

Consultant:

Revision:

- 1 | ADDENDUM 1 | 2015.10.19
- 2 | REVISION | 2015.11.25

Architect of Record:



Drawn: SEA

Checked: PR

Scale: AS NOTED

Key Plan:

Project Name:

LORING HOUSE

1125 Brighton Avenue
Portland, ME 04102

Sheet Name:

**ARCHITECTURAL
SITE PLAN**

Project Number:

14165

Issue Date:

November 25, 2015

Sheet Number:

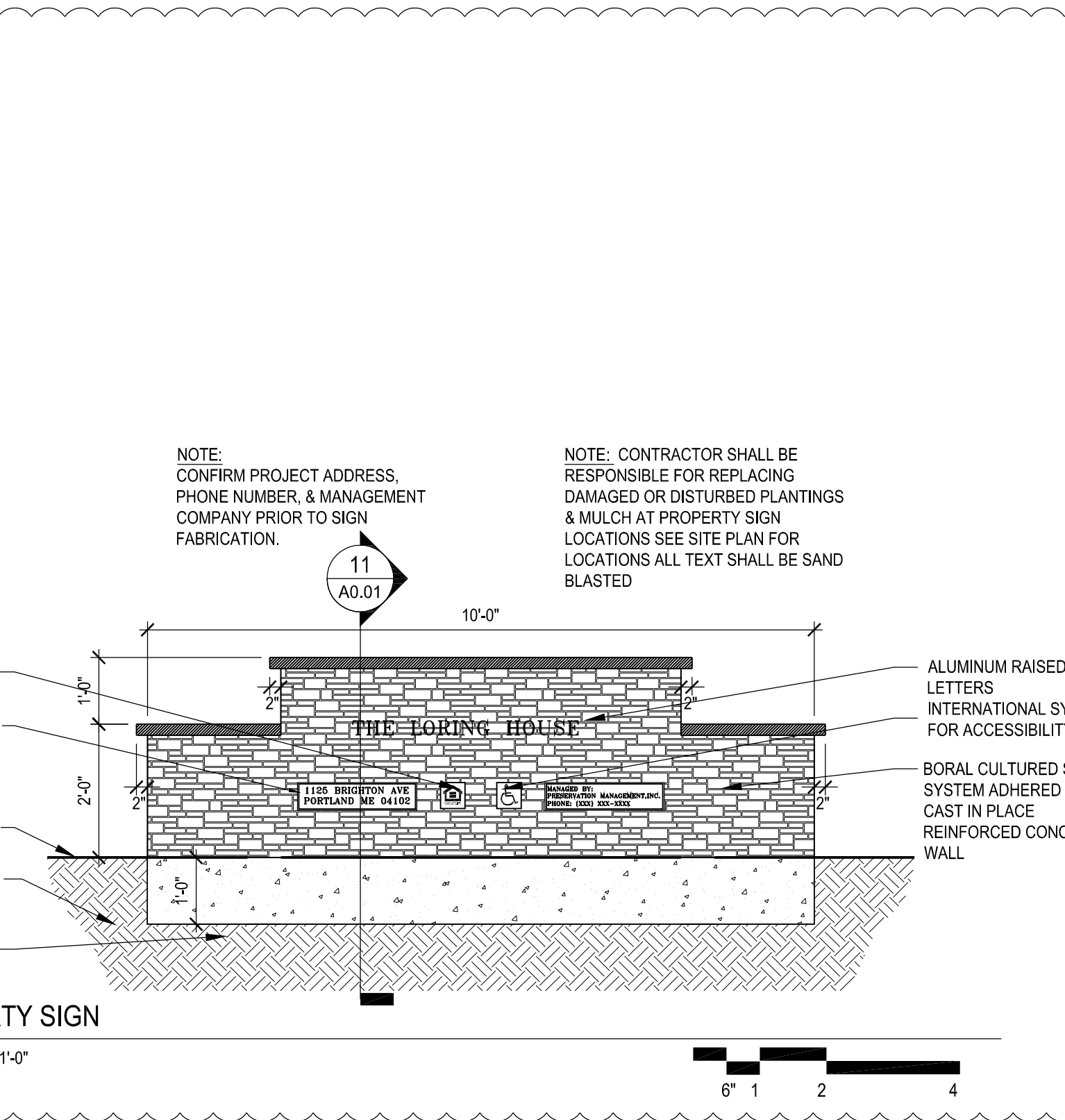
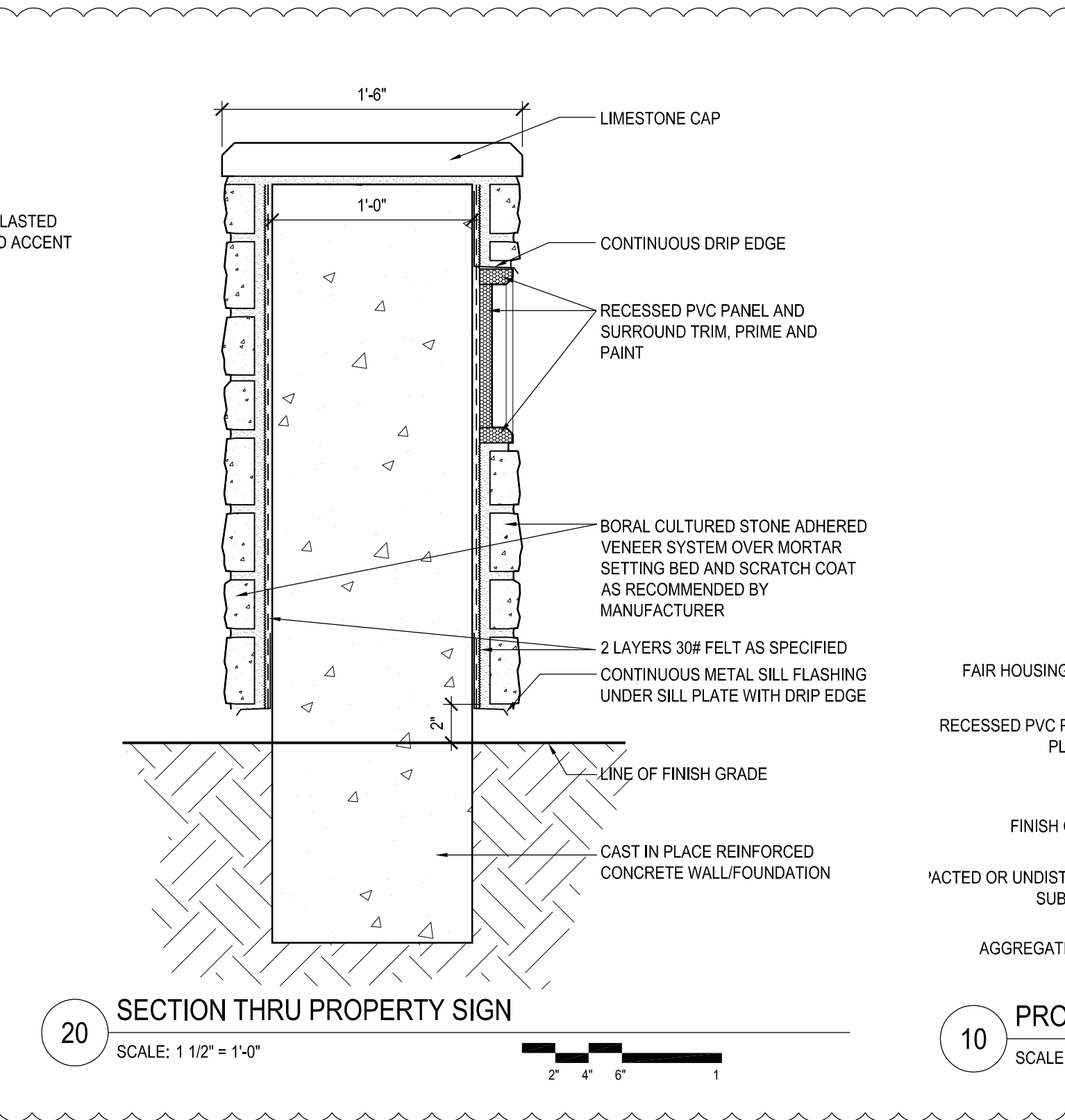
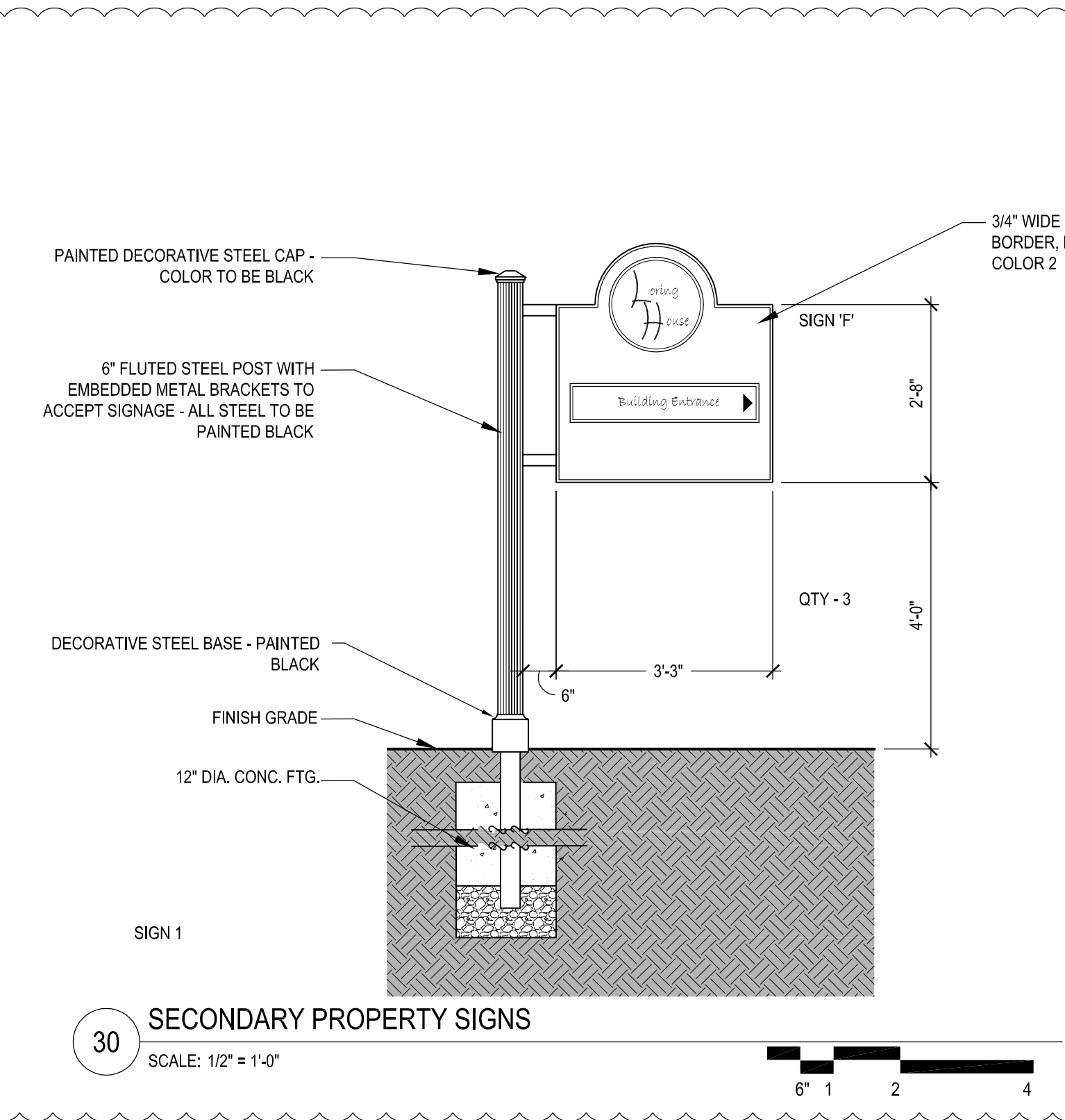
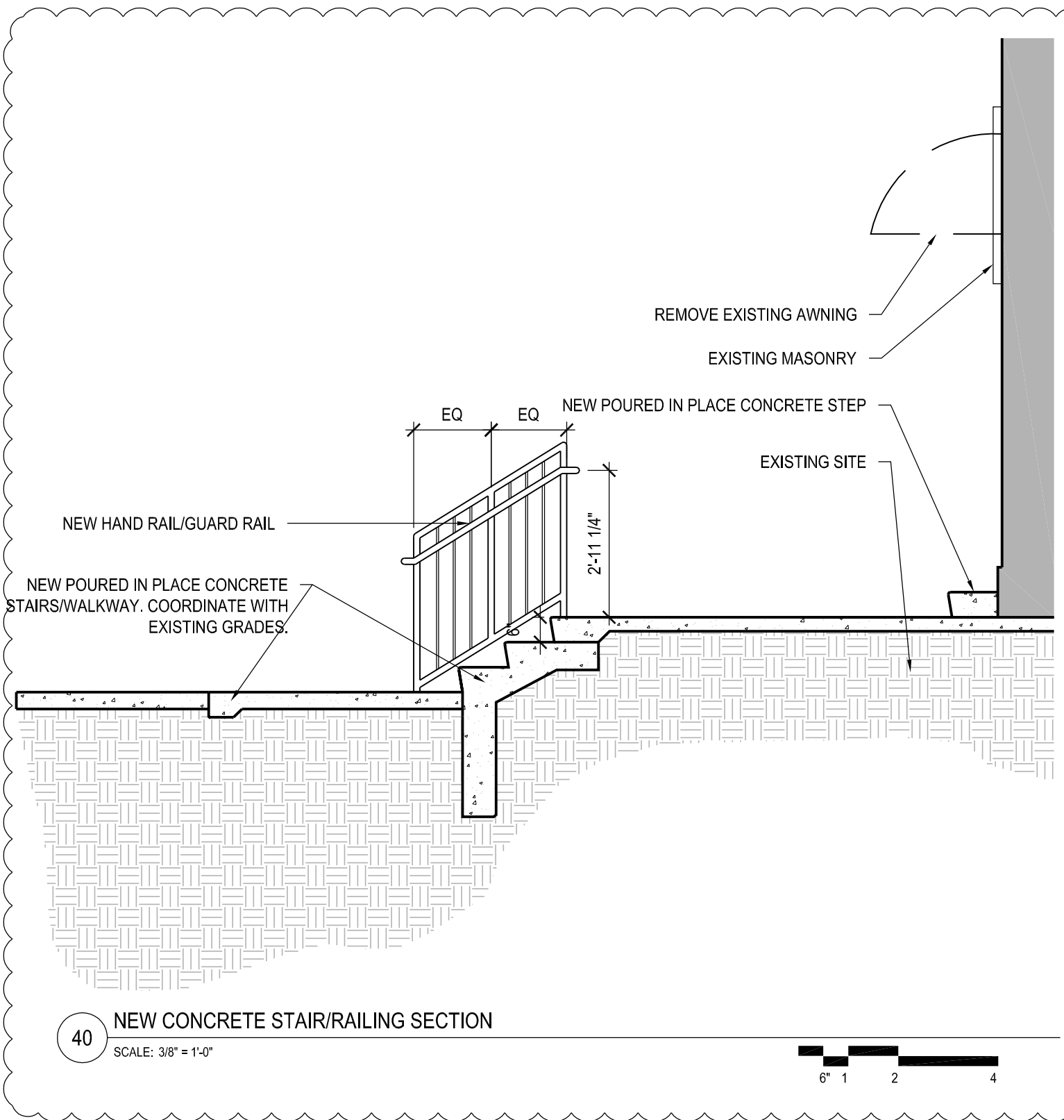
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SITE PLAN GENERAL NOTES:

- A. PROVIDE ALL APPROPRIATE PROTECTIVE MEASURES (i.e. SIDEWALK BRIDGING, FENCES, AND BARRIERS, ETC.) AS REQUIRED TO PROTECT PEOPLE, PROPERTY, AND BUILDING COMPONENTS. INSTALL ADDITIONAL PROTECTION AND CONTROL DEVICES OR CONSTRUCTION AS REQUIRED TO LIMIT DUST, NOISE, ETC.
- B. PROPERLY REMEDIATE ALL HAZARDOUS MATERIALS NECESSITATED BY THE PROPOSED SCOPE OF WORK IN ACCORDANCE WITH ENVIRONMENTAL REPORT RECOMMENDATIONS.
- C. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS, AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE PROPOSED NEW SCOPE OF WORK.
- D. PROPERLY PREPARE AND PAINT, WITH NEW LOW VOC PAINTS, ALL NEW AND EXISTING EXTERIOR PAINTED FINISHES.
- E. PROVIDE POST MOUNTED SIGNAGE AND STRIPED SIGNAGE INDICATING HANDICAPPED AND VAN ACCESSIBLE PARKING SPACES. SEE DETAIL ON CIVIL DRAWINGS.
- F. REPLACE EXISTING MOUNTED SITE LIGHTING FIXTURES IN EXISTING LOCATIONS. CONNECT TO EXISTING WIRING AND CONTROLS.
- G. REPLACE SELECT AREAS OF DAMAGED OR HEAVING BITUMINOUS AND BRICK PAVEMENT CONCRETE SIDEWALKS THROUGHOUT THE PROPERTY. REPAIR TO CIVIL ENGINEERING DRAWINGS.
- H. PRUNE AND PROTECT EXISTING TREES AND SHRUBBERY THROUGHOUT. PRUNE OVERHANGING LIMBS BACK 6' FROM BUILDING OR ROOF STRUCTURE. VIDEO EXISTING STORM DRAIN LINES AND STRUCTURES THROUGHOUT SITE. CLEAN OUT ALL EXISTING STORM DRAIN LINES, CATCH BASINS AND AREA DRAINS AND STRUCTURES THROUGHOUT THE PROPERTY.
- I. RE-GRADE AS NECESSARY TO PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING BUILDINGS.
- J. PROPERLY PREPARE AND PROVIDE NEW FINE-RAKE AND SEED AT AREAS WHERE RE-GRADING IS REQUIRED AS HEREIN NOTED.

SITE PLAN KEY NOTES:

1. SCRAPE AND PAINT EXISTING METAL RAILING
2. SCRAPE AND PAINT EXISTING WOOD PORCH
3. NEW HANDICAP AND VAN ACCESSIBLE PARKING SPACES. PROVIDE NEW SIGNAGE
4. NEW MONUMENTAL SITE SIGNAGE
5. MILL AND PROVIDE NEW OVERLAY FINISH COAT AT ALL DAMAGED ASPHALT PAVING AND CONC. THROUGHOUT ALL EXISTING PARKING AREAS AND DRIVE AISLES THROUGHOUT SITE. REPAIR ALL DAMAGED SUBSTRATES AND BASE COAT AREAS (POT HOLES) AS REQUIRED TO PROVIDE EVEN PAVING SURFACE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SCOPE.
6. RE-STRIPE ALL EXISTING PARKING SPACES THROUGHOUT PROPERTY (BOTH FRONT AND REAR LOTS), INCLUDING "NO PARKING" AREAS, STANDARD PARKING SPACES, HANDICAPPED ACCESSIBLE PARKING AND VAN SPACES / ACCESSIBLES, LOGOS, ETC. REFER TO CIVIL DRAWINGS.
7. RE-GRADE COURTYARD ENTRY AREA AND PROVIDE NEW DRAINAGE SYSTEM INTO EXISTING CATCH BASINS AS NECESSARY TO MITIGATE WATER INTRUSION ISSUES NOTED AT THE LOBBY AREA.
8. WAY FINDING SITE SIGNAGE
9. PROVIDE NEW CONCRETE STAIR AND METAL RAILING. SEE DETAIL 40A0.01. COORDINATE WITH CIVIL DRAWINGS.
10. PROVIDE WATERPROOFING AS SPECIFIED WHERE FOUNDATION WALLS ARE EXPOSED. REFER TO CIVIL DRAWINGS.



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