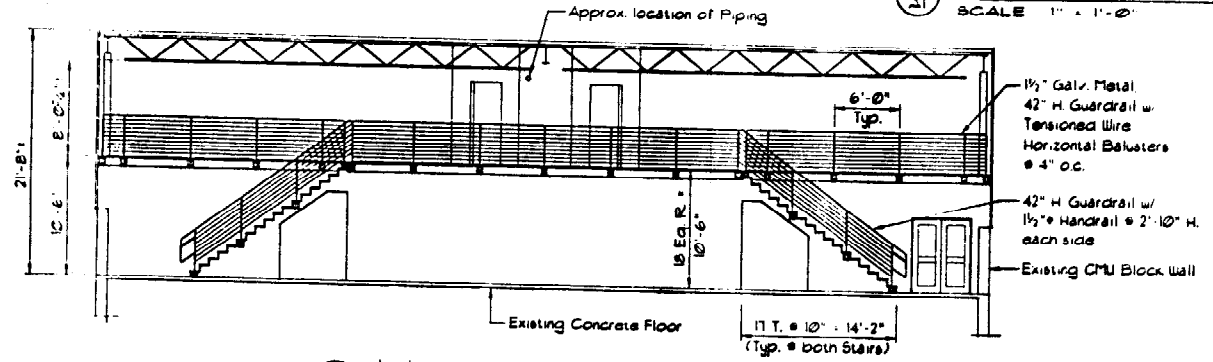
2 Endwall Column Detail  
SCALE 1" = 1'-0"



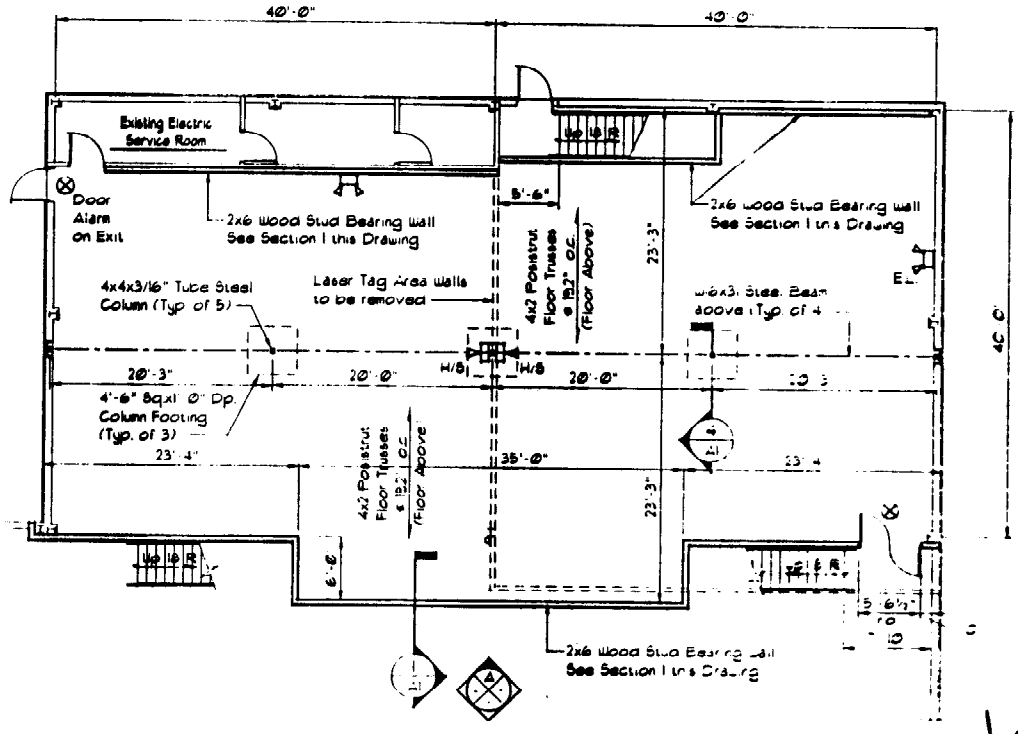
3 Detail @ Top of Column  
SCALE 1" = 1'-0"



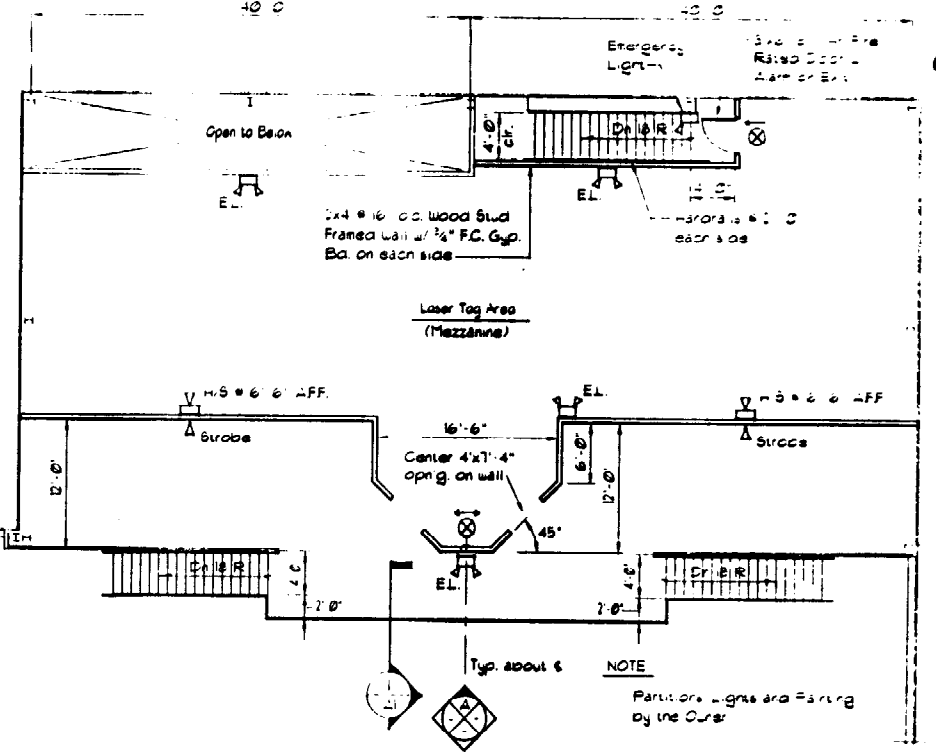
4 Column Footing Detail (Typ of 3)  
SCALE 1" = 1'-0"



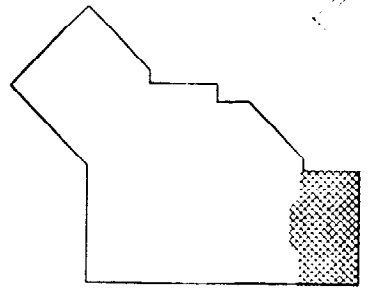
A Interior Elevation  
SCALE 1/2" = 1'-0"



Partial Ground Floor Plan  
SCALE 1/4" = 1'-0"



Partial Mezzanine Floor Plan  
SCALE 1/4" = 1'-0"



Key Plan  
Use Type: Amusement  
Construction Type:  
Square Footage: 29,000 s.f.  
Fully Sprinkled - Fully Automatic.

- Key
- ▲ Sill Plate Only
  - Non-Stroke
  - ⊕ Emergency Light
  - ⊗ Exit Signage

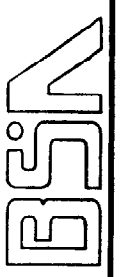
*Handrails - 1021  
Stairs - 1014  
Structural detail  
1999  
A-3 use  
3-9 TYP*

REVISIONS	DATE	BY	CHKD

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BSA Architects  
P.O. Box 2987  
Augusta, Maine 04336  
Tel: (207) 623-1702  
Fax: (207) 623-2562

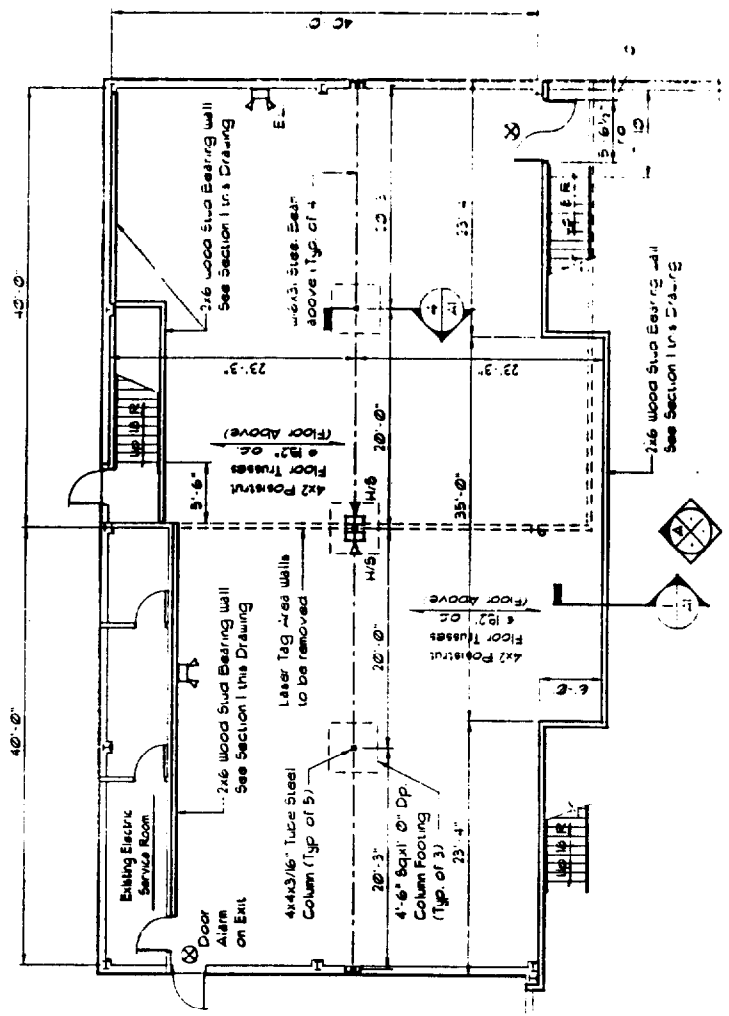
Jokers Family Fun & Games  
50 West Avenue  
Portland, Maine  
1/2 Scale Plans Interior  
Elevation and Detail



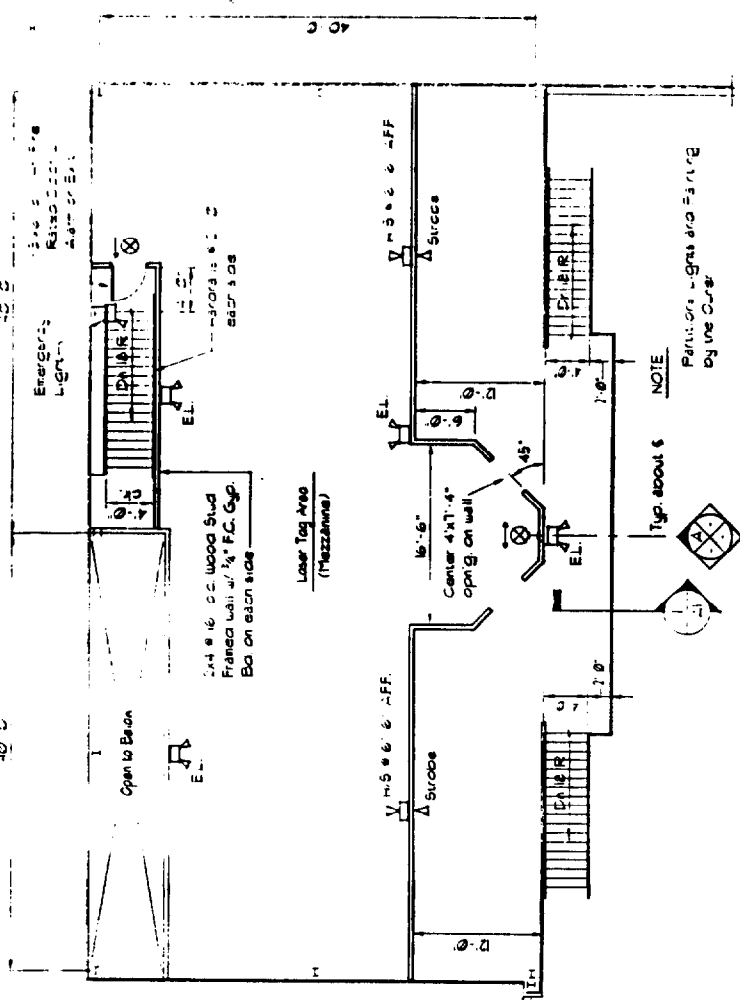
Revisions to  
Jokers Family Fun & Games  
50 West Avenue  
Portland, Maine  
1/2 Scale Plans Interior  
Elevation and Detail

AI

Reviewed on Larger Plans  
27/mar/2001

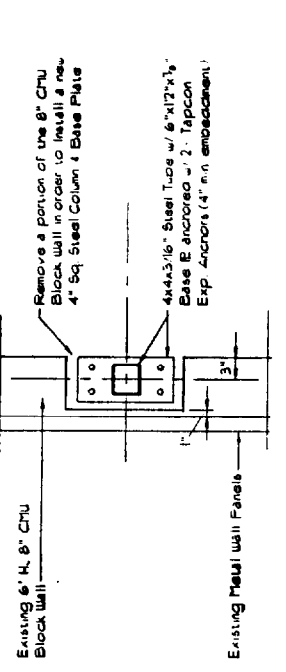


**Partial Ground Floor Plan**  
 SCALE 1/4" = 1'-0"

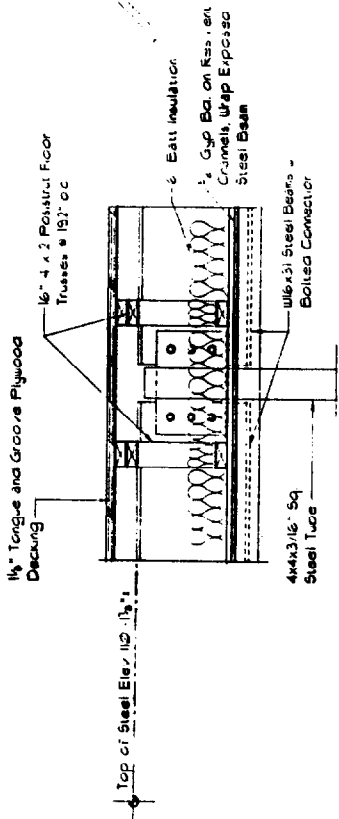


**Partial Mezzanine Floor Plan**  
 SCALE 1/4" = 1'-0"

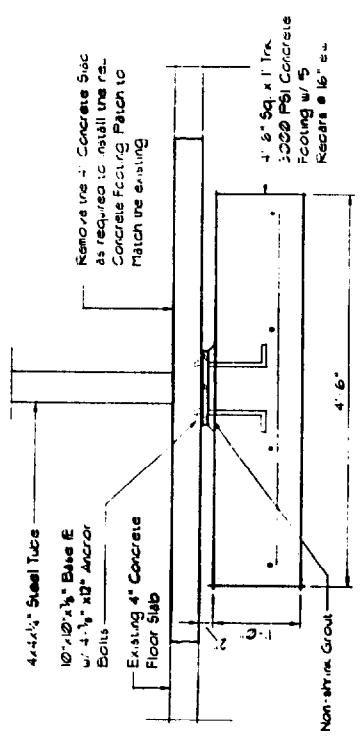
- Key**  
 ▲ Success Only  
 ▣ Not Success  
 ⊕ Emergency - 5ft  
 ⊗ E-1.5 outage



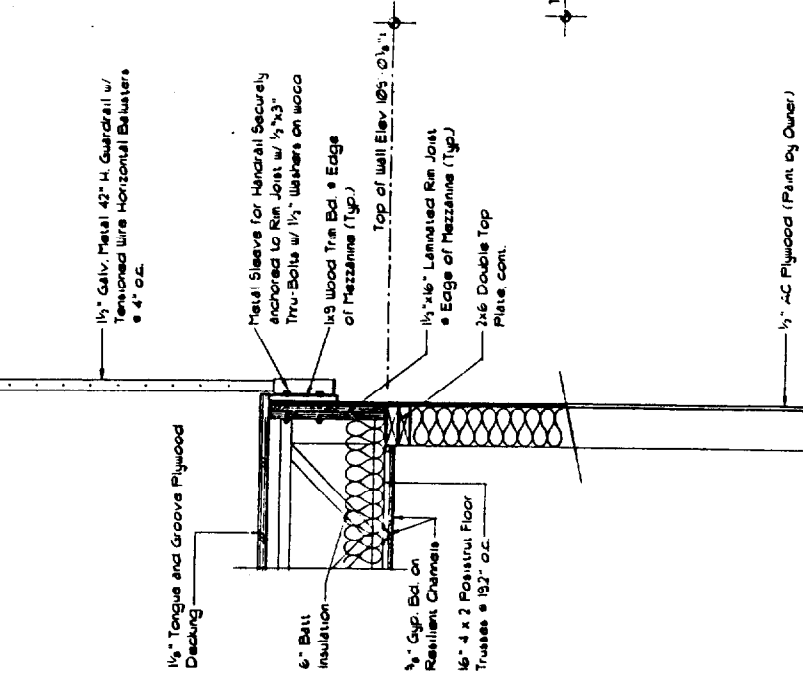
**End Wall Column Detail**  
 SCALE 1" = 1'-0"



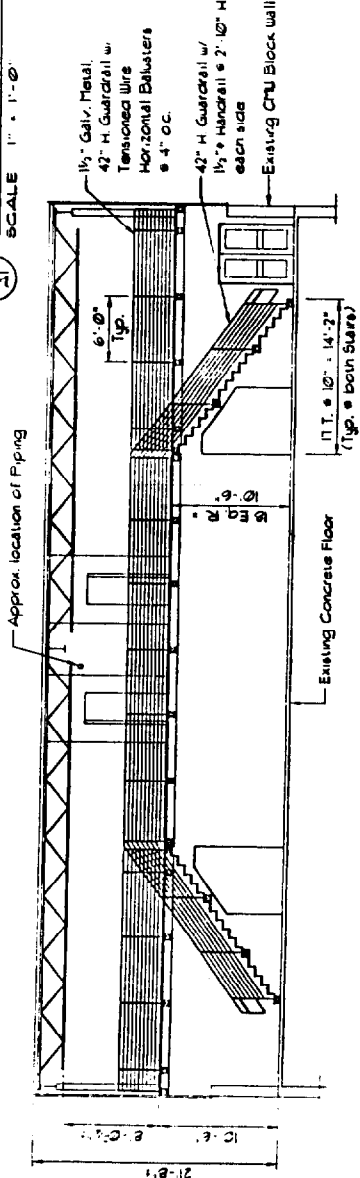
**Detail @ Top of Column**  
 SCALE 1" = 1'-0"



**Column Footing Detail (Typ of 3)**  
 SCALE 1" = 1'-0"



**Wall Section**  
 SCALE 1" = 1'-0"



**Interior Elevation**  
 SCALE 1/2" = 1'-0"

Use Type, Attachment, Construction Type, Square Footage, 25,000 sq. Fully Sprinkled - Fully Automatic.

**Key Plan**