

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 070185

MAR 14 2007

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that CITY HOSPITAL HOUSING ASSOC C/O WOODCOCK M/VHa

has permission to Install new door into existing window sp

AT 1125 BRIGHTON AVE

City 269 B001002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Ross M. Morally 3/13/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0185	Issue Date:	CBL: 269 B001002
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Location of Construction: 1125 BRIGHTON AVE	Owner Name: CITY HOSPITAL HOUSING ASS	Owner Address: 707 SABLE OAKS DR	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-5

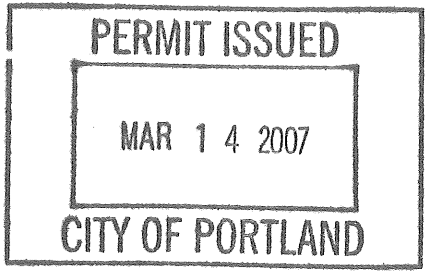
Past Use: Commercial / Barron Ctr. <i>Institutional</i>	Proposed Use: Commercial / Barron Ctr Installing new door into existing window space <i>new exterior stair</i>	Permit Fee: \$130.00	Cost of Work: \$11,000.00	CEO District: 3
Proposed Project Description: Install new door into existing window space <i>with new exterior stairs</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>3-6-07</i>	INSPECTION: Use Group: <i>INST</i> Type: <i>III</i> <i>IBC 2003</i>	

Signature: <i>Gregory Cross</i>	Signature: <i>Jim 3/13/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 02/21/2007	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>exemption given to planning</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>2/26/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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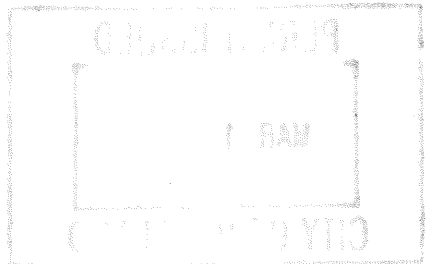


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/21/07 - checked frostings / restacks for
pan all OK. OK to proceed.
JMK



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

~~DM~~ If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

D. Mulvey
Signature of Applicant/Designee

Donna Martin Admin
Signature of Inspections Official

3-14-07
Date

3-14-07
Date

CBL: *269 B 001* Building Permit #: *07-0185*

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0185	Date Applied For: 02/21/2007	CBL: 269 B001002
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Location of Construction: 1125 BRIGHTON AVE	Owner Name: CITY HOSPITAL HOUSING ASS	Owner Address: 707 SABLE OAKS DR	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Institutional / Barron Ctr Installing new door into existing window space with a new exterior stairway	Proposed Project Description: Install new door into existing window space with a new exterior stairway
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/26/2007

Note: **Ok to Issue:**

- 1) Planning is reviewing plans under a site plan exemption and must first sign-off on the project prior to issuance of the building permit.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/13/2007

Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/06/2007

Note: **Ok to Issue:**

- 1) Application requires State Fire Marshal approval.

Comments:



2/21/2007-mes: I called Jeff from Hardypond - I will need a general site plan to show me where this building is in reference to the rest of the building complex - He will get it for me. - I will make out a site plan exemption for planning.

3/9/2007-gg: received granted site exemption. /gg put exemption in with permit, in commercial basket.



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Barion Center City of Portland 1175 Brighton Ave</u>		
Total Square Footage of Proposed Structure <u>N/A</u>	Square Footage of Lot <u>N/A</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>269 B 001</u>	Owner: <u>city of Portland</u>	Telephone: <u>209-691-2698</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>11,000.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Barion Ctr</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description:  HARDYPOND CONSTRUCTION 1039 RIVERSIDE STREET, SUITE 11 PORTLAND, ME 04103  <u>Installing door into Existing Window SPACE & Exterior Stairs</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Jeffrey Frey</u> Mailing address: _____ Phone: <u>691-2698</u>		

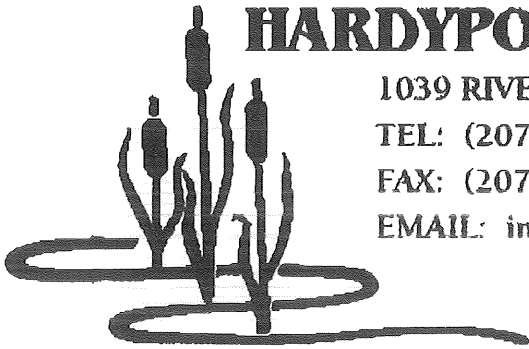
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>20 Feb 2007</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



HARDYPOND CONSTRUCTION

1039 RIVERSIDE STREET, PORTLAND, ME 04103

TEL: (207) 797-6066

FAX: (207) 797-8986

EMAIL: info@hardypond.com

269 B 001

FAX INFORMATION AND INSTRUCTION SHEET

Name of Individual: City Manager's Office

Name of Firm: City of Portland Maine

Fax Number: 874-8669 Date Transmitted: 26-Feb-07

From: Jeffrey Frey

Reference: Barron Center Hospital

Total Pages (including cover) 2

If you do not receive all pages, please call back as soon as possible

Comments: _____

Attached please find the invoice from the City Inspections Office regarding

permit fees for work to be performed at the city owned Barron Center. We hereby

request that waiver of the fee as a city owned property. Please contact me with

any questions.

Thank you Jeffrey Frey Cell 671-2678
Operations Manager

- General Contractor
- Specializing in
- Commercial Construction,
- Custom Residential,
- Tenant Fit-ups, Design
- Build, and Construction
- Management.
- Current Projects**
- Historical Renovation
- Congregational
- Church, Bridgton
- 32-Unit Condos
- Shawnee Peak
- 15-Lot Development
- 1039 Riverside St.
- 1,700 sq. ft. Fit-up
- Roundhouse
- TD Banknorth
- Addition & Renovation
- Sanford
- Hampton Inn
- Pool & Exercise Bldg.
- So. Portland
- C.C. Courthouse
- Detention Renovation
- Portland

CONFIDENTIALITY NOTICE: This communication and any accompanying documents are confidential, proprietary, and/or legally privileged information from Hardypond Construction. They are intended for the sole use of the addressee. If the reader of this message is not the intended recipient, you are hereby notified that any copying, dissemination, or distribution of confidential, proprietary, or legally privileged information is strictly prohibited. If you have received this fax in error please contact our office at 207.797.6066 and immediately discard all copies of this communication. Thank you. Hardypond Construction

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No: 7-0185	Applicant: CITY HOSPITAL HOUSING ASSO
Project Name: Install new door into existing windo	Location: 1125 BRIGHTON AVE
CBL: 269 B001002	Development Type:
Invoice Date: 02/21/2007	

Previous Balance	Payment Received	Current Fees	Current Payment	Total Due	Payment Due Date
\$0.00	\$0.00	\$130.00			On Receipt

Previous Balance

\$0.00

Fee Description	Qty	Fee/Deposit Charge
Building Permit Fee First \$1000	1	\$30.00
Building Permit Fee Add'l \$1000	1	\$100.00
		<u>\$130.00</u>
Total Current Fees:	+	\$130.00
Total Current Payments:	-	
Amount Due Now:		

 Detach and remit with payment

Bill to: CITY HOSPITAL HOUSING ASSO
 707 SABLE OAKS DR
 SOUTH PORTLAND, ME 04106

CBL 269 B001002
 Application No: 7-0185
 Invoice Date: 02/21/2007
 Invoice No: 26686
 Total Amt Due:
 Payment Amount:

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.



2007 0044

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Hardy Pond Construction
Applicant

2/21/07
Application Date

1039 Riverside St - suite 11
Applicant's Mailing Address

Project Name/Description

Jeffrey Frey 671-2678
Consultant/Agent/Phone Number

1125 Brighton Ave
Address of Proposed Site

CBL: 269-B-001-002

Description of Proposed Development:
INSTALLING A DOOR INTO AN EXISTING WINDOW AND TO ADD EXTERIOR STAIRS - FROM LAUNDRY/POWER PLANT BLDG

Please Attach Sketch/Plan of Proposal/Development

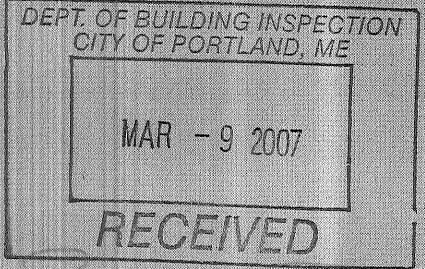
Criteria for Exemptions:
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
No	OK
Yes	OK
✓	✓
✓	✓
✓	✓
✓	✓
✓	✓
✓	✓

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied



Planner's Signature Debarbara Barakat

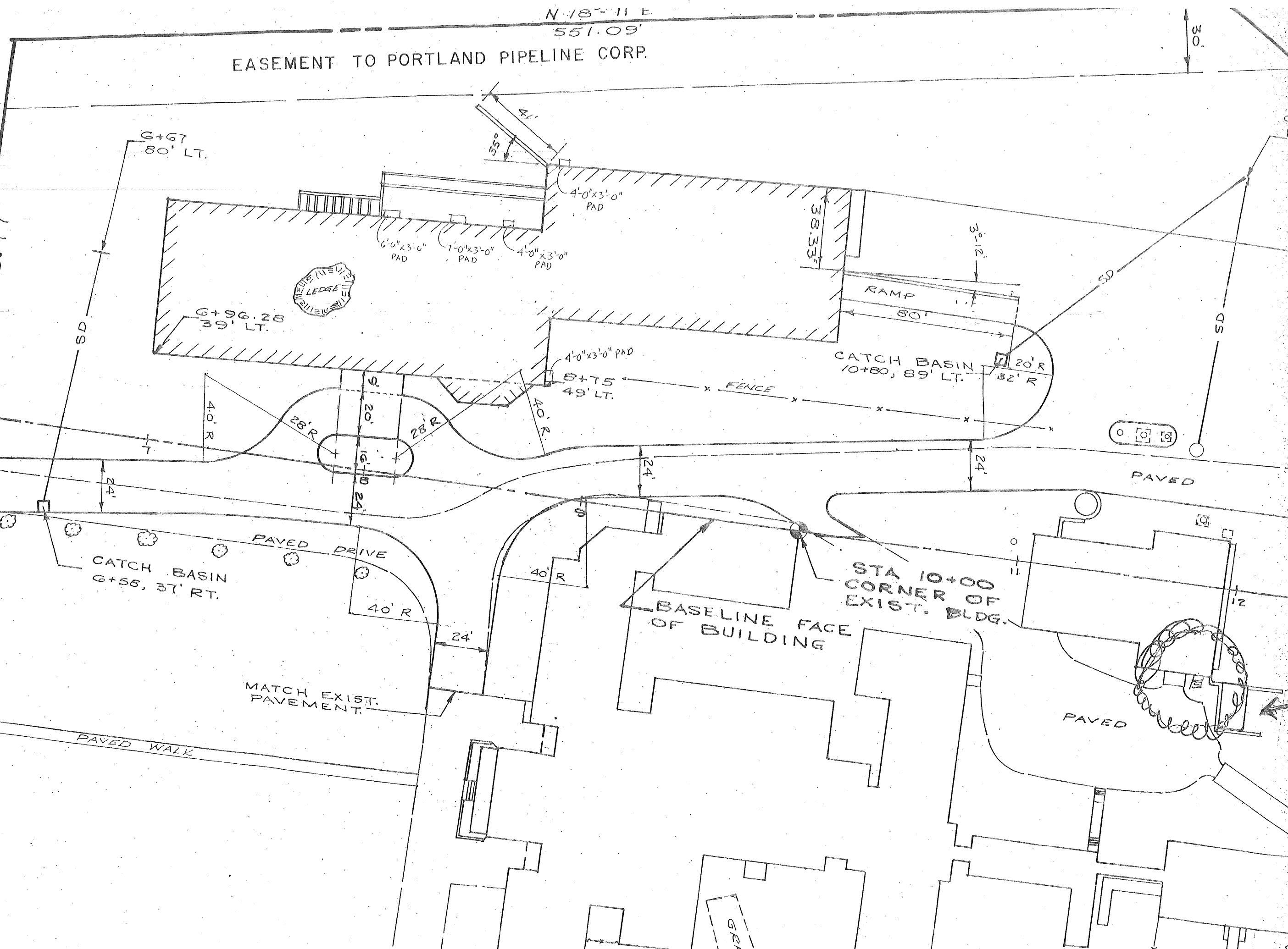
Date 3/5/07

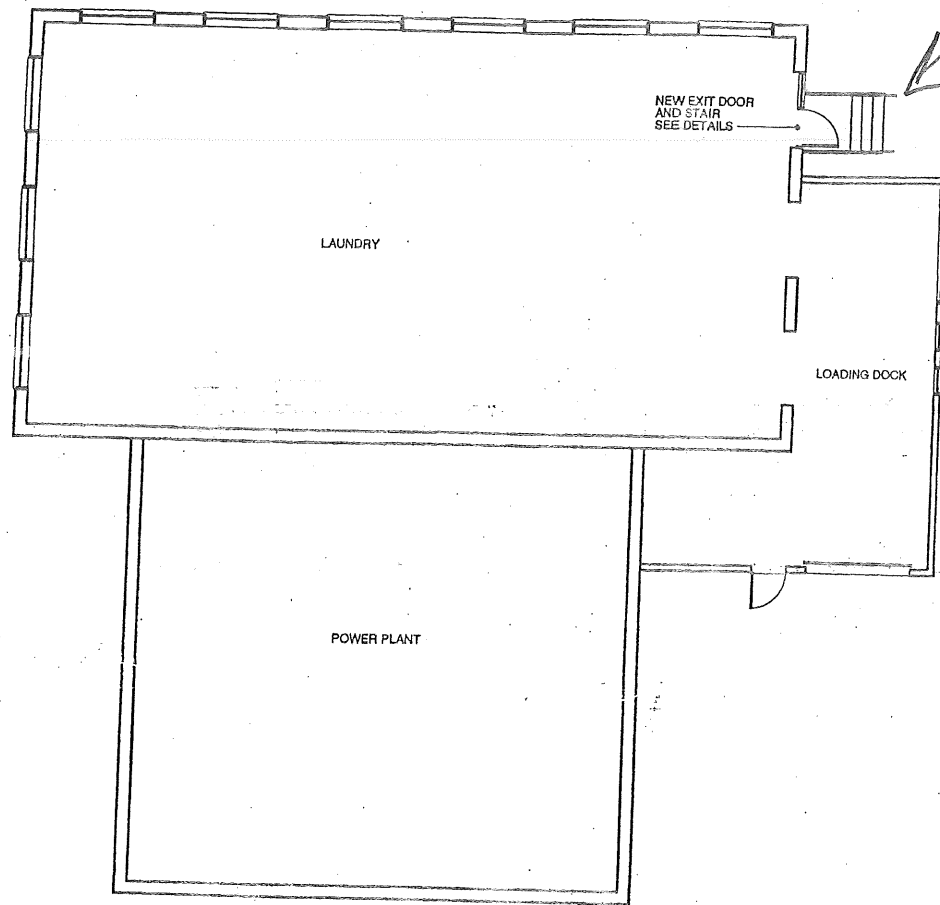
N 18° 11' E
551.09'
EASEMENT TO PORTLAND PIPELINE CORP.

Brighton
AVE

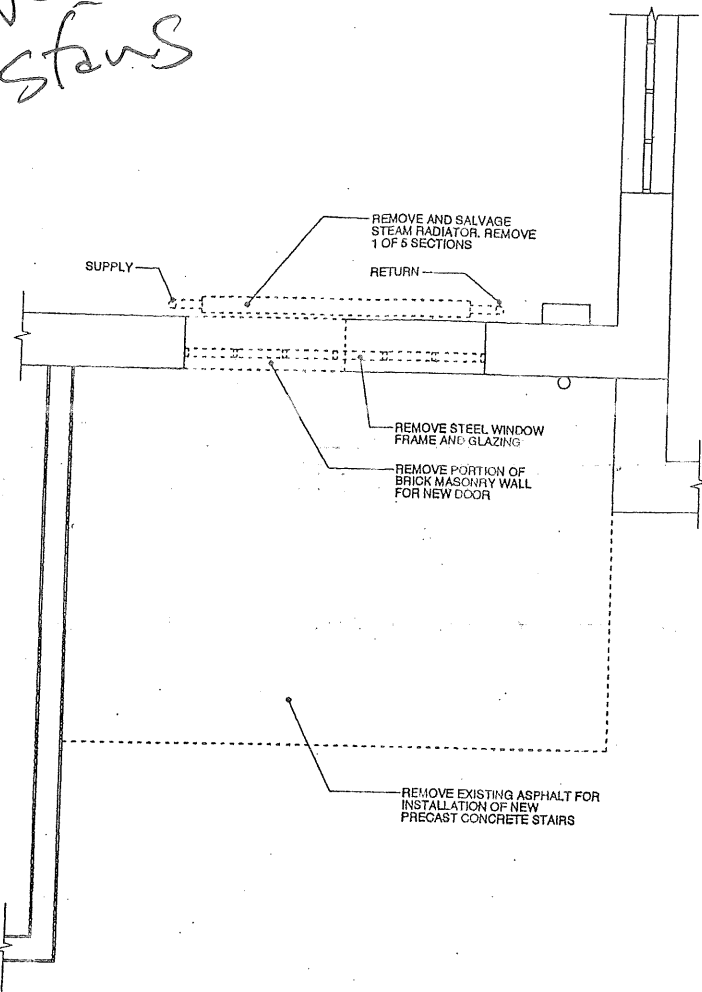
N 62° 47' 10" W
258.77'

N 56° 30' 10" W
411.65'

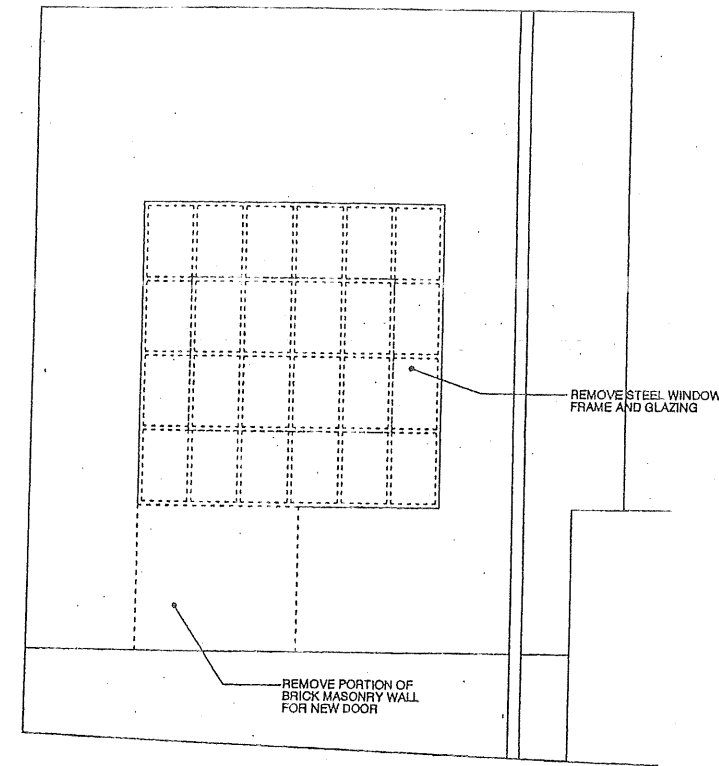




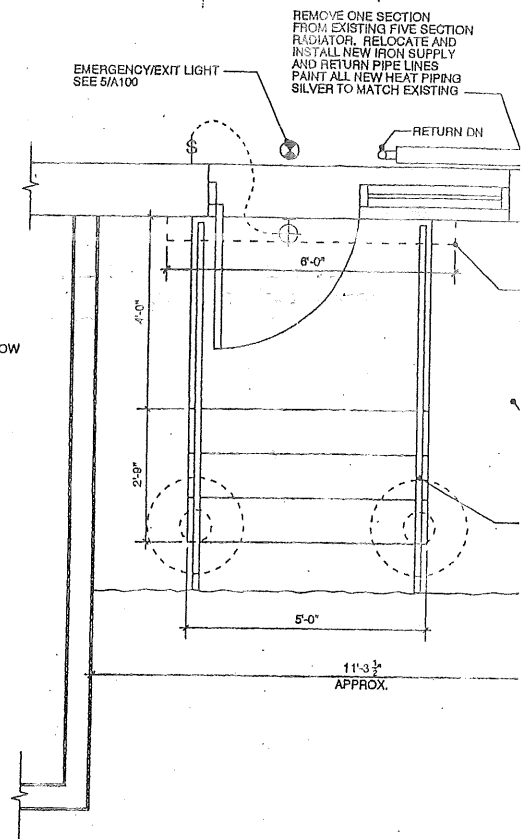
1 BUILDING PLAN
SCALE: 1/8" = 1'-0"



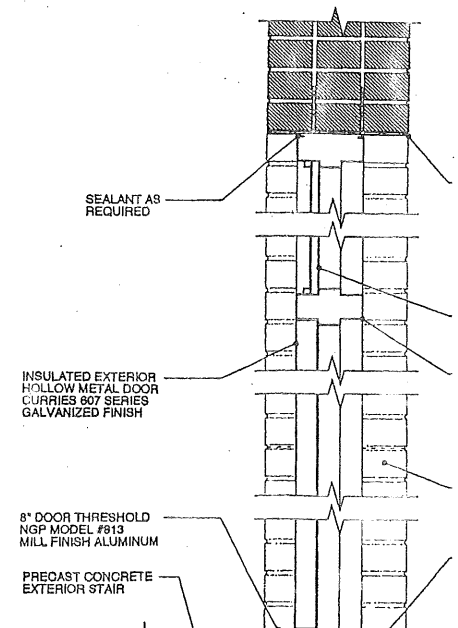
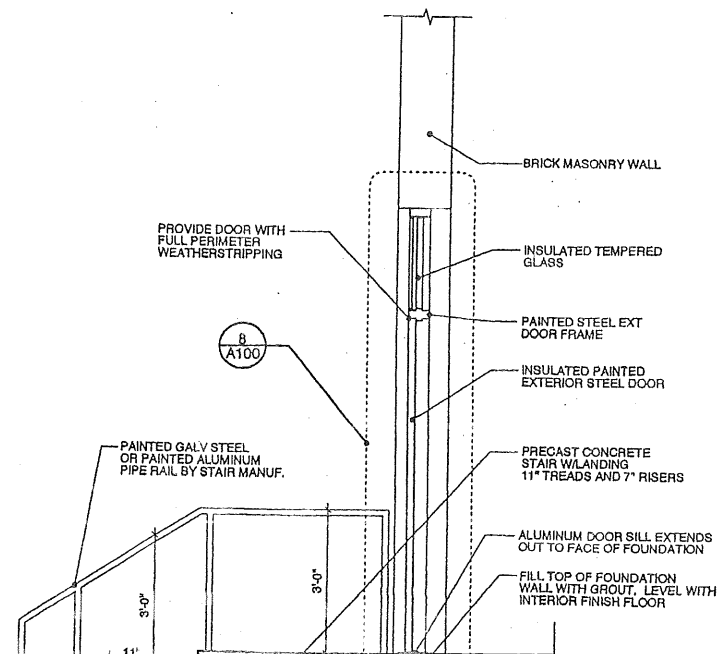
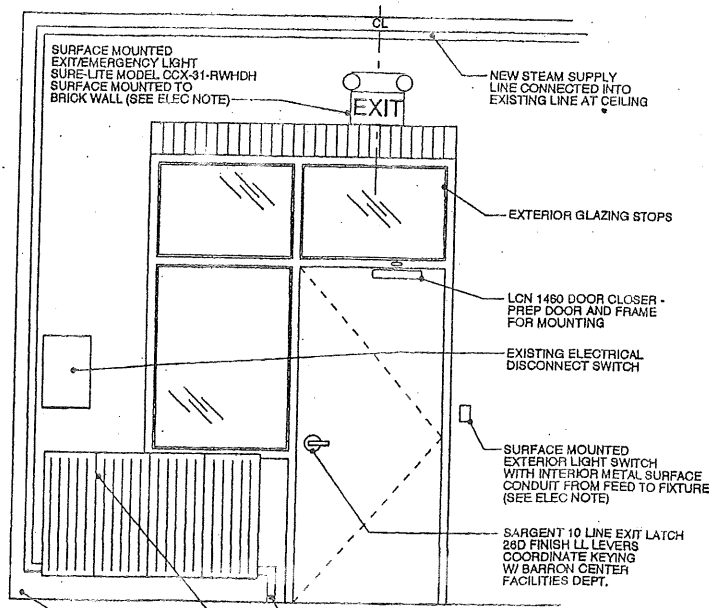
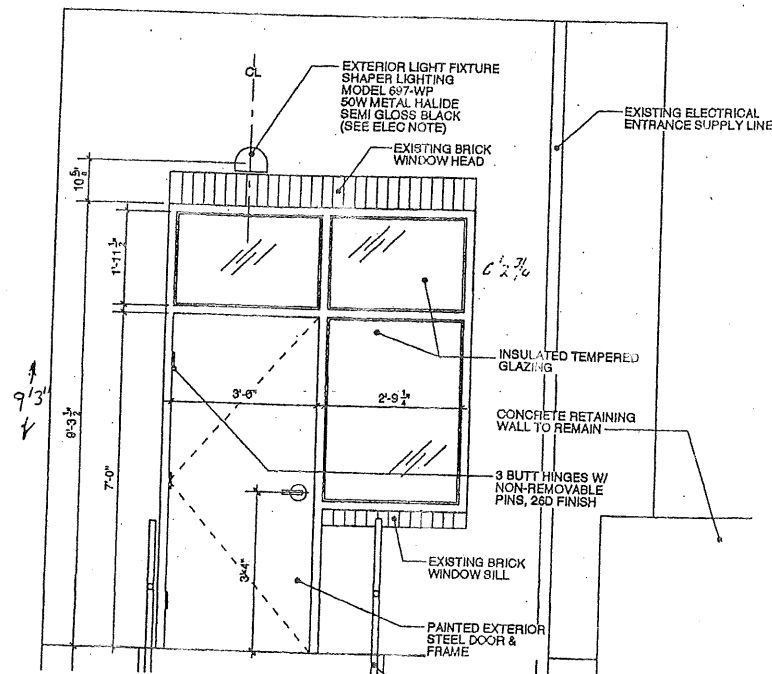
2 DEMOLITION PLAN
SCALE: 1/2" = 1'-0"

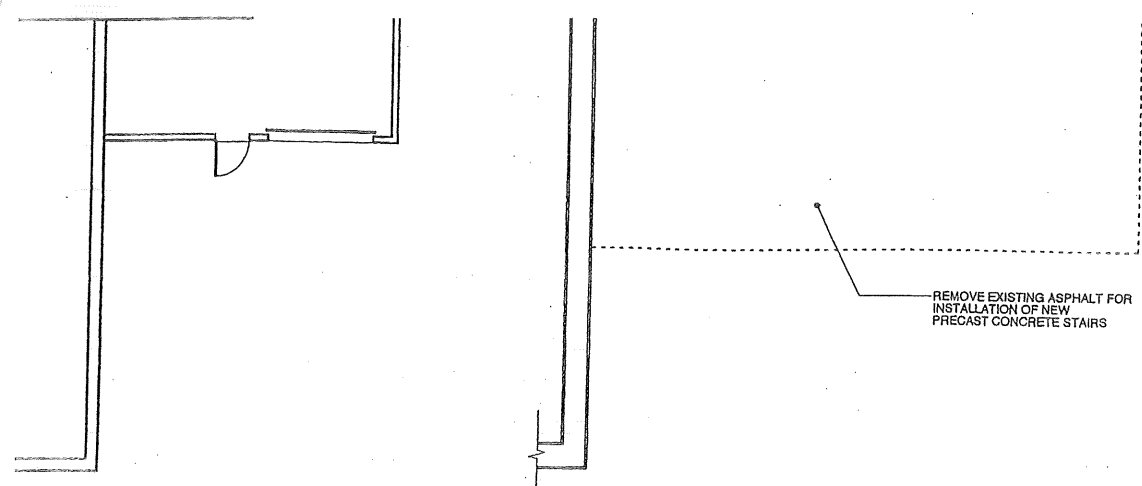


3 DEMOLITION ELEVATION
SCALE: 1/2" = 1'-0"

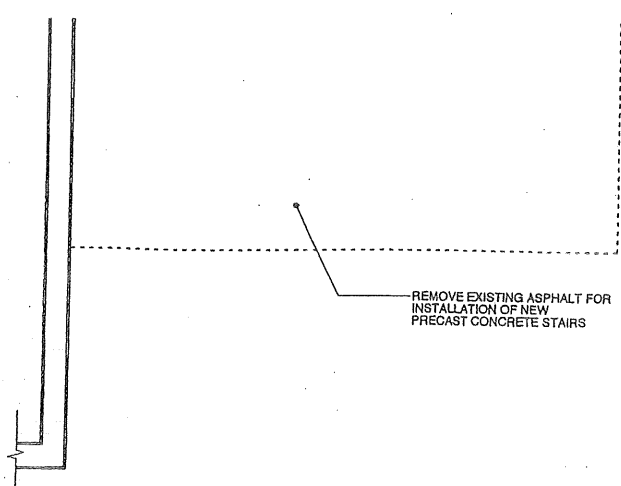


4 FLOOR PLAN
SCALE: 1/2" = 1'-0"

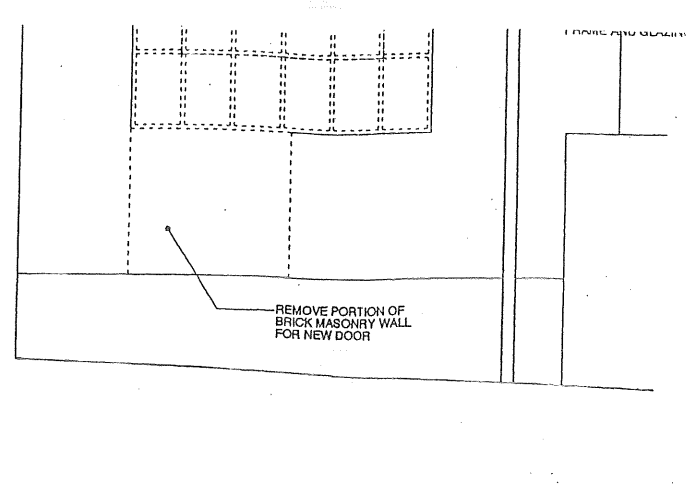




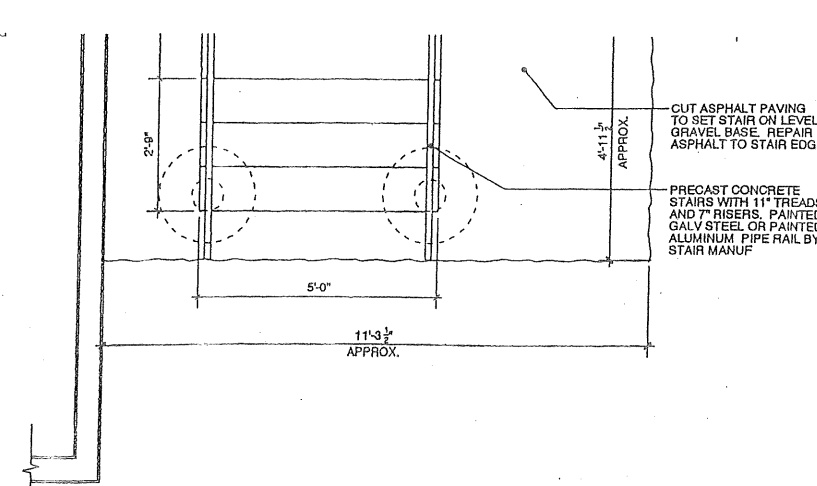
1 BUILDING PLAN
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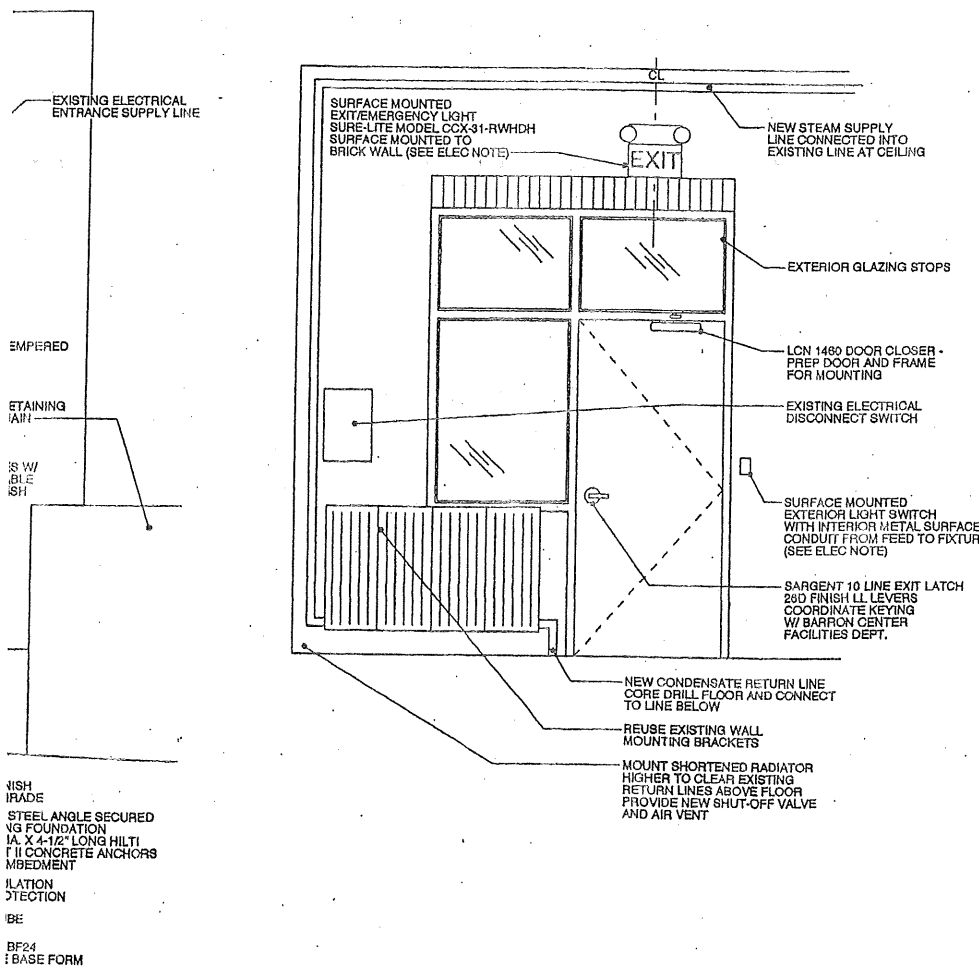
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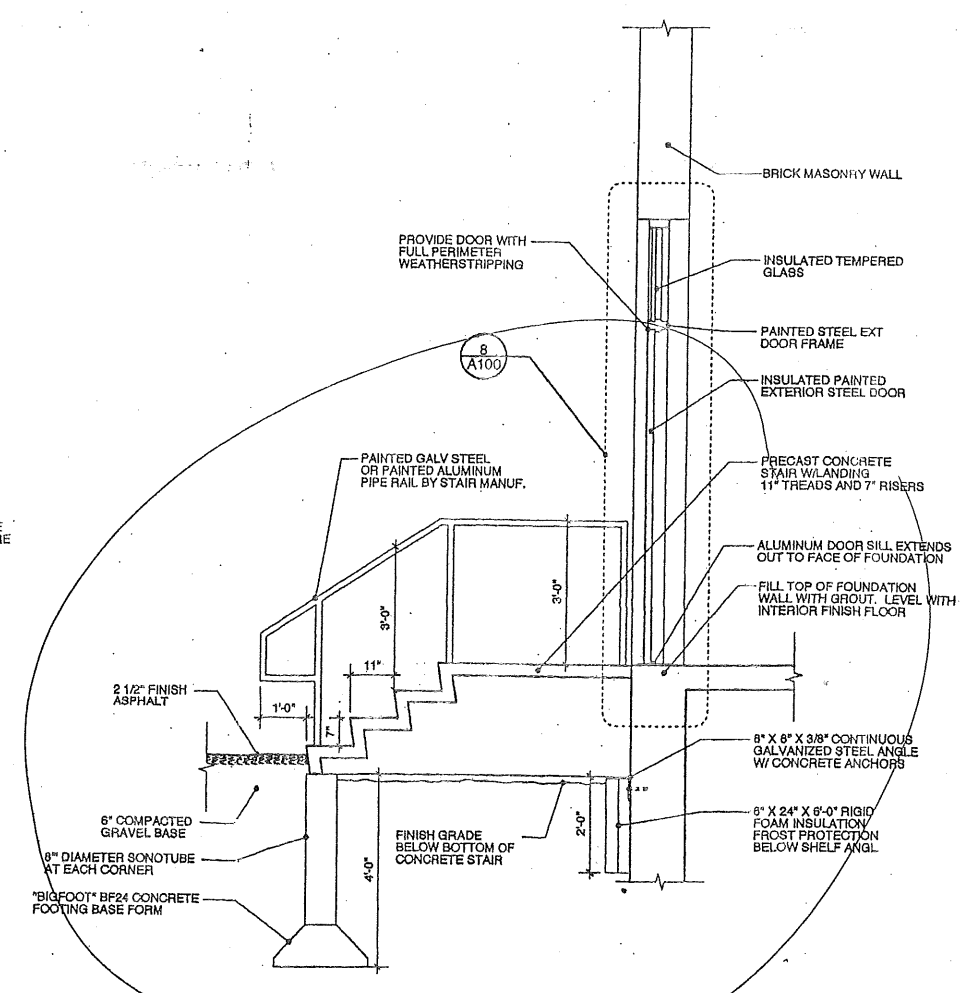
3 DEMOLITION ELEVATION
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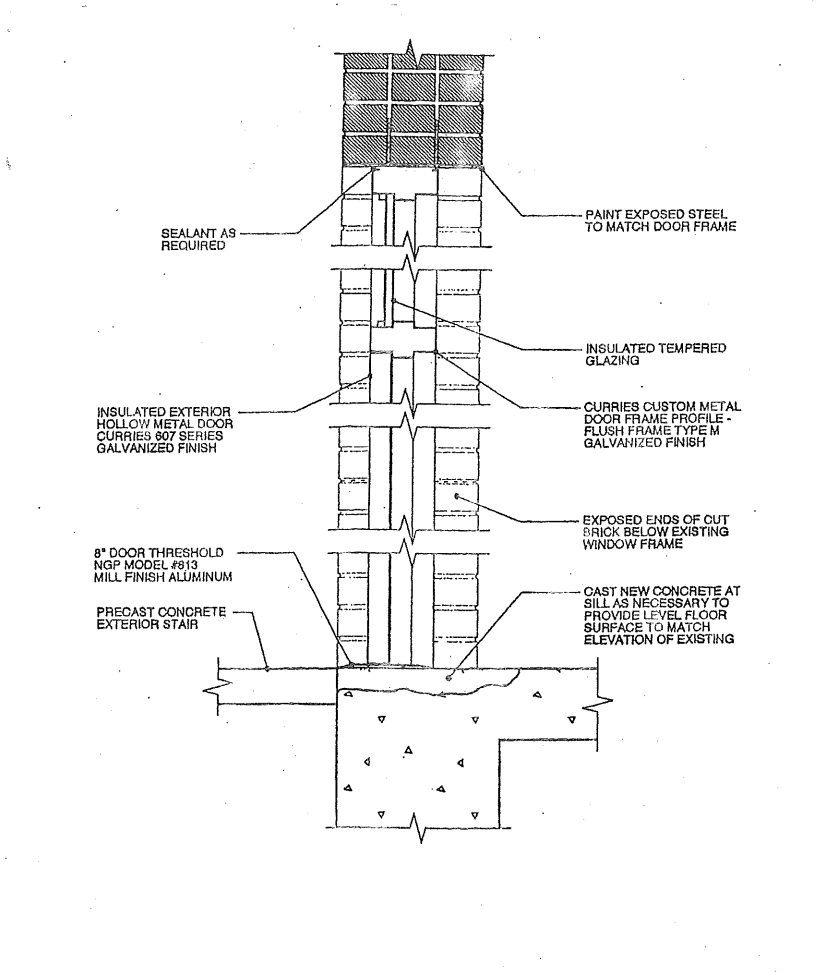
4 FLOOR PLAN
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



7 SECTION
SCALE: 1/2" = 1'-0"



8 DOOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES:
1) ALL ELECTRICAL MATERIAL SUPPLIED, INSTALLED AND ELECTRICAL WORK PERFORMED BY BARRON CENTER FACILITIES STAFF. GC SHALL COORDINATE ALL WORK.

Scott Simons Architects
75 York Street
Portland, Maine 04101
phone 207 772 4650
fax 207 826 4656

SCOTT R. SIMONS
NO. 2034
LICENSED ARCHITECT

THIS DRAWING IS THE PROPERTY OF SCOTT SIMONS ARCHITECTS AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE.

PROJECT
BARRON CENTER LAUNDRY EXIT DOOR

BRIGHTON AVE.
PORTLAND, MAINE

TITLE
ELEVATIONS, PLANS, SECTIONS, AND DETAILS

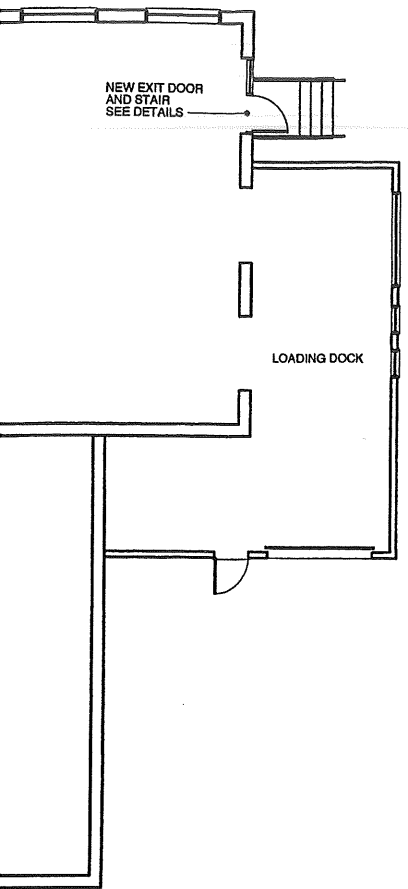
STATUS:
CONSTRUCTION SET

DATE: 12.14.2008
SCALE: AS NOTED
PROJECT NO. 2008-0190
DRAWN BY:

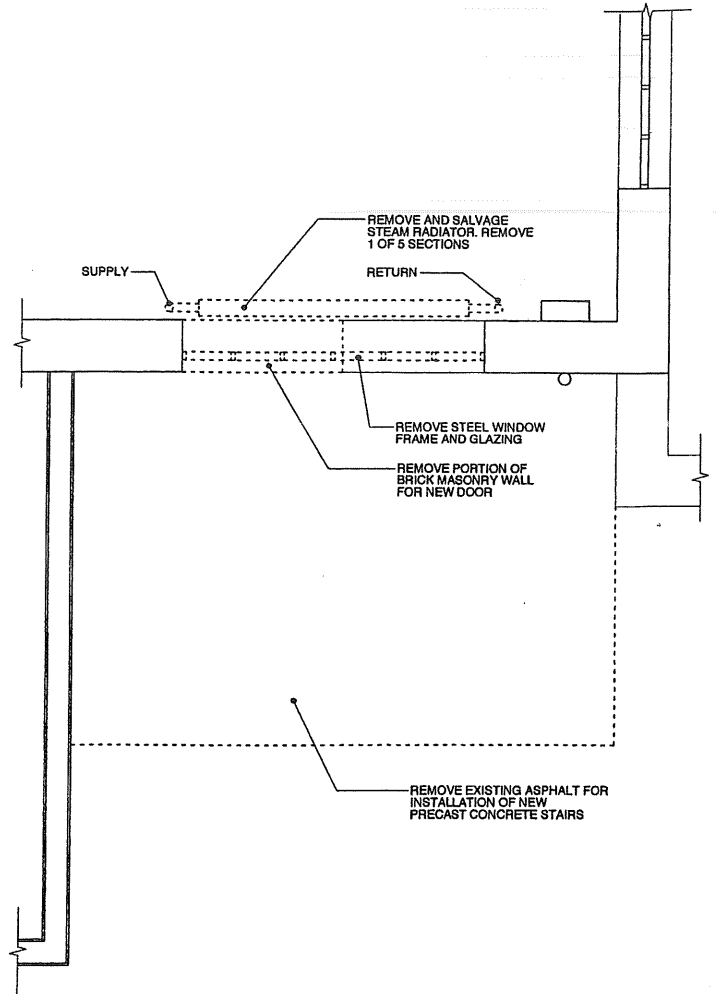
REVISION / DATE:

2008 © Scott Simons Architects

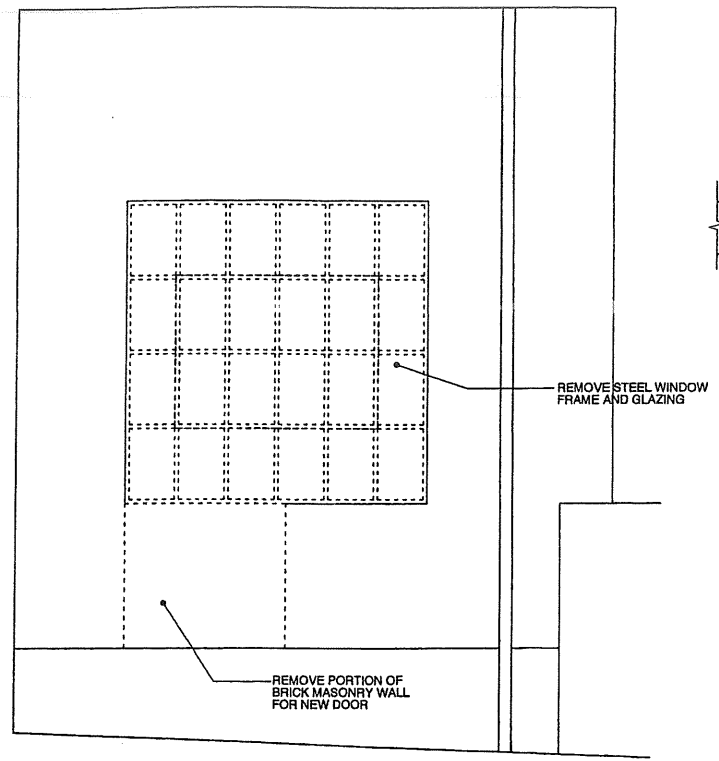
DWG NO. **A100**



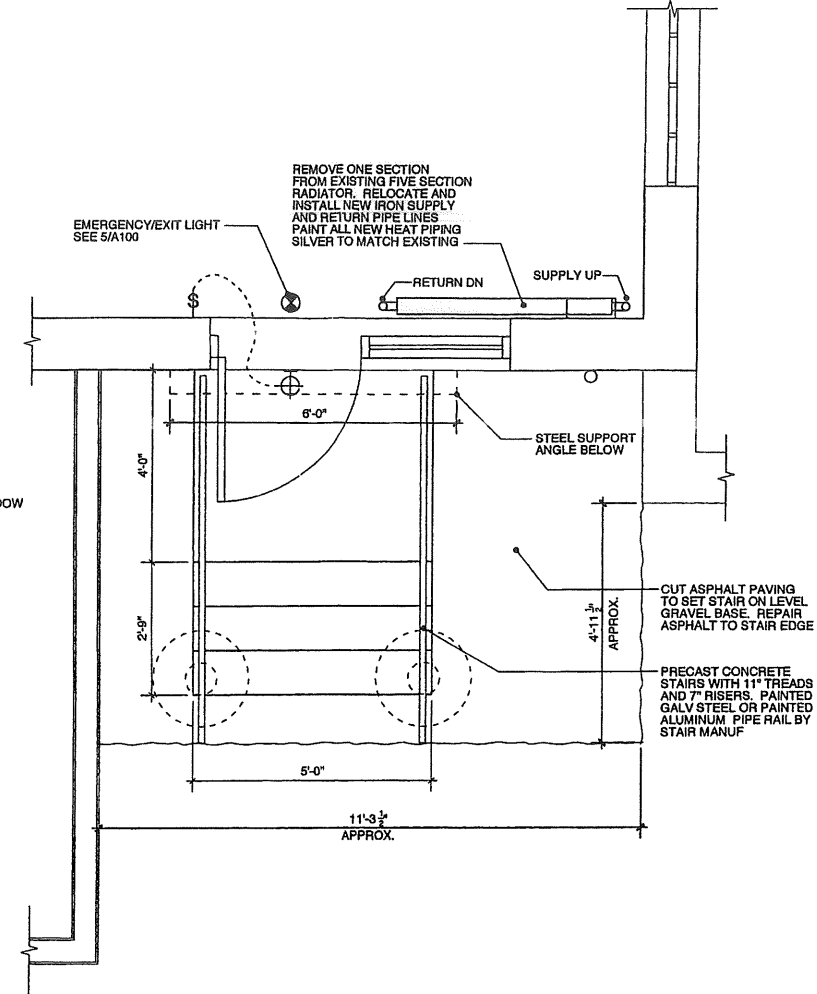
1 BUILDING PLAN
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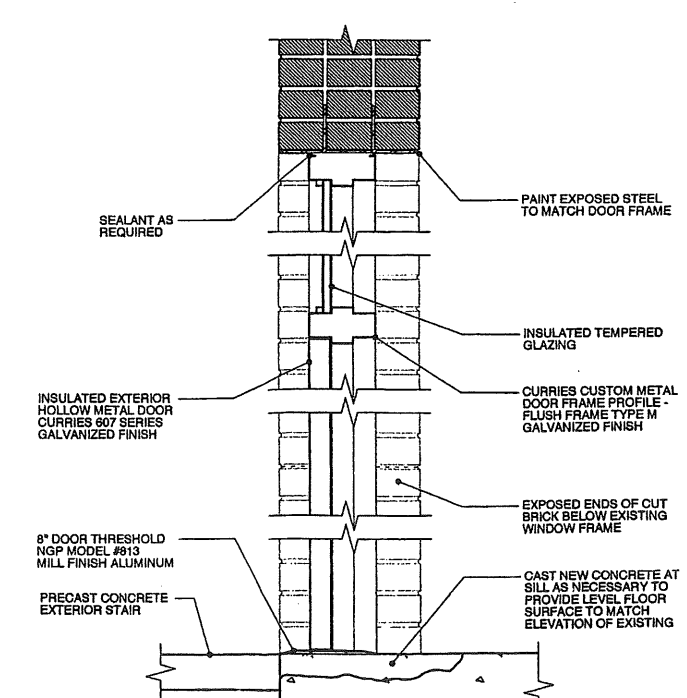
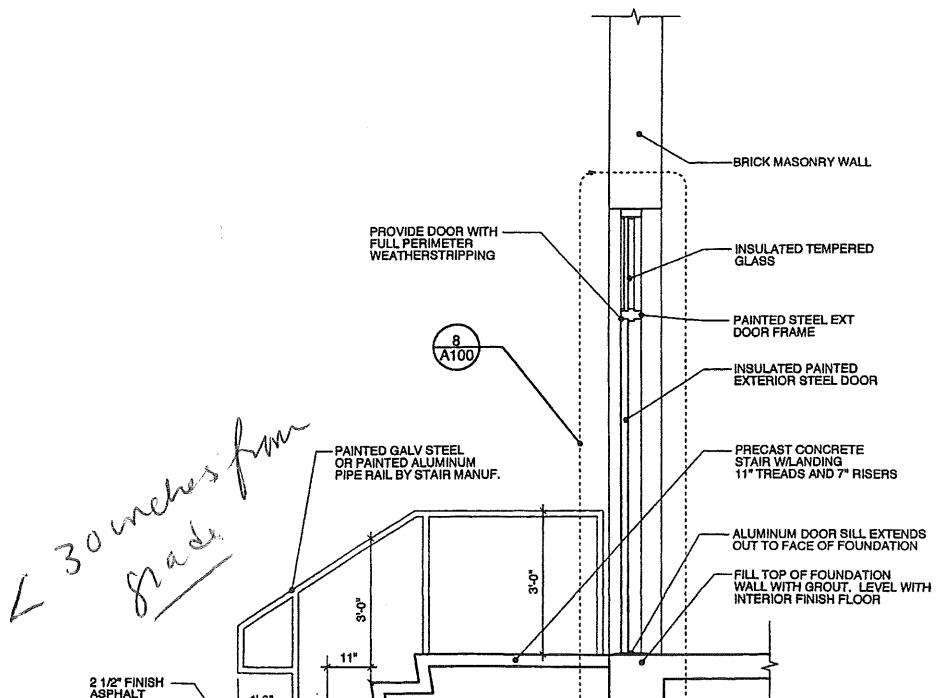
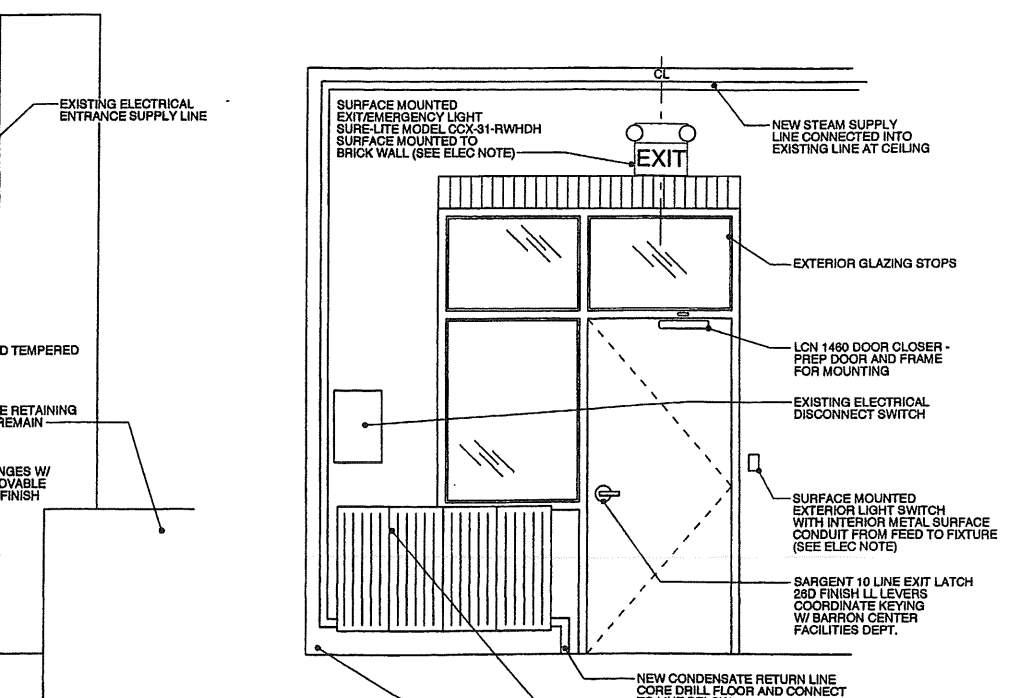
2 DEMOLITION PLAN
SCALE: 1/2" = 1'-0"



3 DEMOLITION ELEVATION
SCALE: 1/2" = 1'-0"



4 FLOOR PLAN
SCALE: 1/2" = 1'-0"



Scott Simons Architects

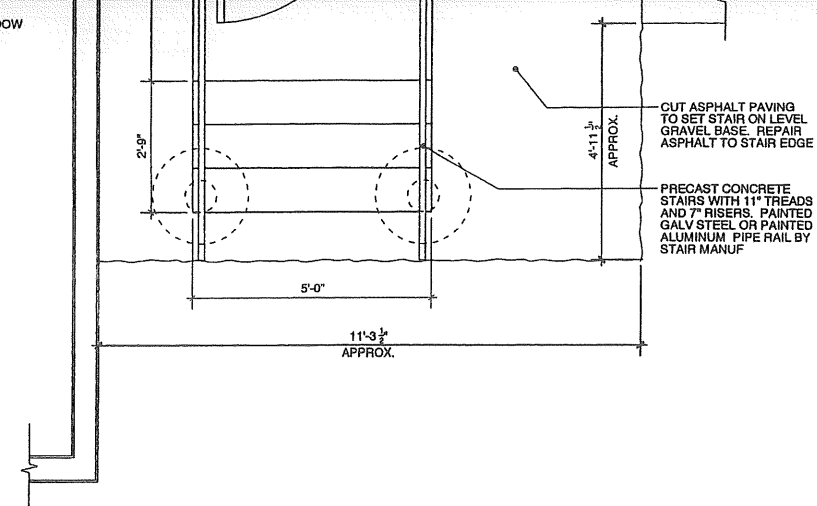
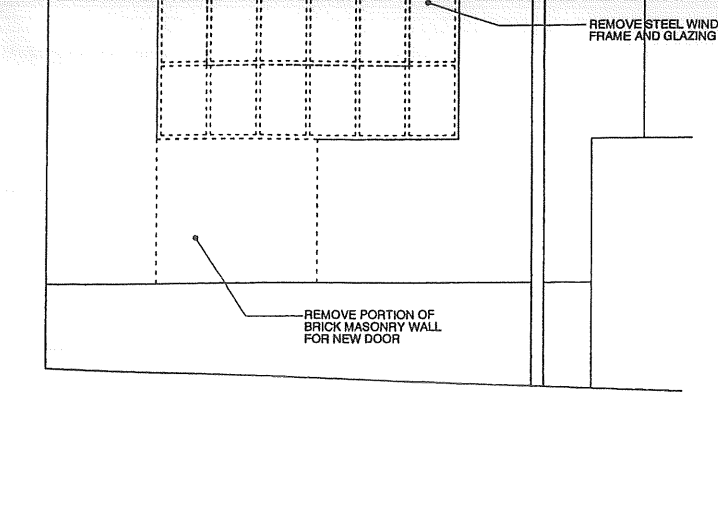
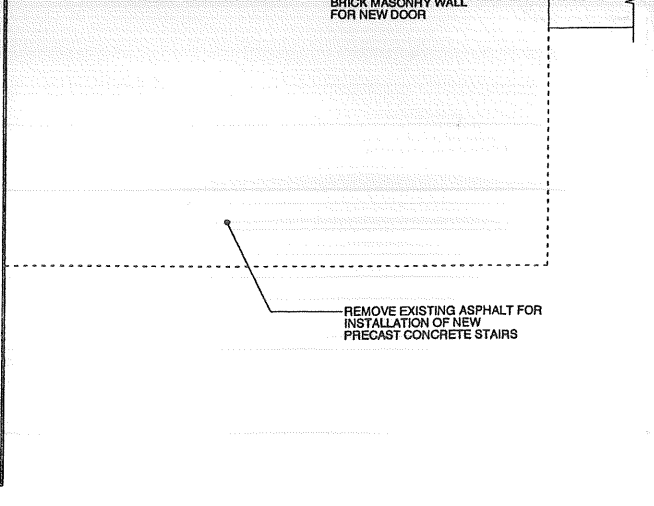
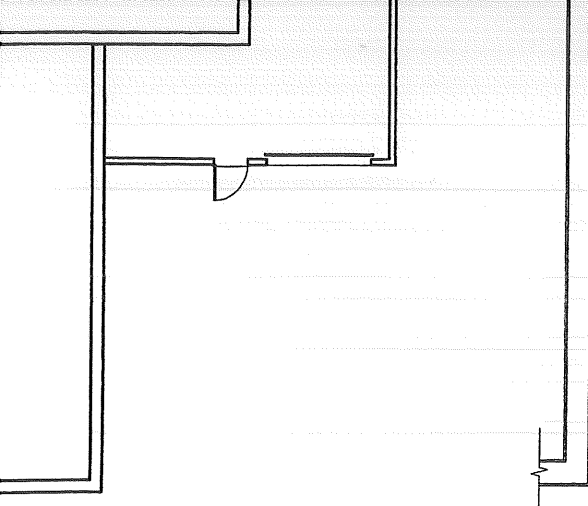
75 York Street
Portland, Maine 04101
phone 207 772-6956
fax 207 638-4656

SCOTT R. SIMONS
NO. 2004
LICENSED ARCHITECT

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PROJECT

BARRON CENTER LAUNDRY EXIT DOOR

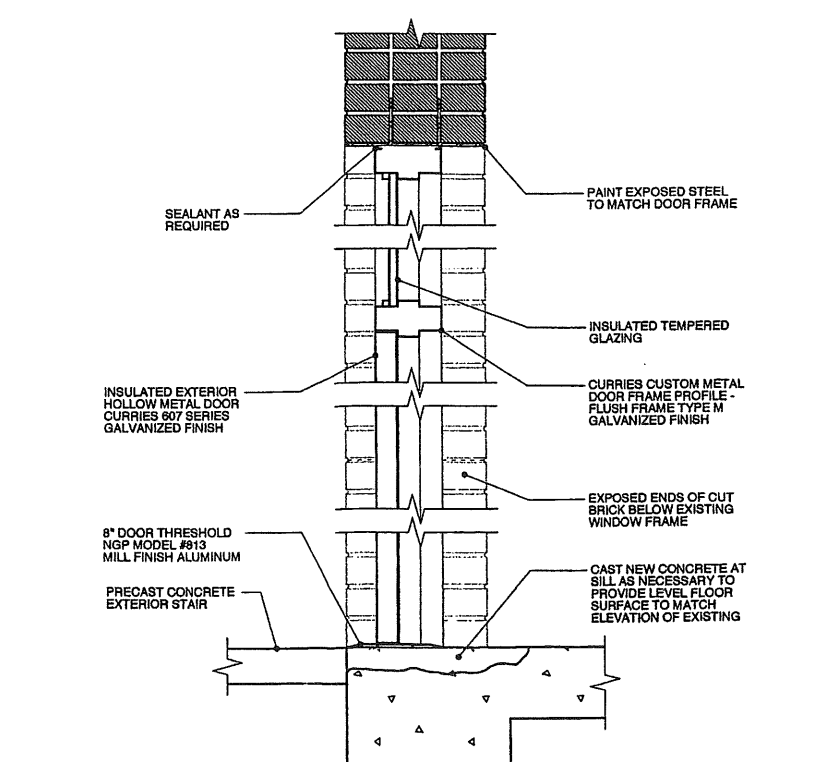
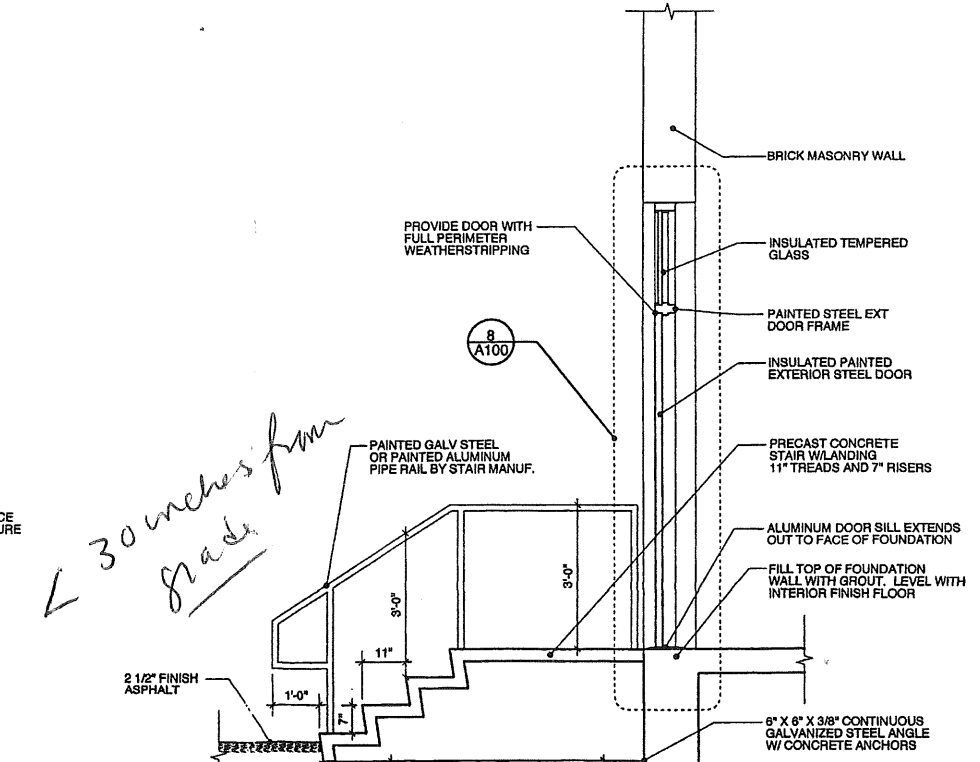
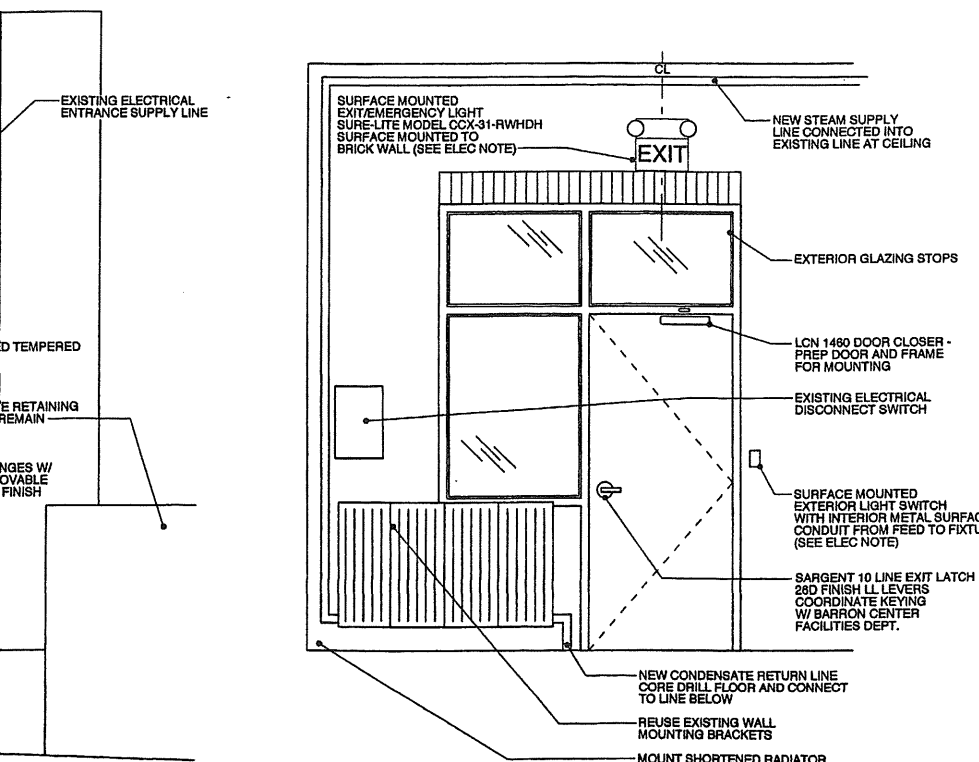


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SCALE: 1/8" = 1'-0"

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SCALE: 1/2" = 1'-0"

3 DEMOLITION ELEVATION
SCALE: 1/2" = 1'-0"

4 FLOOR PLAN
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

7 SECTION
SCALE: 1/2" = 1'-0"

8 DOOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES:
1) ALL ELECTRICAL MATERIAL SUPPLIED, INSTALLED AND ELECTRICAL WORK PERFORMED BY BARRON CENTER FACILITIES STAFF. GC SHALL COORDINATE ALL WORK.

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SCOTT R. SIMONS
LICENSED ARCHITECT
NOV 2003

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PROJECT
BARRON CENTER LAUNDRY EXIT DOOR

BRIGHTON AVE.
PORTLAND, MAINE

TITLE
ELEVATIONS, PLANS, SECTIONS, AND DETAILS

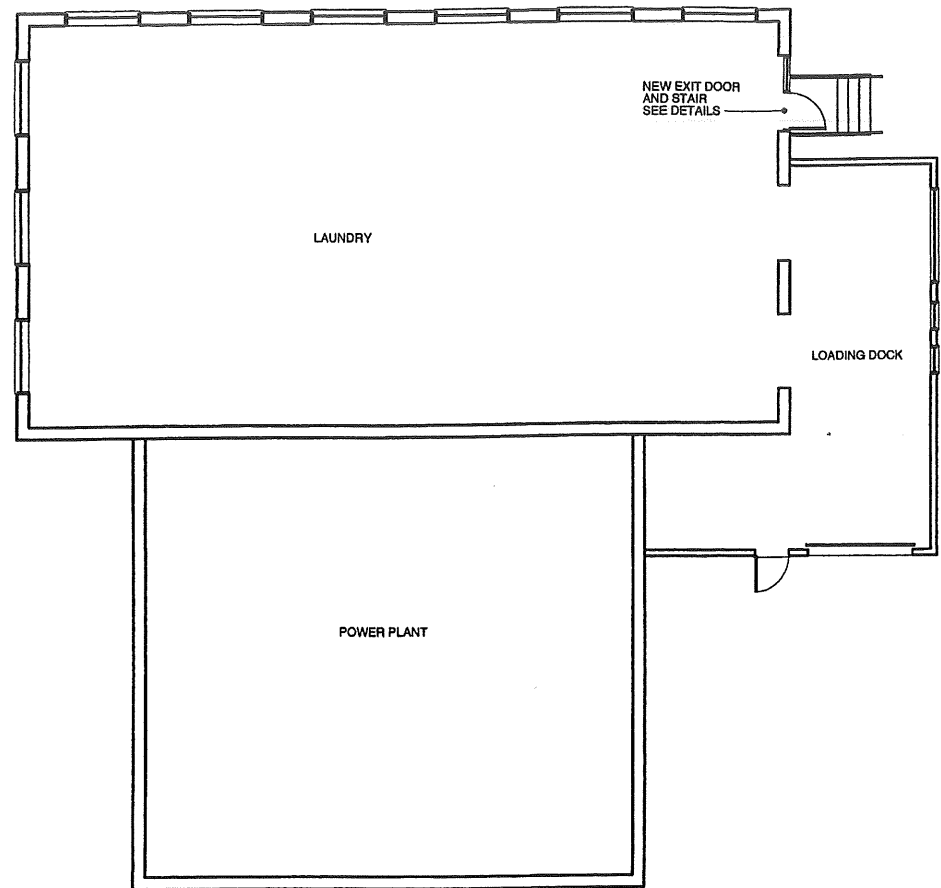
STATUS:
CONSTRUCTION SET

DATE: 12.14.2006
SCALE: AS NOTED
PROJECT NO. 2006-0190
DRAWN BY: [Signature]

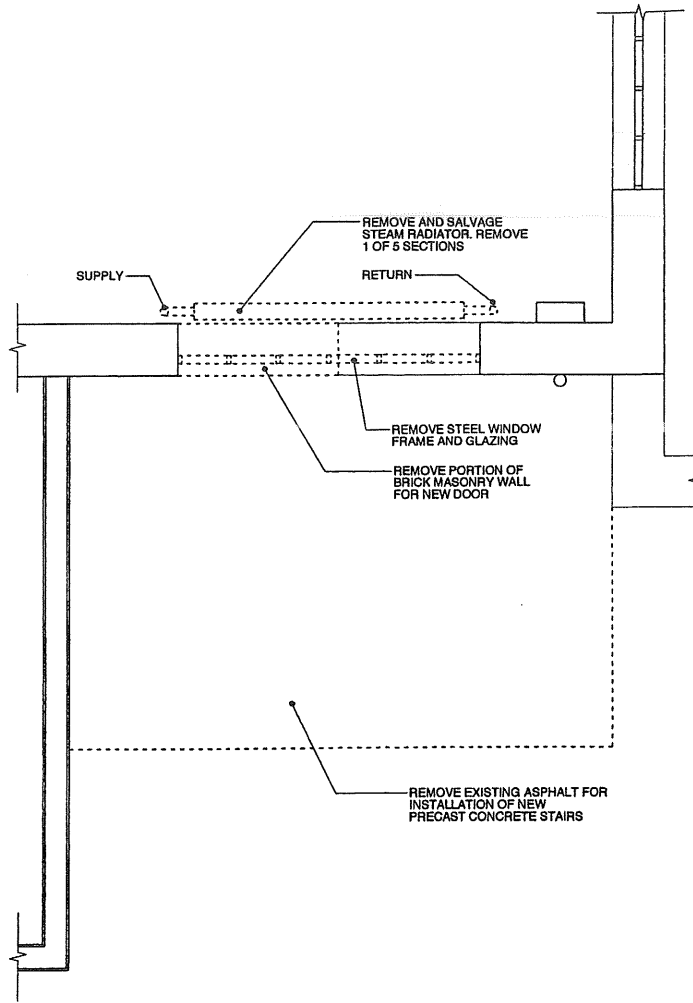
REVISION / DATE:
2006 © Scott Simons Architects

DWG NO. **A100**

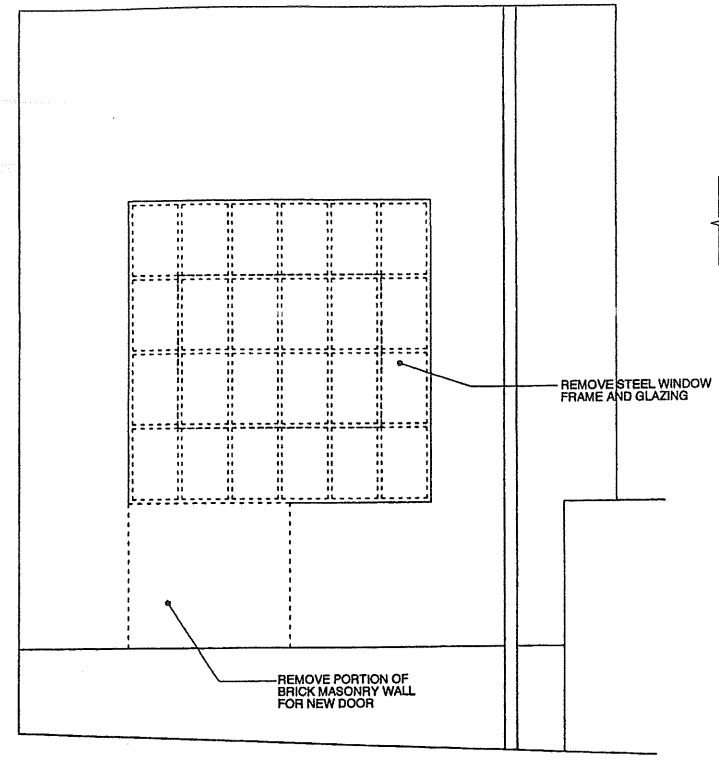
< 30 inches from grade



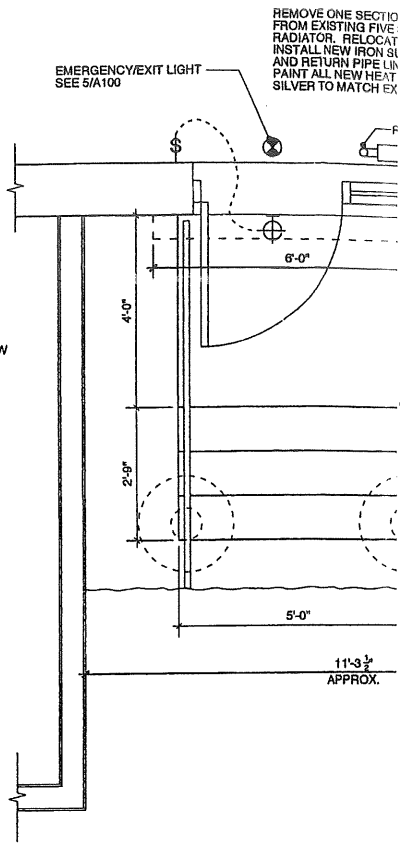
1 BUILDING PLAN
SCALE: 1/8" = 1'-0"



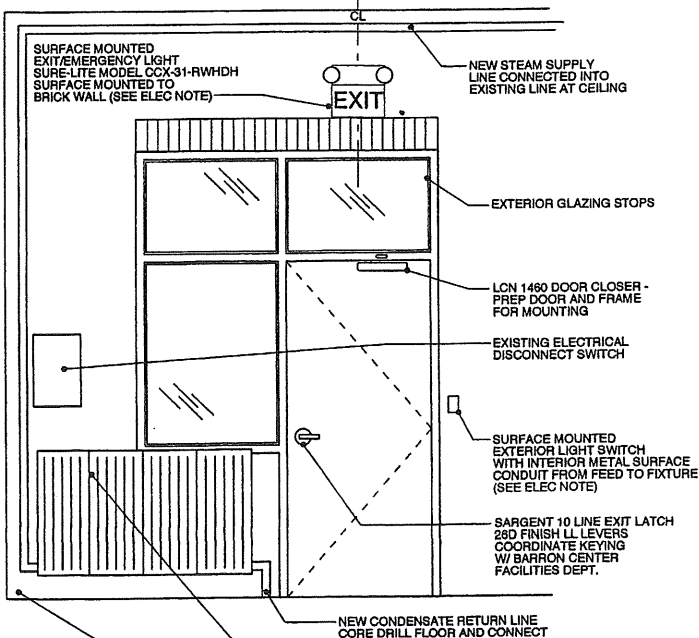
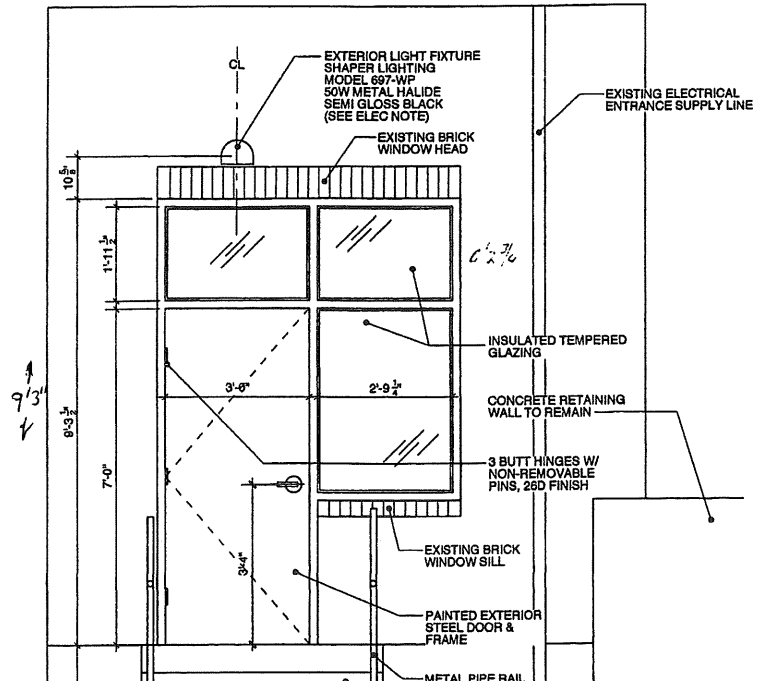
2 DEMOLITION PLAN
SCALE: 1/2" = 1'-0"



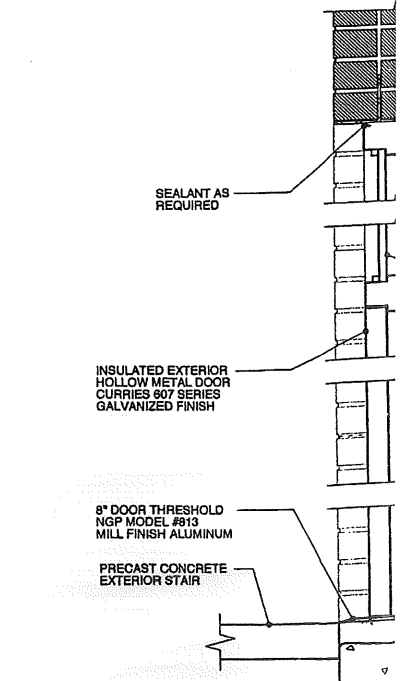
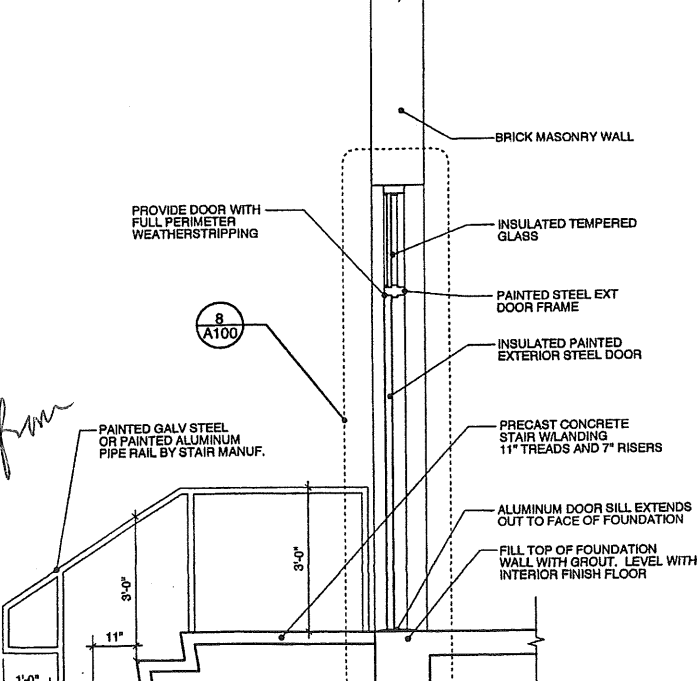
3 DEMOLITION ELEVATION
SCALE: 1/2" = 1'-0"

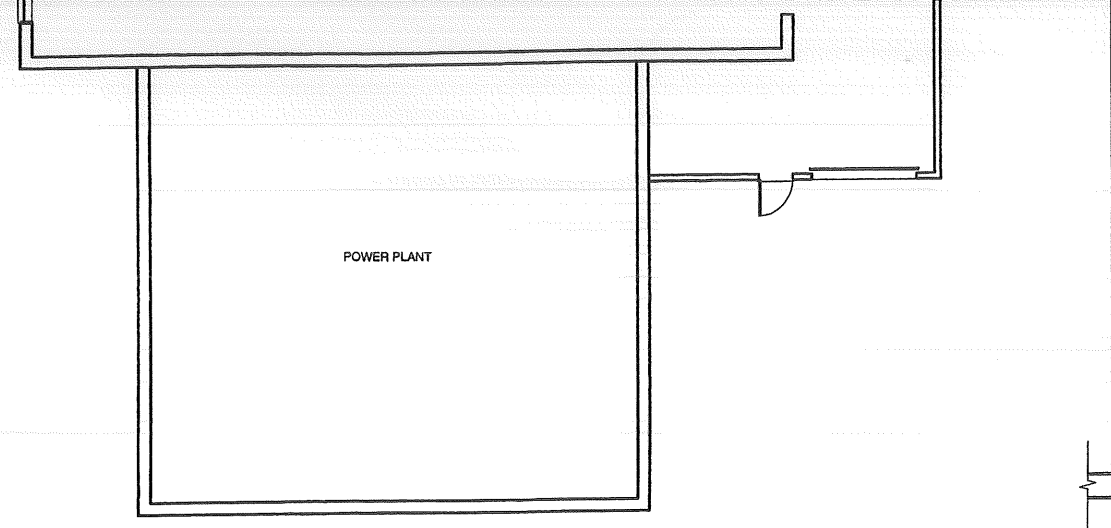


4 FLOOR PLAN
SCALE: 1/2" = 1'-0"

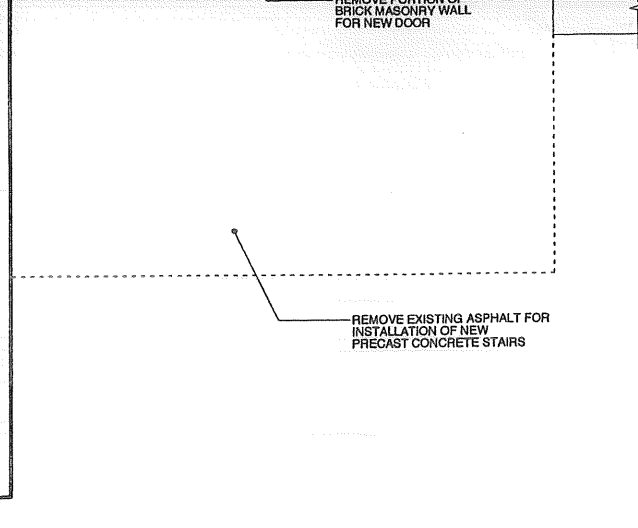


< 30 inches from grade

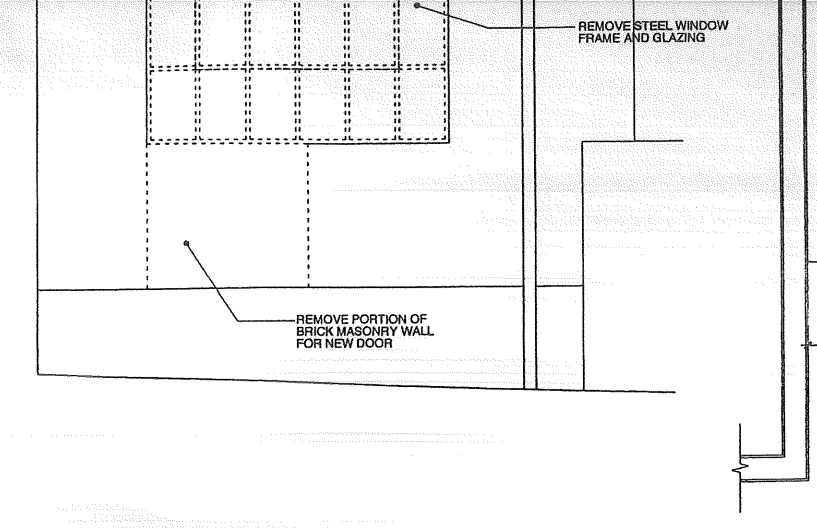




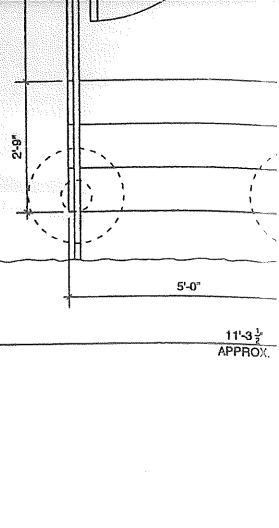
1 BUILDING PLAN
SCALE: 1/8" = 1'-0"



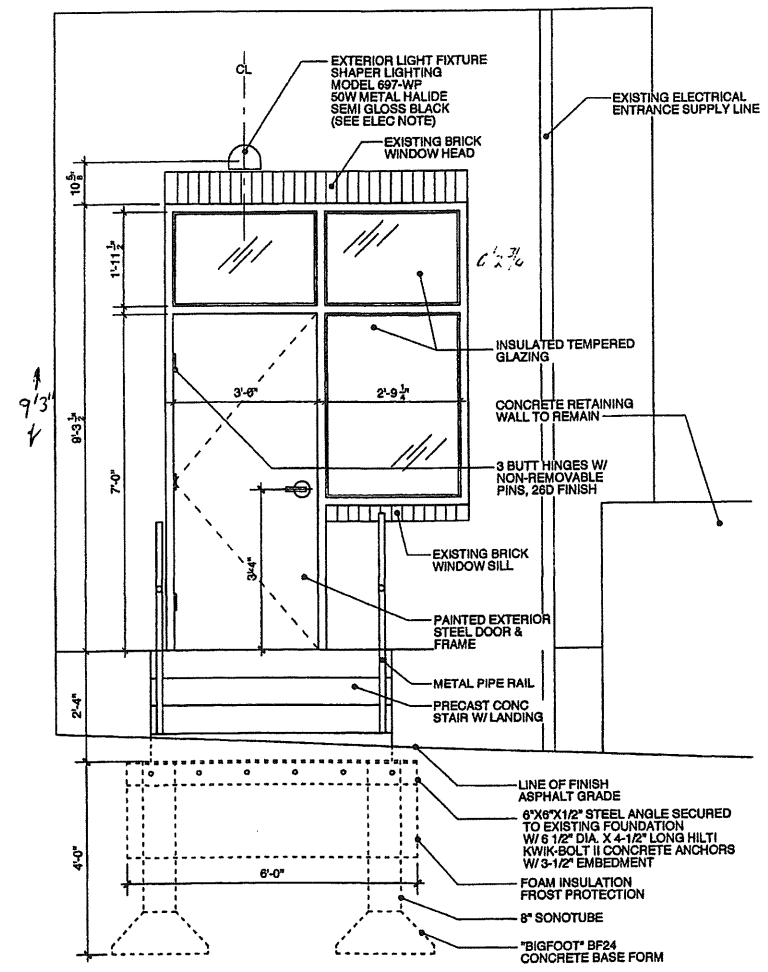
2 DEMOLITION PLAN
SCALE: 1/2" = 1'-0"



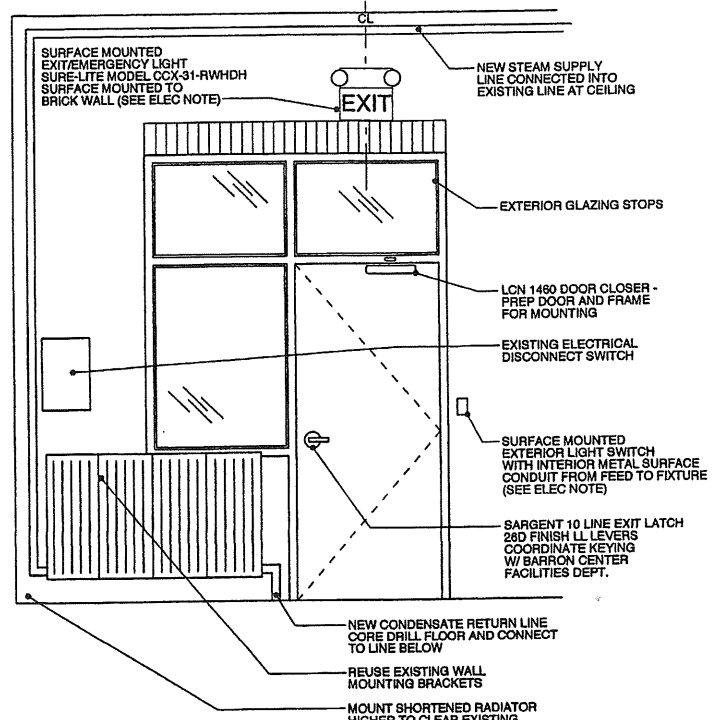
3 DEMOLITION ELEVATION
SCALE: 1/2" = 1'-0"



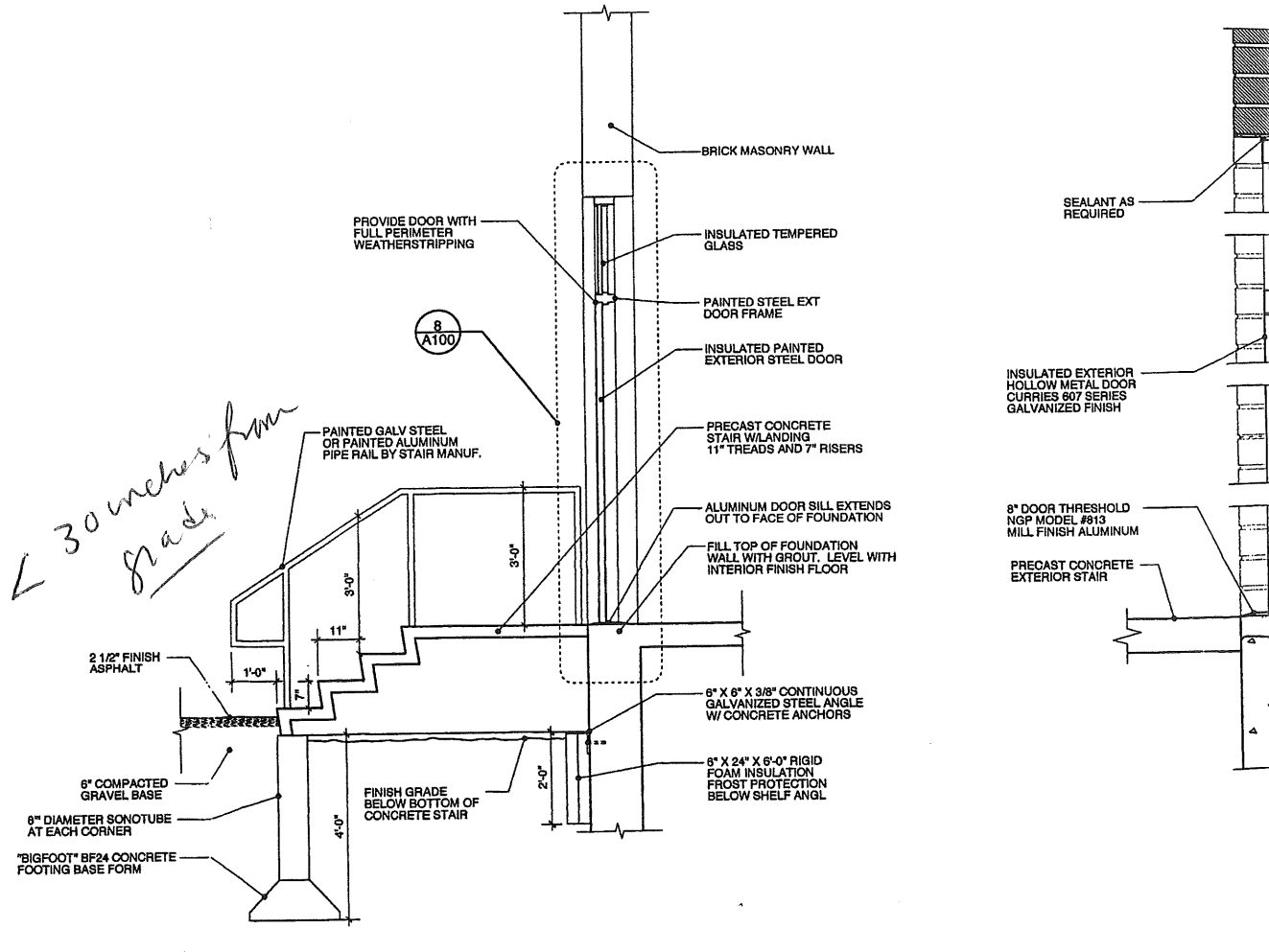
4 FLOOR PLAN
SCALE: 1/2" = 1'-0"



5 EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



7 SECTION
SCALE: 1/2" = 1'-0"

8 DOOR
SCALE: 1 1/2"

GENERAL NOT
1) ALL ELECTRICAL WORK TO BE DONE BY LICENSED ELECTRICAL WORKERS. GC SHALL VERIFY ALL WORK.

BRIGHTON

N 18° 11' E
551.09'

EASEMENT TO PORTLAND PIPELINE CORP.

N 62° 47' 10" W
258.77'

6+67
80' LT.

6+96.28
39' LT.



6'-0" x 3'-0" PAD
7'-0" x 3'-0" PAD
4'-0" x 3'-0" PAD

4'-0" x 3'-0" PAD

4'-0" x 3'-0" PAD

8+75
49' LT.

38.33'

RAMP

80'

CATCH BASIN
10+80, 89' LT.

20' R
32' R

FENCE

PAVED

ST.

SD

SD

SD

40' R

28' R

28' R

40' R

CATCH BASIN
6+58, 37' RT.

PAVED DRIVE

40' R

MATCH EXIST.
PAVEMENT.

PAVED WALK

BASELINE FACE
OF BUILDING

STA 10+00
CORNER OF
EXIST. BLDG.

PAVED

N 56° 30' 10" W
SD 117
414