

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT
PERMIT

PERMIT ISSUED
Permit Number: 090819
AUG 18 2009
CITY OF PORTLAND

This is to certify that City Of Portland/David Dipietro

has permission to Construct 14' gazebo on lawn

AT 1125 Brighton Ave

CE 269 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Santora

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Christy L. Mc 8/14/09
Director - Building & Inspection Services



PENALTY FOR REMOVING THIS CARD

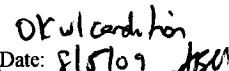

City of Portland, Maine - Building or Use Permit Application

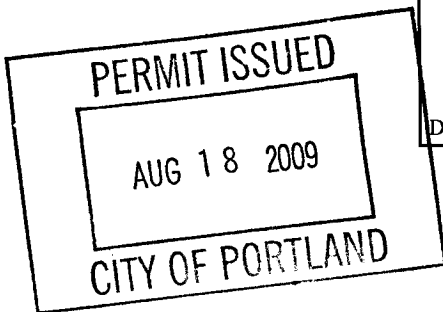
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0819	Issue Date: 8/14/09	CBL: 269 B001001
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Location of Construction: 1125 Brighton Ave	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone:
Business Name:	Contractor Name: David Dipietro	Contractor Address: 221 Virginia Street Portland	Phone 2078317914
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	Zone: R5

Past Use: Hospital / Barron Center	Proposed Use: Barron Center / Construct 14' gazebo on lawn	Permit Fee: \$0.00	Cost of Work: \$0.00	CEO District: 3
Proposed Project Description: Construct 14' gazebo on lawn		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: SB IBC-2003	
		Signature: 	Signature: 	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 08/04/2009	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/15/09 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

1125

Location/Address of Construction: <u>1125 BRIGHTON AVE</u>		
Total Square Footage of Proposed Structure/Area <u>144</u>	Square Footage of Lot <u>14 x 14</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>269</u> Block# <u>B</u> Lot# <u>00-41</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>DAVID DIPIETRO</u> Address <u>221 VIRGINIA ST</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>7979531</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>CITY OF PORTLAND</u> Address _____ City, State & Zip <u>per managers office</u>	Cost Of Work: \$ <u>9,950</u> C of O Fee: \$ <u>N/C</u> Total Fee: \$ <u>N/C</u>
Current legal use (i.e. single family) <u>Hospital</u>	Number of Residential Units <u>per manager</u>	
If vacant, what was the previous use? _____		
Proposed Specific use: <u>GAZEBO</u>		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>CONSTRUCT 14' GAZEBO ON LAWN</u>		
Contractor's name: <u>DAVID DIPIETRO</u>		
Address: <u>221 VIRGINIA ST CITY</u>		
City, State & Zip _____	Telephone: <u>8317914</u>	
Who should we contact when the permit is ready: <u>DAVID</u>	Telephone: _____	
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8-2-9

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0819	Date Applied For: 08/04/2009	CBL: 269 B001001
------------------------------	--	----------------------------

Location of Construction: 1125 Brighton Ave	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone:
Business Name:	Contractor Name: David Dipietro	Contractor Address: 221 Virginia Street Portland	Phone: (207) 831-7914
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	

Proposed Use: Barron Center / Construct 14' gazebo on lawn	Proposed Project Description: Construct 14' gazebo on lawn
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/05/2009
Note: **Ok to Issue:**

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 08/14/2009
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 3) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 08/14/2009
Note: **Ok to Issue:**

Comments:

8/4/2009-gg: Waived per manager's office (Judy Rosen). /gg

8/4/2009-jmb: Spoke to David D., he will come in tomorrow to fill out the site plan exemption, I forgot to have him do that today.

8/5/2009-amachado: David D. Came in to get the site plan exemption application. He was going to turn it in at planning.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

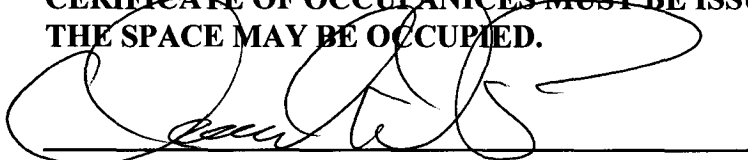
 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

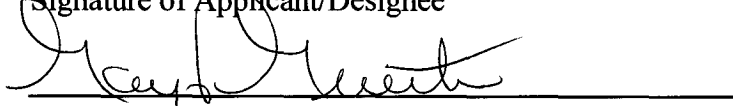
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

8-58-9

Date



Signature of Inspections Official

8/18/09

Date

SHEET 266-C
WESTERLY LIMIT OF M.T.A. R/W

No 269

← SOUTHBOUND

NORTHBOUND →

ENTRANCE

EASTERLY LIMIT OF M.T.A. R/W
PORTLAND PIPELINE CORP EASEMENT

NORTHBOUND EXIT

ENTRANCE
NORTHBOUND

AVENUE

150' T

FRONT YARD

200' T

lot size 519,922
PF
Front setback - 20' - 150 SWA
res setback N/A
Side setback 40% = 207,918 ft. 200' SWA
lot coverage 40% = 207,918 ft. 200' SWA

33,111
21,433

SHEET 265-A

BRIGHTON

RIGHT OF WAY

AVENUE

HOLM

SHEET 274-A

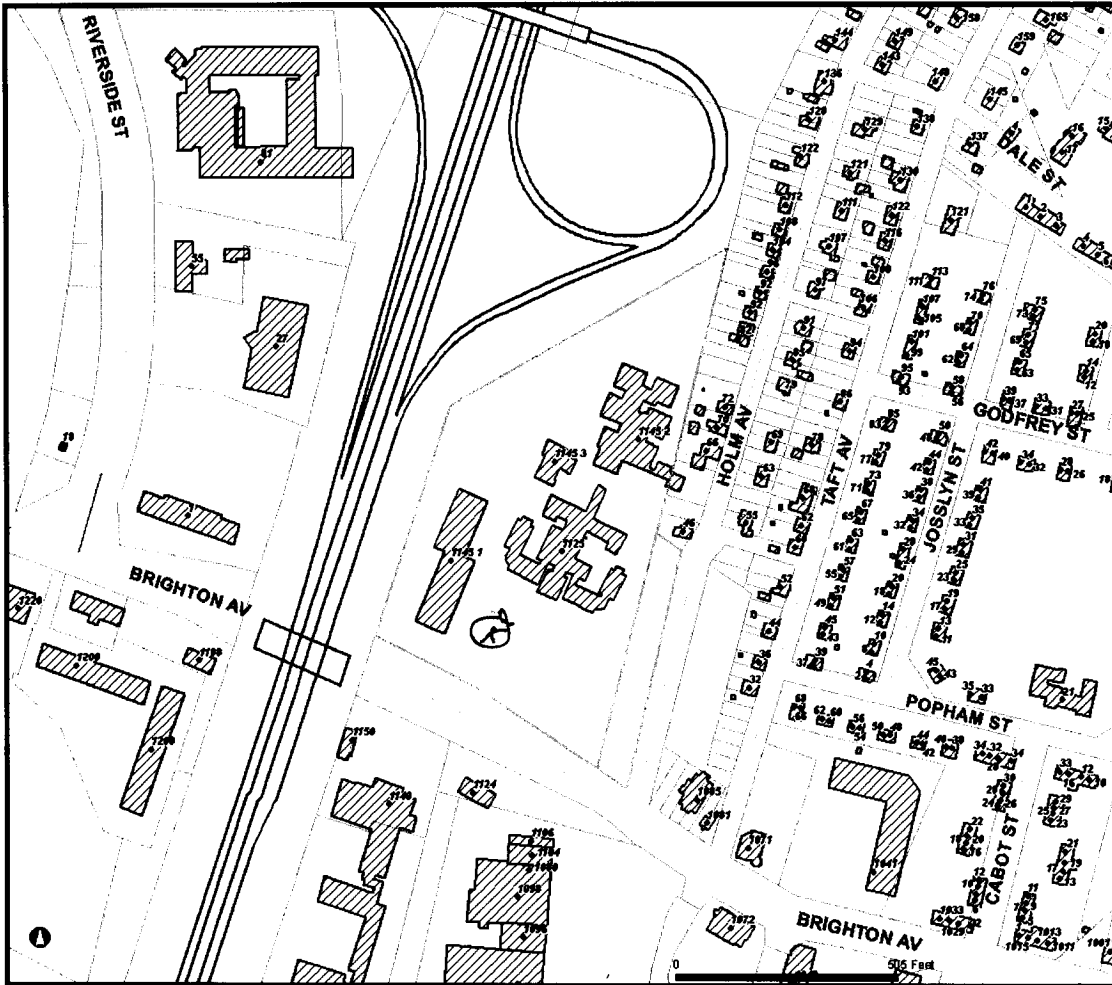
SHEET 273-A

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 30'
REDRAWN 9-75

SHEET 266-D

SHEET 270-D

35100	4030	3640	7854	7700	4472	7797	4801	3217	3262	3307	3332	5700	5640	2360	3578	3628	4427	6185	2510	3802	3847	3937	4055	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25



City of Portland
GIS




DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland
389 Congress St.
Portland, Maine
04101



City of Portland
GIS



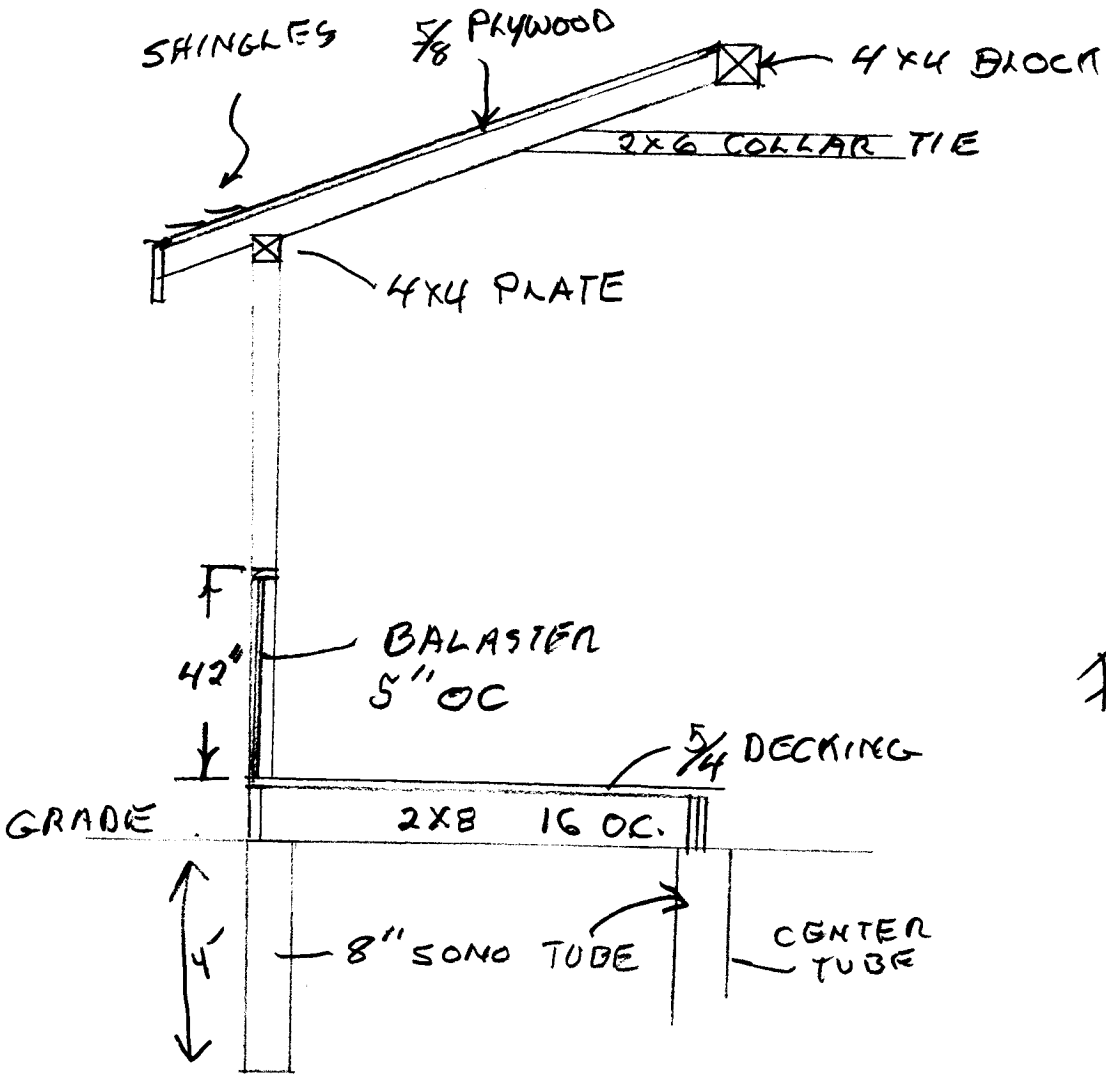
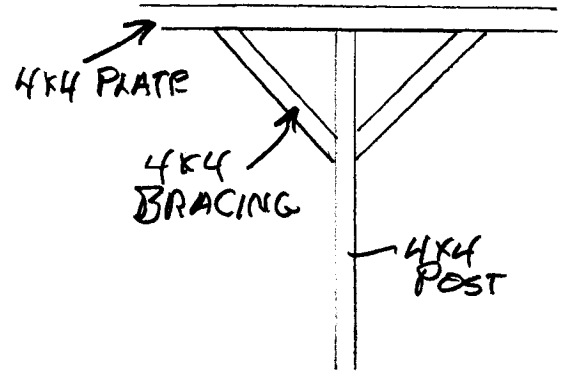
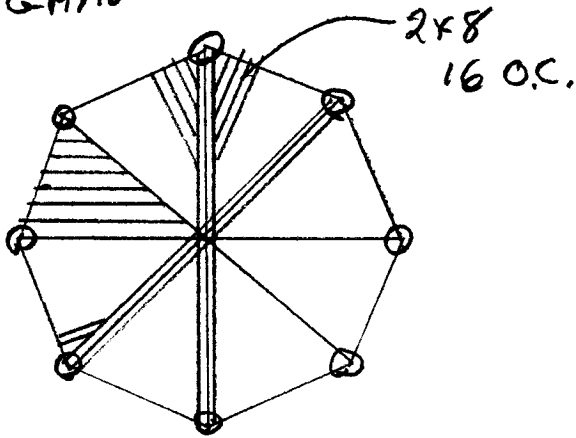
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City of Portland
389 Congress St.
Portland, Maine
04101

2006 - garages did exist - it was removed
now it is being rebuilt.

BARRON CENTER
1145 BRIGHTON AVE

ON GRADE



Frommmy
to be.
P.T.



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: BARRON CENTER

PROJECT ADDRESS: 1125 BRIGGTON AVE

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)
GAZEBO REPLACEMENT 14' DIA.

CHART/BLOCK/LOT: 269 B 001001

AUG 13 2009

CONTACT INFORMATION:

OWNER/APPLICANT

CONSULTANT/AGENT

Name: CITY
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

Name: DAVID DEPIETRO
Address: 831 7914
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>NO</u>	_____
b) Are there any new buildings, additions, or demolitions?	<u>NO</u>	_____
c) Is the footprint increase less than 500 sq. ft.?	<u>YES</u>	_____
d) Are there any new curb cuts, driveways or parking areas?	<u>NO</u>	_____
e) Are the curbs and sidewalks in sound condition?	<u>YES</u>	_____
f) Do the curbs and sidewalks comply with ADA?	<u>YES</u>	_____
g) Is there any additional parking?	<u>NO</u>	_____
h) Is there an increase in traffic?	<u>NO</u>	_____
i) Are there any known stormwater problems?	<u>NO</u>	_____
j) Does sufficient property screening exist?	<u>YES</u>	_____
k) Are there adequate utilities?	<u>YES</u>	_____

RECEIVED

AUG 12 2009

City of Portland
Planning Division

Planning Division Use Only Exemption Granted with conditions Partial Exemption Exemption Denied

1. The Baluster Height shall be 36 inches rather than 42 in. Height
 2. The posts shall be square with rounded edges.
 3. The shingles shall be regular shingles in brown.
 4. The gazebo shall be painted or stained with a solid color within 60 days of completion

Planner's Signature: Barbara Deryn Date: Aug 12, 2009

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: BARRON CENTER

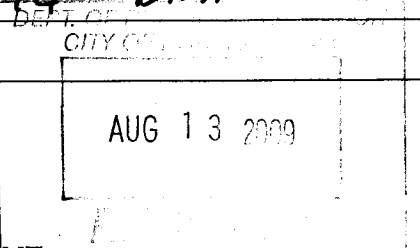
PROJECT ADDRESS: 1125 BRIGTHAM AVE

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

GAZEBO REPLACEMENT

14' DIA.

CHART/BLOCK/LOT: 269 B 001001



CONTACT INFORMATION:

OWNER/APPLICANT

CONSULTANT/AGENT

Name: CITY
 Address: _____
 Zip Code: _____
 Work #: _____
 Cell #: _____
 Fax #: _____
 Home #: _____
 E-mail: _____

Name: DAVID DICPIETRO
 Address: 831 7914
 Zip Code: _____
 Work #: _____
 Cell #: _____
 Fax #: _____
 Home #: _____
 E-mail: _____

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>NO</u>	_____
b) Are there any new buildings, additions, or demolitions?	<u>NO</u>	_____
c) Is the footprint increase less than 500 sq. ft.?	<u>YES</u>	_____
d) Are there any new curb cuts, driveways or parking areas?	<u>NO</u>	_____
e) Are the curbs and sidewalks in sound condition?	<u>YES</u>	_____
f) Do the curbs and sidewalks comply with ADA?	<u>YES</u>	_____
g) Is there any additional parking?	<u>NO</u>	_____
h) Is there an increase in traffic?	<u>NO</u>	_____
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Planning Division

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Exemption Granted with conditions Partial Exemption Exemption Denied

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Planner's Signature: Barbara Berlyne Date: Aug 12, 2009

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 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
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 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

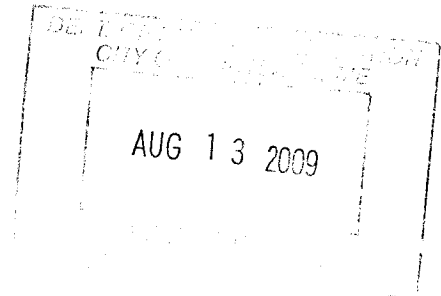
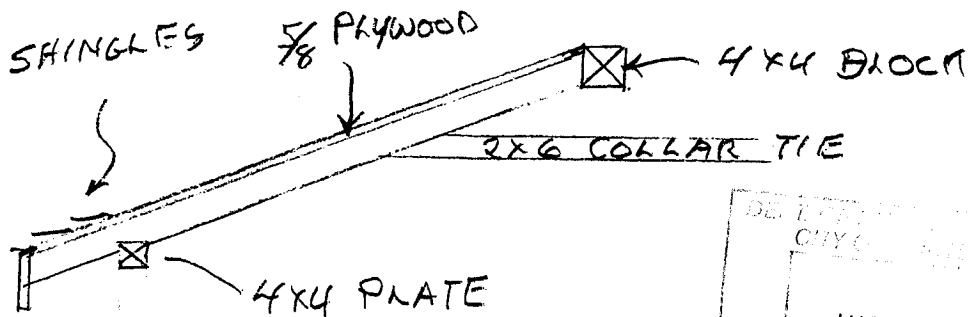
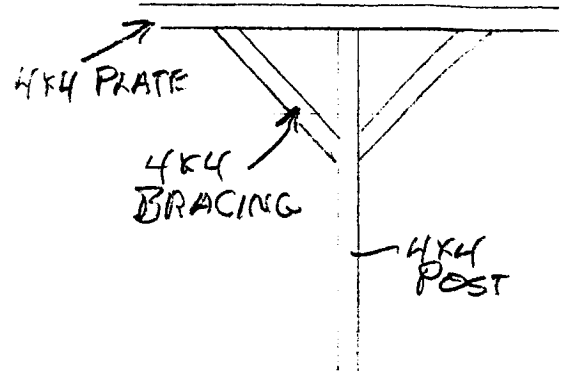
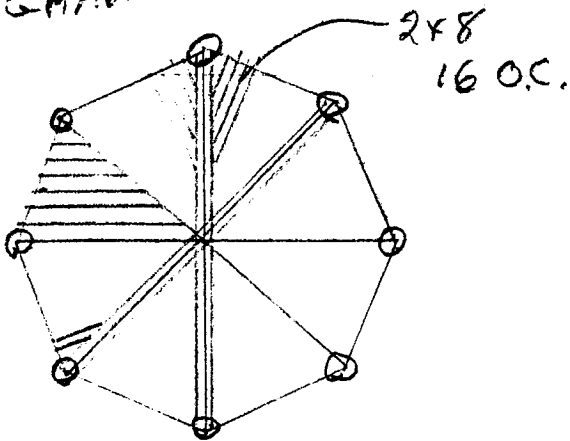
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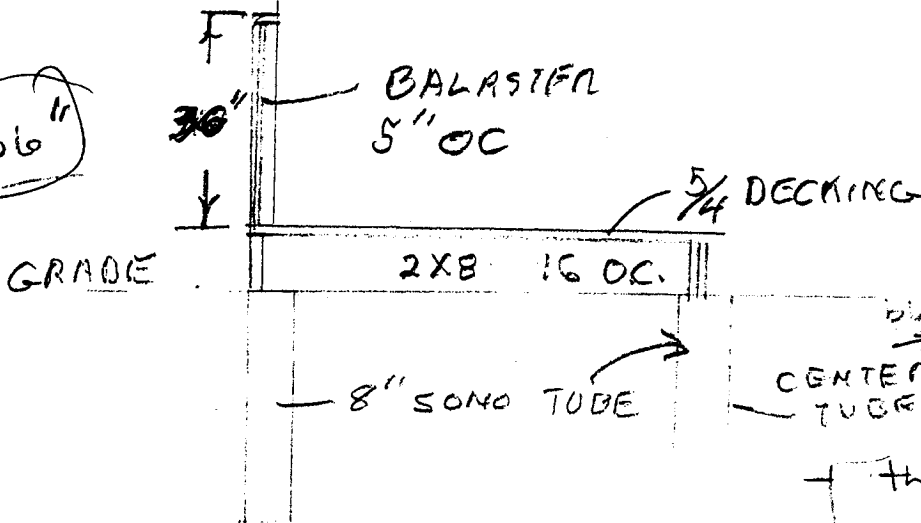
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BARRON CENTER
1145 BRIGHTON AVE

ON GRADE



36"



Square cedar
2 rounded
edges
- Balustrade 2 by 2
- Cedar
Design

Shingles - cedar
- architectural - cedar type
- regular - Cedar
- Cedar

they will do
- Paint

- not in this price
MFL Lopez



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Health & Human Services Department
Douglas S. Gardner, Director

The Matthew I. & Evelyn A. Barron Center
Karen Percival, Administrator

August 10, 2009

Attention: Planning Department

The Barron Center Maintenance Staff guarantees that the Gazebo will be stained within 60 days of completion.

Gary Jackson
Maintenance Supervisor
Barron Center

