

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that SPIRIT MASTER FUNDING

Located At 195 RIVERSIDE ST

Job ID: 2011-04-809-ALTCOMM

CBL: 268 - - A - 007 - 002 - - - -

has permission to Reconfigure the location of the alignment bay/sales area and add mezzanine above the sales /waiting room provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

[Handwritten signature]

Fire Prevention Officer

[Handwritten signature] 5/16/11
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

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CITY OF PORTLAND BUILDING PERMIT

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Mike Puk G.

Fire Prevention Officer

[Signature] 5/16/11

Code Enforcement Officer / Plan Reviewer

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PENALTY FOR REMOVING THIS CARD

9-21-11 DWM/BKL/capt. Pirone
final ok except fire + elec

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-04-809-ALTCOMM	Date Applied: 4/13/2011	CBL: 268 - - A - 007 - 002 - - - -	
Location of Construction: 195 RIVERSIDE ST	Owner Name: MASTER FUNDING SPIRIT	Owner Address: 14631 NORTH SCOTTSDALE RD STE SCOTTSDALE, AZ - ARIZONA 85254	Phone:
Business Name: Tire Warehouse (Monro Muffler/ Brake, Inc.)	Contractor Name: George Closson @ SOC Construction, INC	Contractor Address: 200 Main ST Winsted CONNECTICUT 06098	Phone: (860) 379-3891
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-4
Past Use: Tire Sales & Services	Proposed Use: Same: Tire Sales & Services - To add 2 nd floor Mezzanine <i>for a sales/waiting room</i> <i>Above the</i>	Cost of Work: \$8,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A <i>nonsprinkled</i>	Inspection: Use Group: <i>5-1/m/</i> Type: <i>5B</i> <i>IBC 2009</i> Signature: <i>[Signature]</i>
Proposed Project Description: 195 Riverside Street : Interior alterations to add a mezzanine		Pedestrian Activities District (P.A.D.) <i>5/16/11</i>	
Permit Taken By: Lannie		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>4/14/11</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

6-28-11 DWM Luke 2339016 ~~to~~ Framing Provider:

TJI spars, support details, clips at new car door header

7-11-11 DWM Rec'd Framing details. OK to close except
clips at car door header.

Job Summary Report
Job ID: 2011-04-809-ALTCOMM

Report generated on Apr 14, 2011 2:38:20 PM

Page 1

Job Type:	Adds/Alter Commercial	Job Description:	195 Riverside Street	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	1142	Tenant Name:	Munro Muffler/ Brake
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	8,000	Square Footage:			
Related Parties:		MASTER SPIRIT		<i>Property Owner</i>	
		SOC Construction, Inc. - George Closson		<i>GENERAL CONTRACTOR</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 30670

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
T15445	268 A 007 002		M				-70.326877	43.683413

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				195 RIVERSIDE STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
RETAIL & PERSONAL SERVICE		COMMERCIAL BUSINESS					DISTRICT 7	NASONS CORNER

Structure Details

Structure: Tire Warehouse, modifications

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Service Stations & Repair Garages	0			195 RIVERSIDE STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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Permit #: 20112764

Permit Data



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-04-809-ALTCOMM

Located At: 195 RIVERSIDE

CBL: 268 - - A - 007 - 002 - - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that all work is within the existing building
2. This property shall remain tire sales and other automotive services. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire
4. alarm devices; or replacement of a fire alarm panel with a different model.
5. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
6. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
7. Fire extinguishers are required. Installation per NFPA 10.
8. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Building

1. All previous conditions and inspections apply.
2. Storage mezzanine shall be limited to light capacity not to exceed 125 psf as per the design specifications

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing
 2. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 195 RIVERSIDE STREET		
Total Square Footage of Proposed Structure/Area INTERIOR RENOVATION ONLY		Square Footage of Lot 29,664 sf
Tax Assessor's Chart, Block & Lot Chart# 268 Block# A Lot# 0 07002	Applicant "must be owner, Lessee or Buyer" Name MONRO MUFFLER/BRAKE, INC. Address 200 HOLLEDER PARKWAY City, State & Zip ROCHESTER, NY 14615	Telephone: 585-783-3360
Lessee/DBA (If Applicable) TIRE WAREHOUSE	Owner (if different from Applicant) Name SPIRIT MASTER FUNDING, III LLC Address 14631 NORTH SCOTTSDALE ROAD City, State & Zip SUITE 200 SCOTTSDALE, AZ 85254	Cost Of Work: \$ 8,000.00 C of O Fee: \$ Total Fee: \$ 100.00
Current legal use (i.e. single family) RETAIL AUTOMOTIVE If vacant, what was the previous use? N/A Proposed Specific use: NO CHANGE Is property part of a subdivision? NO If yes, please name Project description: AS DESCRIBED ON ATTACHED PLAN SET. THIS MODIFICATION ADDS A MEZZANINE ABOVE THE SALES/WAITING ROOM.		
Contractor's name: SOC CONSTRUCTION, INC. Address: 294 MAIN STREET City, State & Zip WINSTED, CT. 06098 Telephone: 860-379-3891 Who should we contact when the permit is ready: GEORGE CLOSSON Telephone: 860-485-2027 Mailing address: 294 MAIN STREET WINSTED, CT. 06098		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

RECEIVED

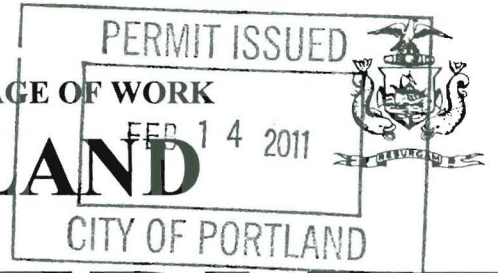
Signature: *A. Clow* Date: 11 Apr 11 4/13/11

This is not a permit; you may not commence ANY work until the permit is issue



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND



BUILDING PERMIT

This is to certify that MONROE MUFFLER/SOC CONTR Located At 195 RIVERSIDE CBL: 268 A007002

has permission to Construct modifications for proposed alignment bay PERMIT # 2011-01-267

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature]

Fire Prevention Officer

[Signature] 2/14/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

PERMIT ISSUED
 FEB 14 2011
 CITY OF PORTLAND

Job No: 2011-01-267-ALTCOMM	Date Applied: 1/18/2011	CBL: 268 - - A - 007 - 002 - - - - -	
Location of Construction: 195 RIVERSIDE	Owner Name: MASTER FUNDING SPIRIT	Owner Address: 14631 NORTH SCOTTSDALE RD STE SCOTTSDALE, AZ - ARIZONA 85254	Phone:
Business Name:	Contractor Name: Closson, George	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-4
Past Use: Tire Warehouse	Proposed Use: Tire Warehouse	Cost of Work: 45000.000000	CEO District:
Received By: MAR 07 2011 SERVICING		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i> (58)	Inspection: Use Group: 5-1 Type: SB <i>[Signature]</i> Signature: <i>[Signature]</i>
Proposed Project Description: 195 Riverside St. / Alterations - add alignment bay in existing space		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 1/18/11 <i>TRM</i> <i>OK w/ conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>TRM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

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Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2011-01-267-ALTCOMM

Located At: 195 RIVERSIDE

CBL268 - - A - 007 - 002 - - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
3. Any cutting and welding done will require a Hot Work Permit from Fire Department.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
6. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

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or email: buildinginspections@portlandmaine.gov

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 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing Prior to insulation or drywall
 2. Final inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.

Robert P. Mocarsky
rpm.architecture
63 Foxbrook Road
East Hartland, CT 06027
860-841-2339, 860-841-2339 (cell)

Ms. J Bourke
Inspection Division
City of Portland
310 Congress Street, Rm. 315
Portland, ME 04101

Re: Mezzanine
Tire Warehouse
195 Riverside Street
Portland, ME 04103

Dear Ms. Bourke:

Based upon my conversations I have changed the walls above the proposed mezzanine floor line around the proposed alignment bays up to the ceiling to stud framing and 4 x 4 x 16 gage WWF. Now the wood floored mezzanine is open to essentially the entire building area less the Sales and Tire Change Area.

Calculations are as follows.

Total Interior Building Area - 4,928 SF
Area Open to Mezzanine - 3,803 SF (4,628 - 585 sf Tire Change and 540 sf Sales)
One Third - 1,266 SF (4,928 x .333) $3,803 \times .333 = 1,255$ per Robert M.
Mezzanine - 1,125 SF (wood floored, Tire Change and Sales, areas not open to below) 5/16/11
OK

Please call if you have any questions. Monro and SOC construction is anxious to get t his project started.

Sincerely,

Robert P. Mocarsky, AIA, Maine Lic # AN2239

RECEIVED
MAY 13 2011
Dept. of Building Inspections
City of Portland Maine

RECEIVED
MAY 13 2011
PERMIT ISSUED
MAY 13 2011
Dept. of Building Inspections
City of Portland Maine

268 A007002

2011-04-809

Print

Print - Close Window

Subject: Tire Warehouse Portland, ME
From: GEORGE CLOSSON (george.closson@snet.net)
To: rpmarchitecture@gmail.com;
Date: Tue, 28 Jun 2011 14:18:30

Hello Bob,

We just had an inspection on the wall framing. The inspector wants details on the interior door openings headers. My contractor on site suggests using 2 6" X 18 ga studs on their sides capped with 6" X 18 ga track fastened at each end with an "L" clip top and bottom fastened with 6 #10 screws.

Also, as I discussed with you he has used steel studs for the wall framing in place of the 2 X 6 wood you have on the plans. On the customer service walls he used 18 g metal studs 12" OC to hold the second floor decking.

The alignment bay walls he used 20 ga (floor to ceiling) metal studs 16" OC.

If this is acceptable to you, could you indicate your approval to me so that I can get it to the Inspector?

Thanks

George

George N. Closson
President
SOC Construction, Inc.
294 Main Street
Winsted, Ct. 06098
General Contractor - Construction Management
Authorized Builder VP Buildings
Office 1.860.379.3891
Fax 1.860.379.5744
Mobile 1.860.485.2027

The above is acceptable. Attachment of alignment bay studs at the ceiling must be to solid rafters or solid blocking.

Robert P Mocardy
Maine Lic - ARC 2839

Please call.
Mike Doten
Riverside
Tire Warehouse
my cell # 233-9004

RECEIVED

JUN - 5 2011
Dept. of Building Inspections
City of Portland Maine

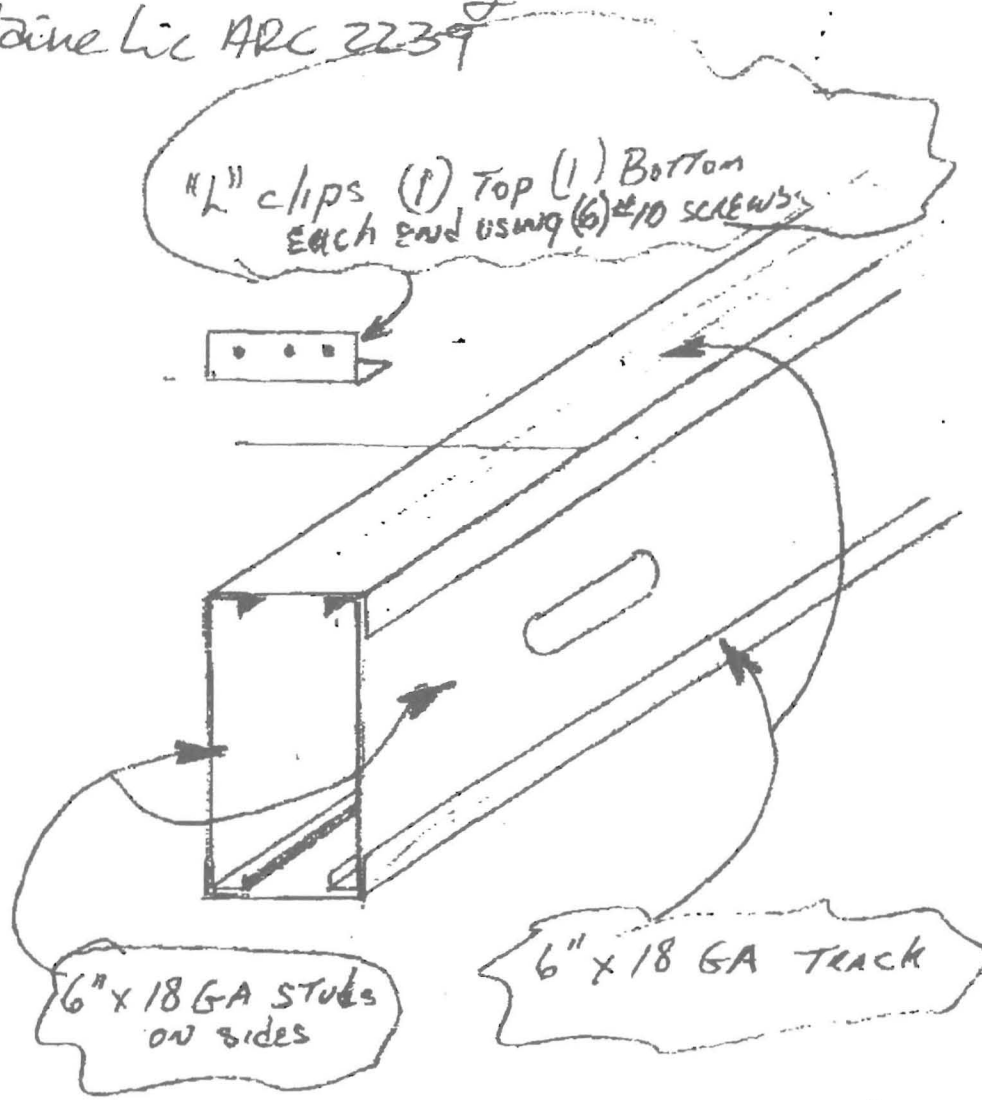
Jun 28 11 02:01p

Doten's Construction, Inc

2078656373

p.1

Acceptable for Door Headers
Robert P Mocarlsky
Maine Lic ARC 2239



CUSTOMER SERVICE
 1) Instead of wood Framing, we used 18 GA metal studs 18" O.C. TO HOLD SECOND Floor wood decking.
ALIGNMENT BAY
 2) Instead of wood Framing we used 20 GA. (Floor to ceiling) metal studs 16" O.C.

RECEIVED

JUL - 5 2011

Dept. of Building Inspections
City of Portland Maine

Door Header Design
DOTEN'S CONSTRUCTION INC

0000000000

DOTEN'S CONSTRUCTION

Acceptable

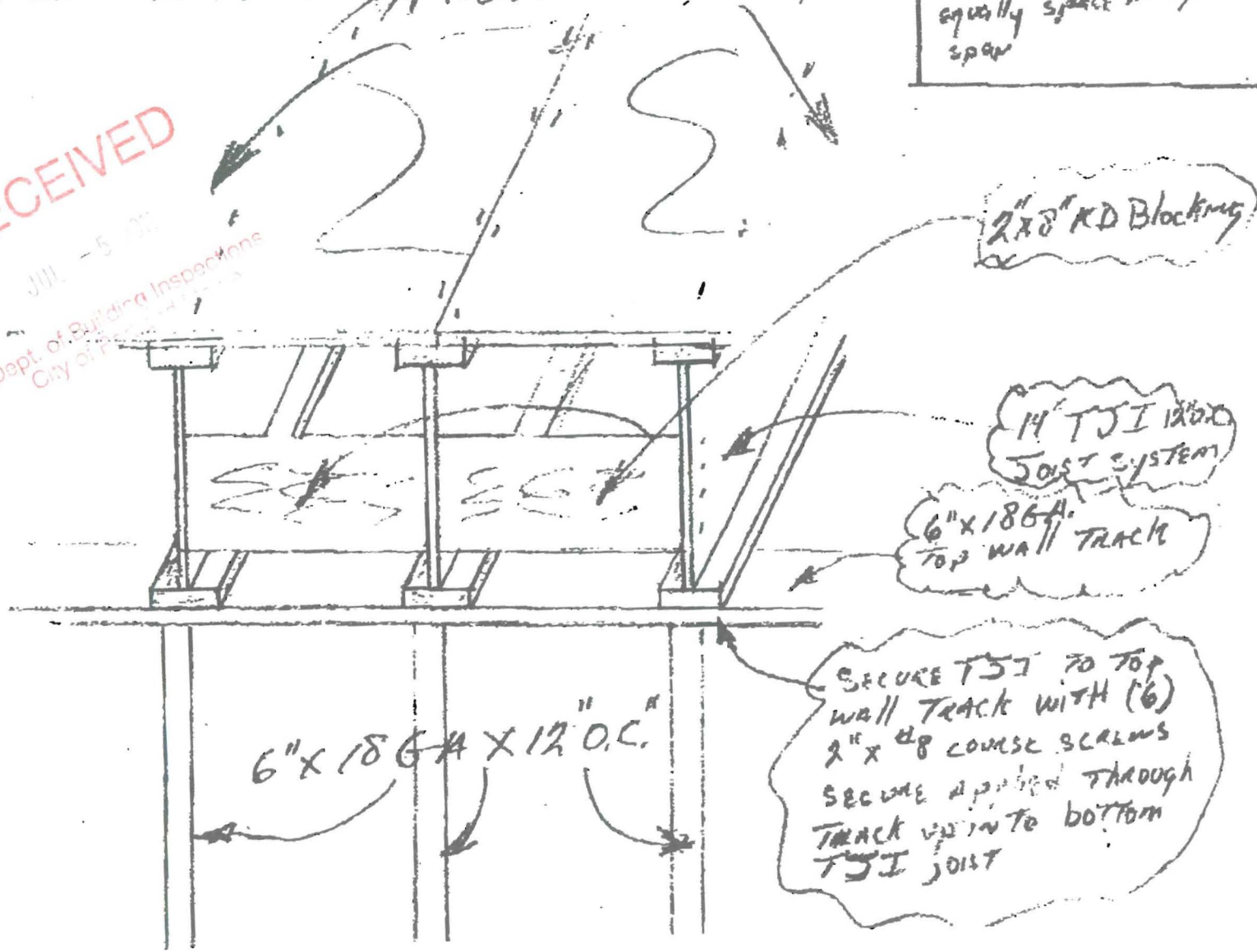
Robert Mocarisky

Maine Lic # APC 2239 ^{3/4} ADVANTEX decking

NOTE: There are four rows of 2x8 KD Blocking applied, a row at each end & 2 rows equally space in open span

RECEIVED

JUL - 5 - 11
Dept. of Building Inspections
City of Portland, ME



2x8 KD Blocking

14' TJI 126x12 Joist System

6" x 186A Top Wall Track

Secure TJI to Top wall track with (6) 2" x 4" course screws. Screws applied through track into bottom TJI joist

6" x 186A x 12" O.C.

RECEIVED

APR 13 2011

Dept. of Building Inspections
City of Portland Maine

Proposed Alignment Bay

Tire Warehouse

195 Riverside Street

Portland, Maine 04103

Date: 14 March 2011

List of Drawings

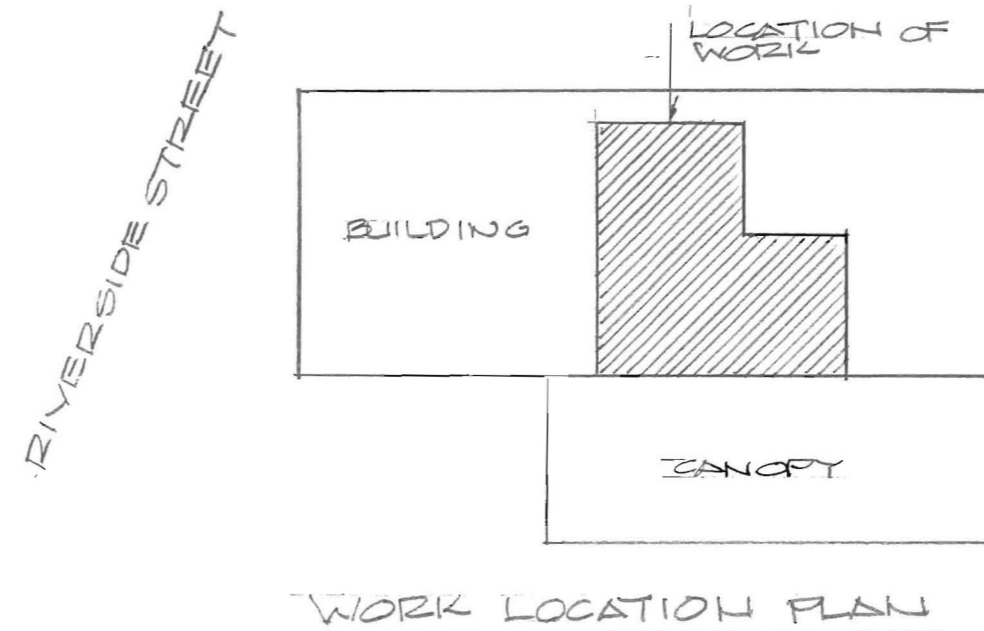
- AE – Existing Conditions
- AO – Demolition Plan
- A1 – Floor Plan
- A2 – Upper Floor Plan
- A3 – Reflected Ceiling Plan
- A4 – Elevations
- A5 – Section
- A6 – Section
- A7 – Details
- A8 – Utility Plan
- SP1 – Specifications
- SP2 – Specifications

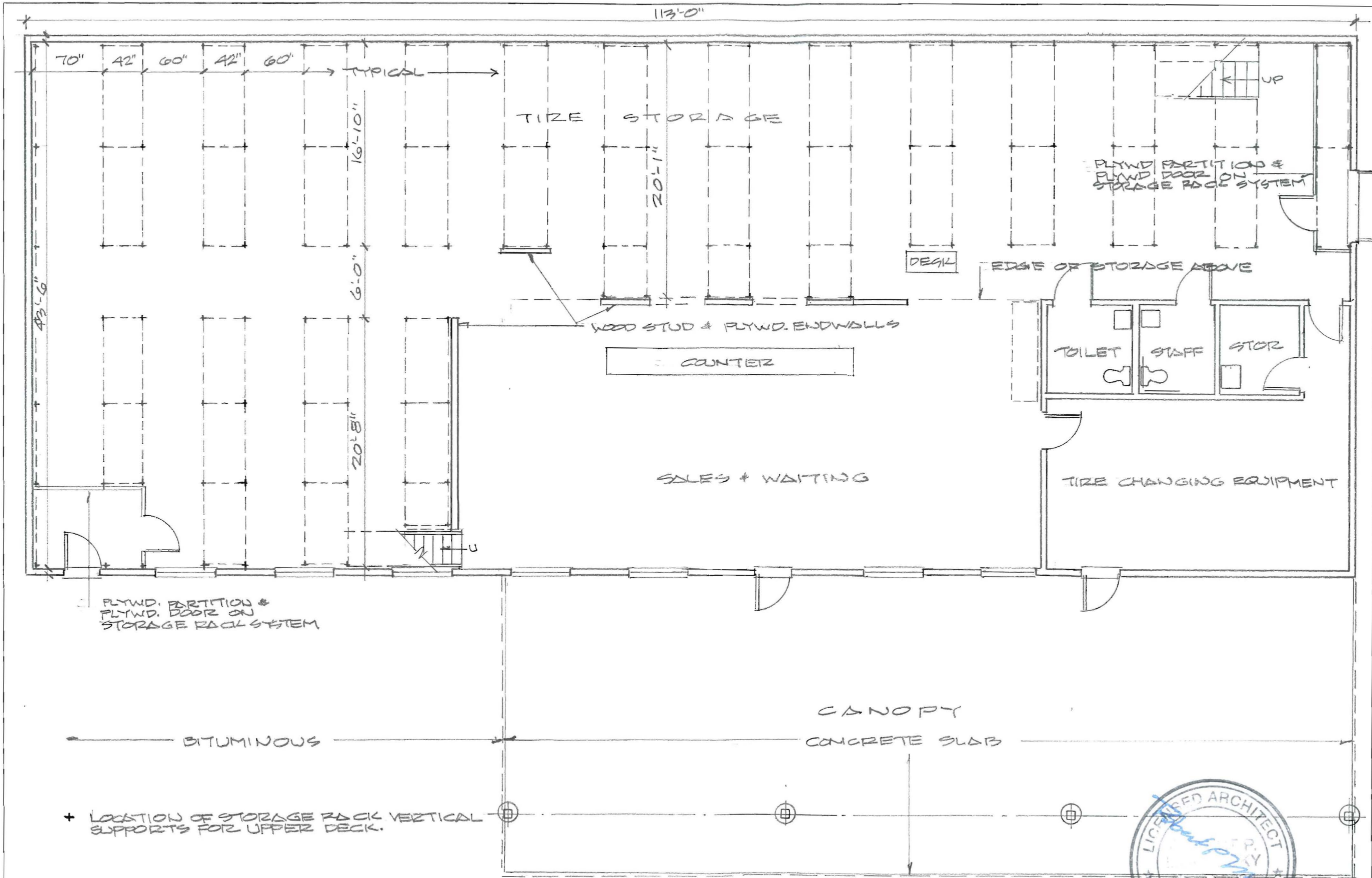
Contractor

George Closson
SOC Construction Inc.
294 Main Street
Winsted, CT 06098
860-379-3891, 860-485-2027(cell)

Architect

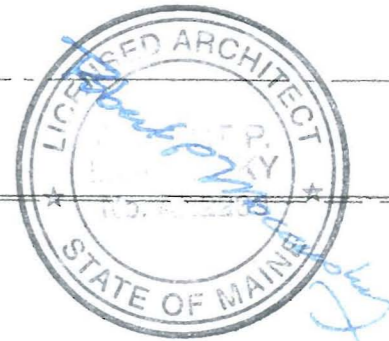
Robert P. Mocarsky, AIA
rpm.architecture
63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, 860-841-2339(cell)
Maine 207-244-0536
Maine Registration # AN2239

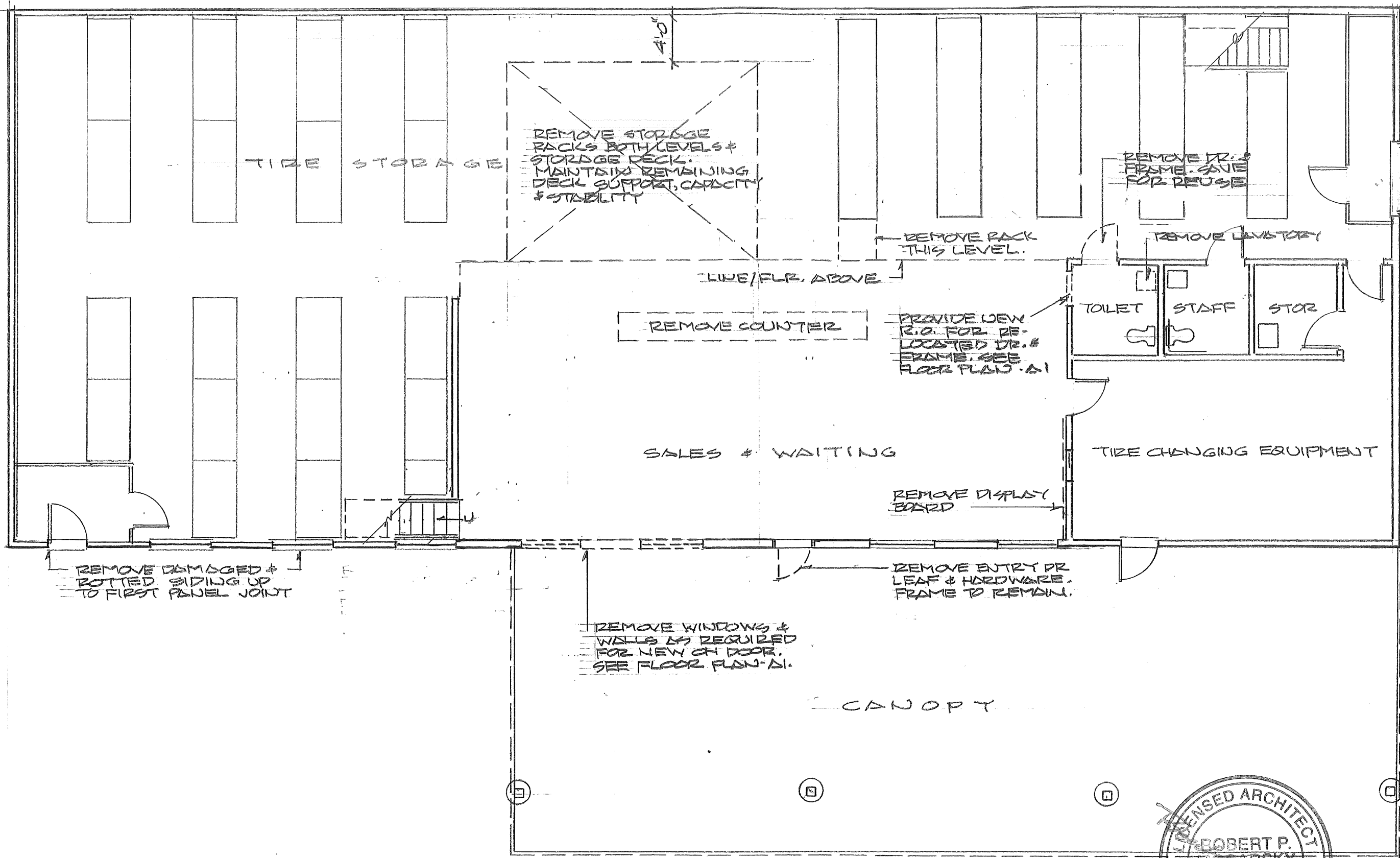




EXISTING FLOOR PLAN
 1/8" = 1'-0"

<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>
<p>Existing Conditions Floor Plan</p> <p>Scale: As Noted</p>
<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>
<p>AE Date: 3/14/11</p>

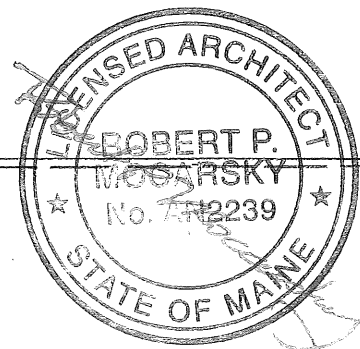




DEMOLITION PLAN

1/8" = 1'-0"

- 1. SEE SPECIFICATION FOR ADDITIONAL DEMOLITION & REMOVAL NOTES
- 2. FOR HVAC, PLUMBING & ELECTRICAL SEE UTILITY PLAN, A8.



rpm.architecture

63 Foxbrook Road
 East Hartland, CT 06027
 860-653-4185, Connecticut
 207-244-0546, Maine Maine License # AN2239

Demolition and Removal Plan

Scale: As Noted

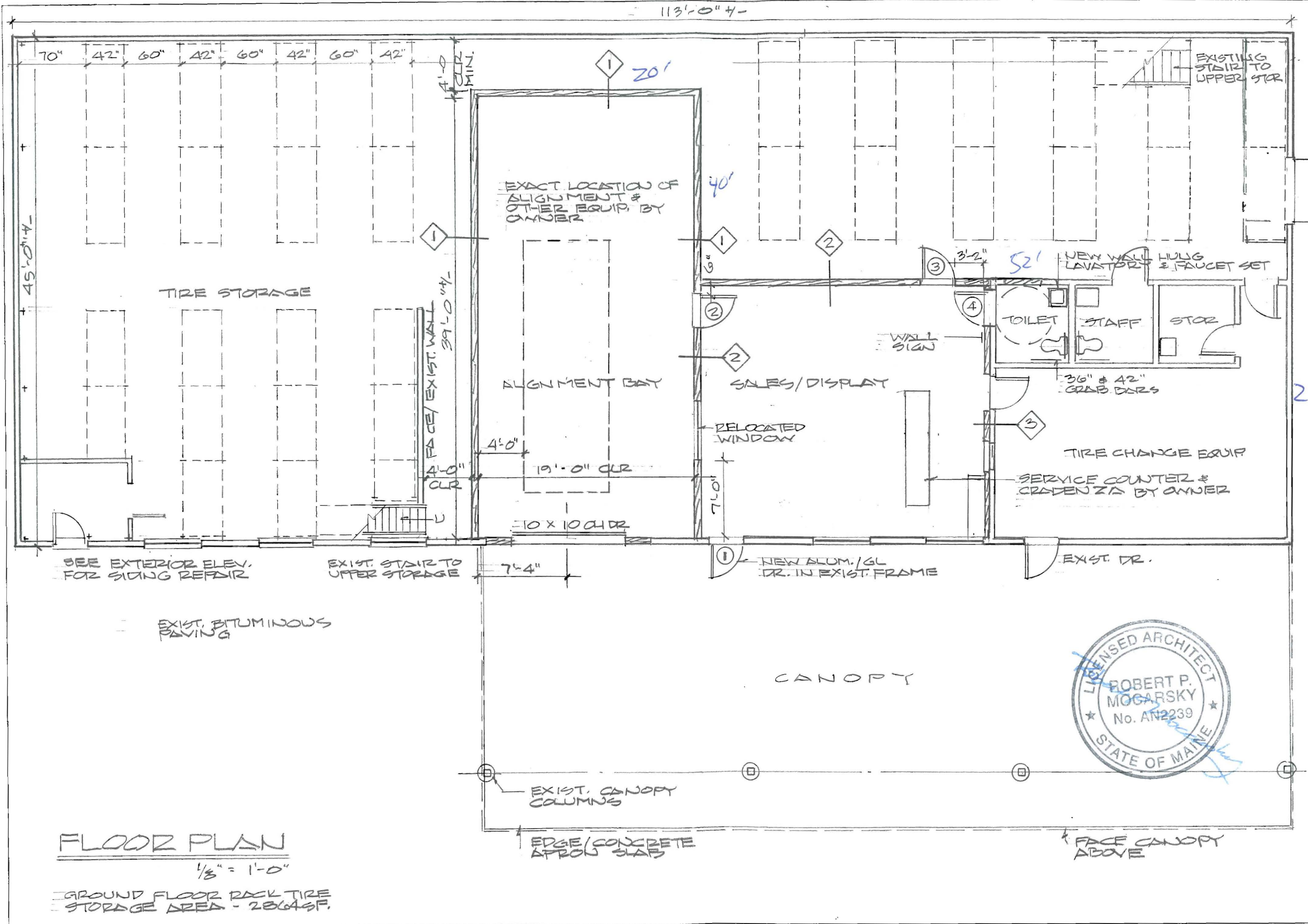
Proposed Alignment Bay Installation

Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

A0

Date:

3/14/11



FLOOR PLAN

1/8" = 1'-0"

GROUND FLOOR RACK TIRE STORAGE AREA - 2864 SF.

rpm.architecture
 63 Foxbrook Road
 East Hartland, CT 06027
 860-653-4185, Connecticut
 207-244-0546, Maine Maine License # AN2239

Floor Plan

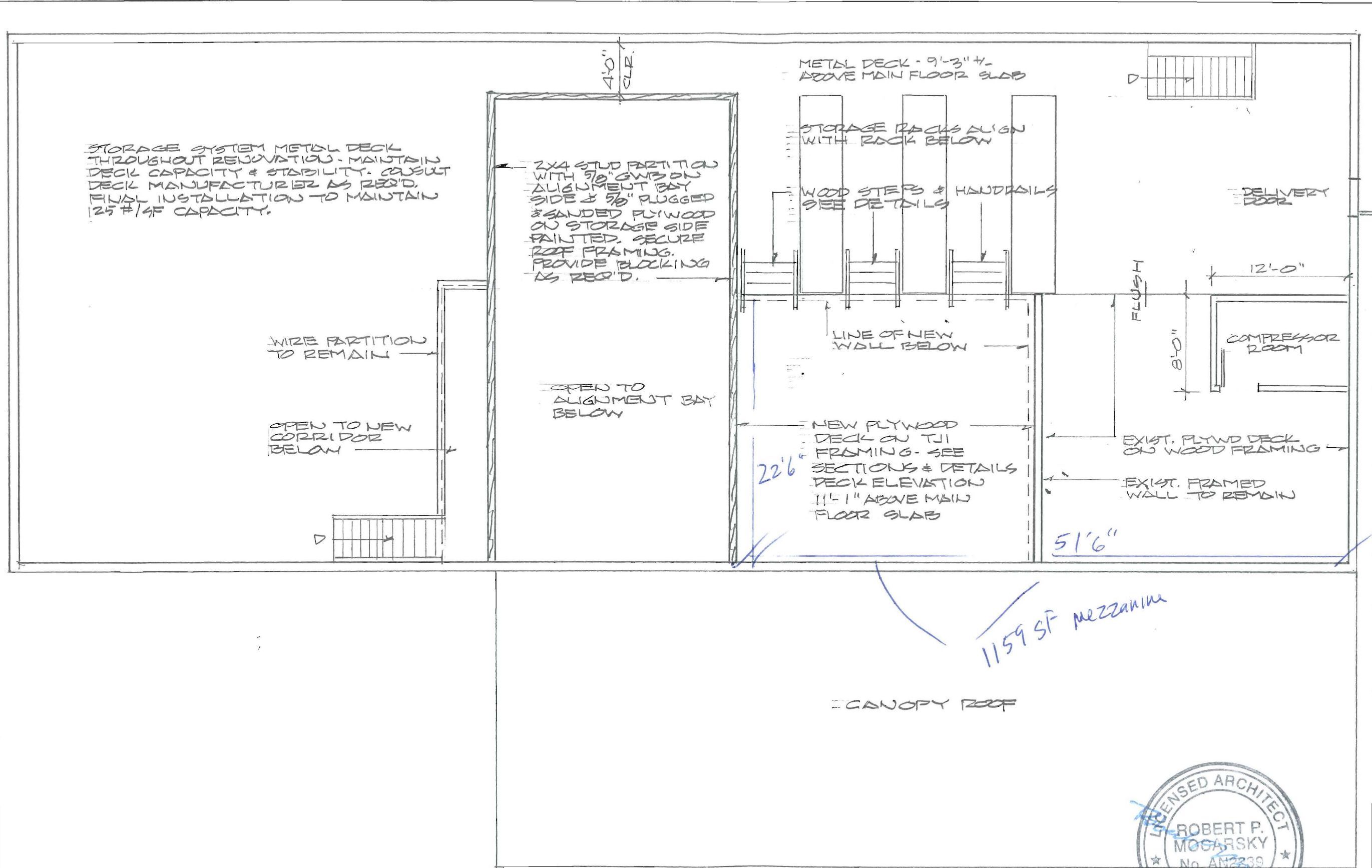
Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse

195 Riverside Street
 Portland, Maine 04103

A1
 Date:

3/14/11

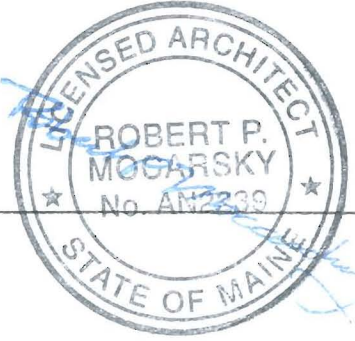


UPPER FLOOR PLAN

1/8" = 1'-0"

1159 SF Mezzanine

CANOPY ROOF



Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Upper Floor Plan

Scale: As Noted

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A2
Date:
3/14/11

REMOVE EXIST. LIGHT FIXTURES, CONDUIT, JUNCTION BOXES & OTHER CEILING MOUNTED ITEMS IN NEW ALIGNMENT BAY. INSTALL NEW 1/2" GWP. OVER ENTIRE CEILING, TAPE & PAINT. SEE SPECIFICATIONS.

UNLESS OTHERWISE NOTED, ALL OTHER CEILING ARE TO REMAIN. RELOCATE OR REMOVE EXISTING LIGHT FIXTURES, CONDUIT, JUNCTION BOXES, ETC. TO ACCOMMODATE NEW CONSTRUCTION OR NO LONGER IN USE. PATCH & REPAIR TO PROVIDE CLEAN, SMOOTH FINISH.

EXIST. WALL LIGHT VALANCE TO REMAIN

APPROX. LOCATION OF OH DR. TRACKS

6 TYPE 'A' LIGHT FIXTURES @ 12'-0" AFF

2x2 GRID @ 10'-0" AFF

12 TYPE 'B' LIGHT FIXTURES

REMOVE CANOPY LIGHT FIXTURES - CAP JUNCTION BOX & REPAIR, CLEAN SOFFIT. INSTALL NEW FIXTURES, ALL WIRING CONCEALED. LIGHT CONTROL AT SAME LOCATION & METHOD AS EXISTING

EXIST. LIGHTS TO BE REMOVED

7 TYPE 'E' LIGHT FIXTURES

REFLECTED CEILING PLAN

1/8" = 1'-0"



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Reflected Ceiling Plan

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Proposed Alignment Bay Installation

Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A3

Date:

3/14/11



REPLACE ALL ROTTED & DETERIORATED SIDING TO BLEND & MATCH EXISTING

NEW 10 x 10 O.H. DR. SEE SPECIFICATIONS

NEW THRU WALL HVDC. CUT OPENINGS AS REQ'D. TRIM & REPAIR SIDING
NEW OUM/GL. DOOR & HARDWARE IN EXIST. FRAME. CLEAN & REPAIR FRAME.

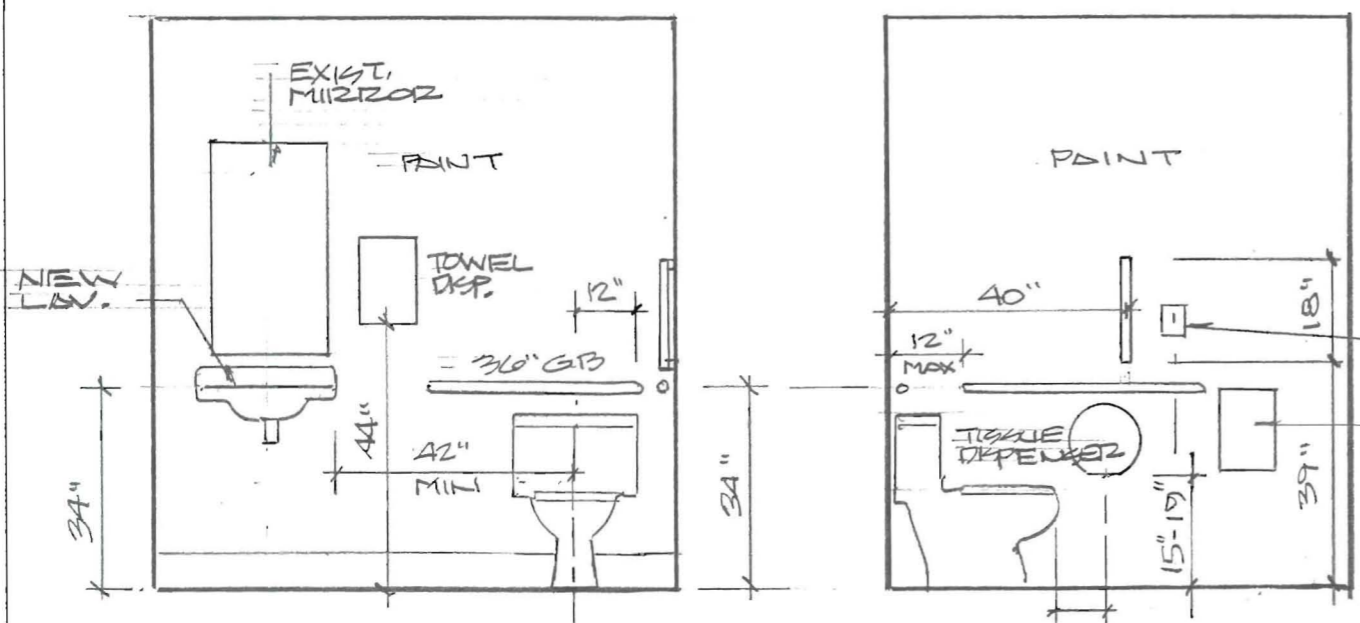
RUBBER BASE TO REMAIN REPAIR AS NECESSARY

REPLACE SIDING AS NECESSARY TO ACCOMMODATE NEW WORK & TO BLEND TO EXISTING. RUN FULL HEIGHT USING LONGEST LENGTH AVAILABLE.

PAINT ENTIRE FRONT OF BUILDING. OBTAIN COLOR SCHEME FROM OWNER.

FRONT ELEVATION

$\frac{1}{8}'' = 1'-0''$



TOILET ELEVATIONS

$\frac{3}{16}'' = 1'-0''$

- NOTES
- PROVIDE GRAB BARS AS SHOWN.
 - RELOCATE ACCESSORIES TO HEIGHTS & LOCATIONS INDICATED.
 - PROVIDE SOLID CONCEALED BLOCKING AS REQ'D. GRAB BARS TO WITHSTAND 250 LB VERTICAL LOAD.
 - CALL FOR SIDE SWITCH

SANITARY NAPKIN RECEPTACLE



Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
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Exterior Elevation

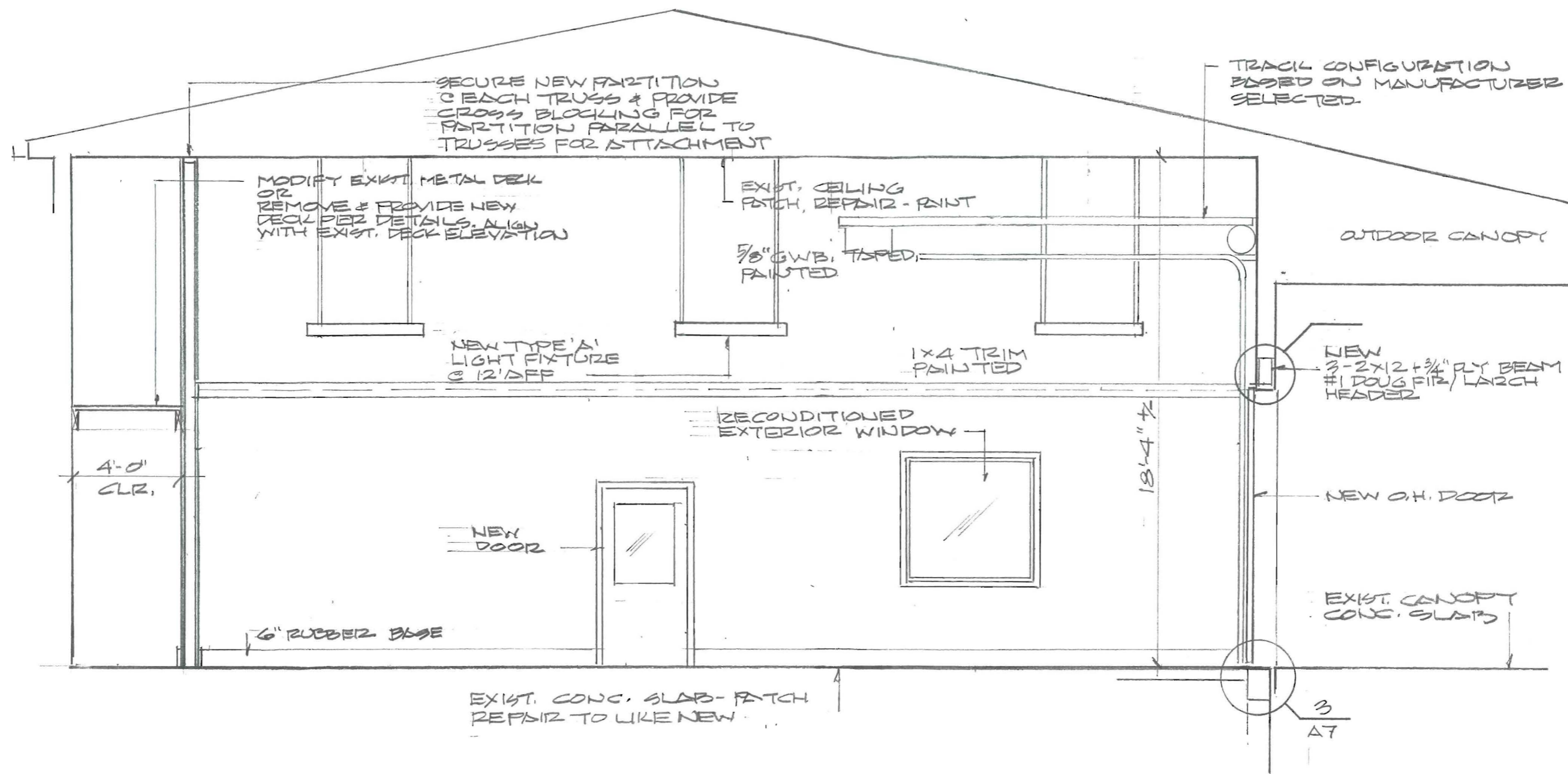
Scale: As Noted

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A4

Date:
3/14/11

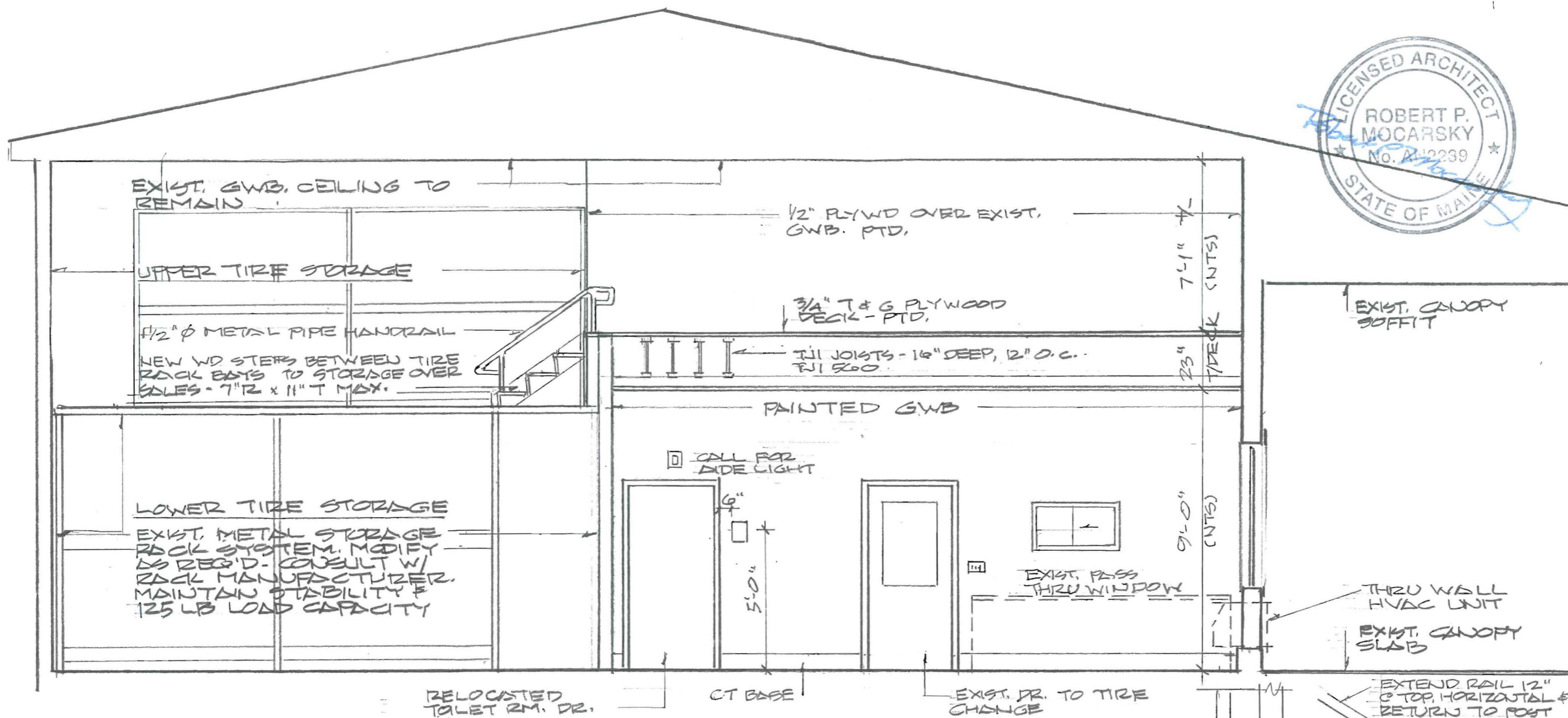


SECTION - ALIGNMENT BAY

1/4" = 1'-0"

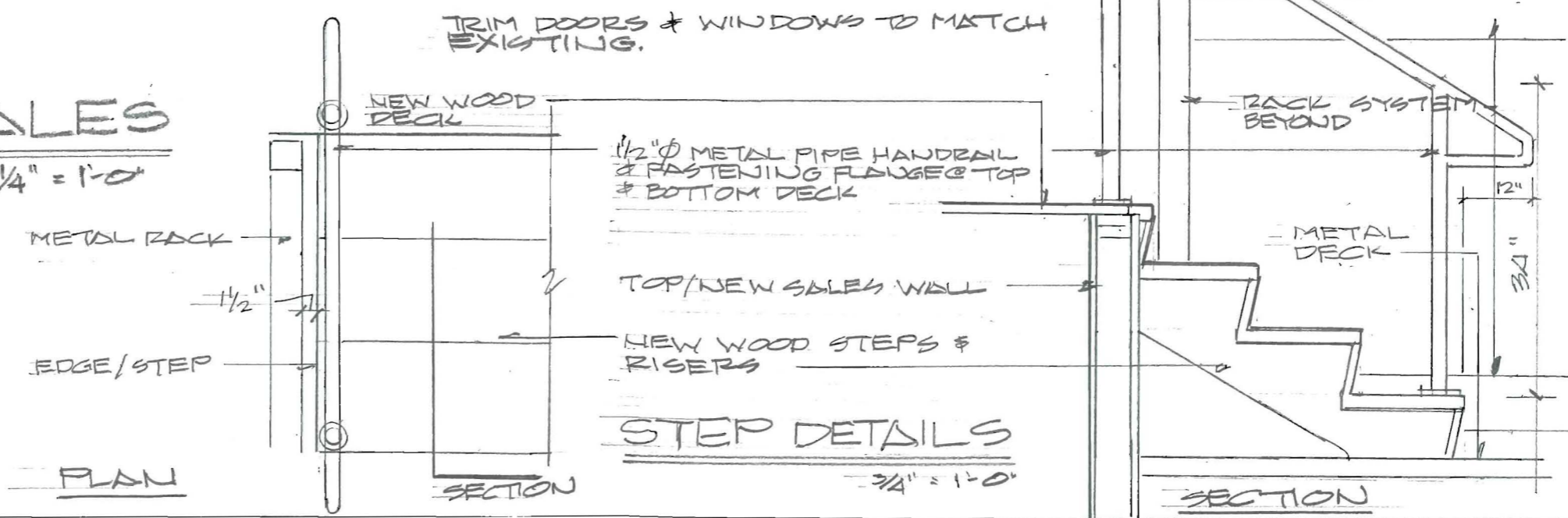


<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>	<p>Sections Scale: As Noted</p>	<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>	<p>A5 Date: 3/14/11</p>
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SECTION - SALES

1/4" = 1'-0"



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Section

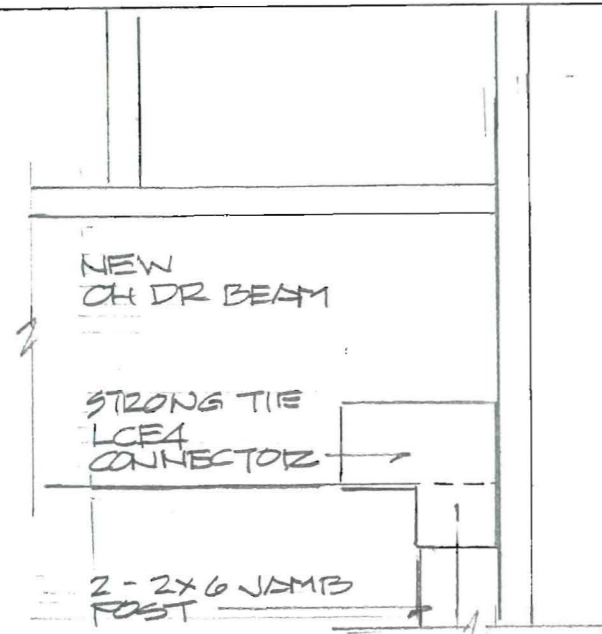
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Proposed Alignment Bay Installation
 Tire Warehouse

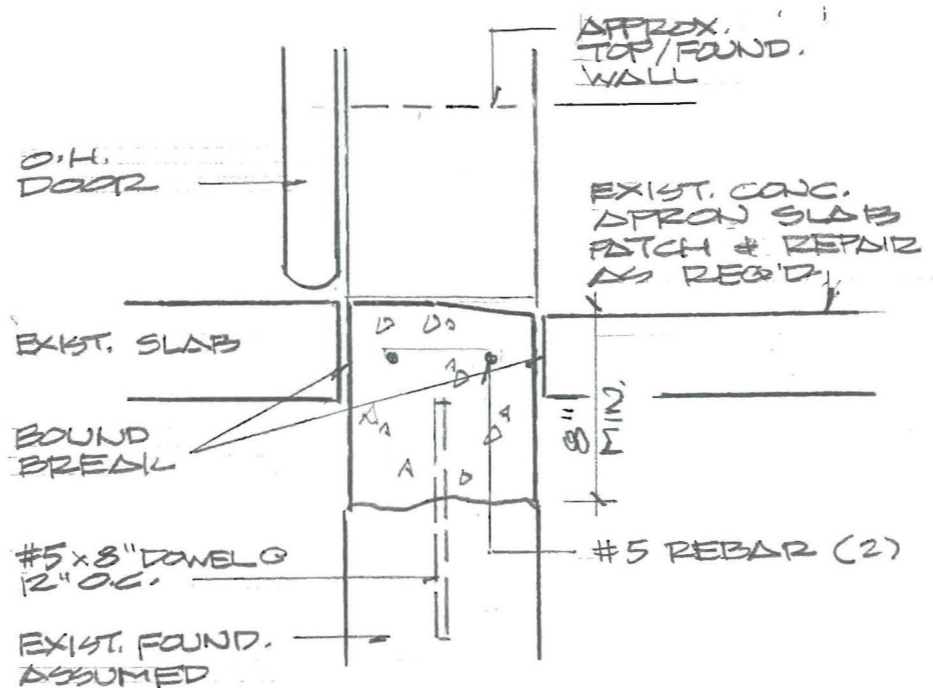
195 Riverside Street
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A6

Date:
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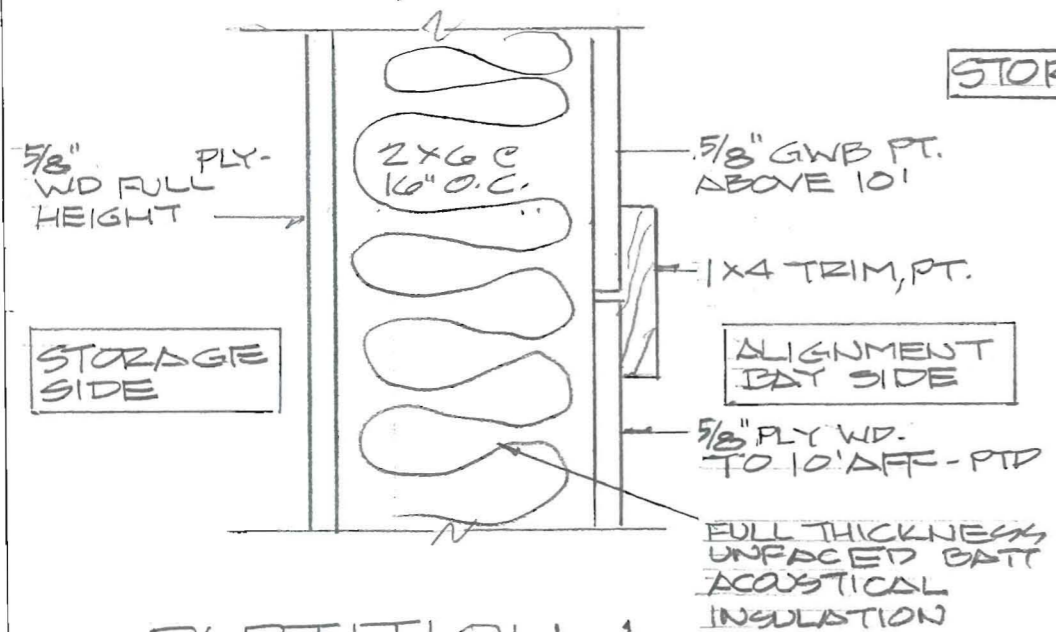


① OH DOOR CONNECTOR
1 1/2" = 1'-0"

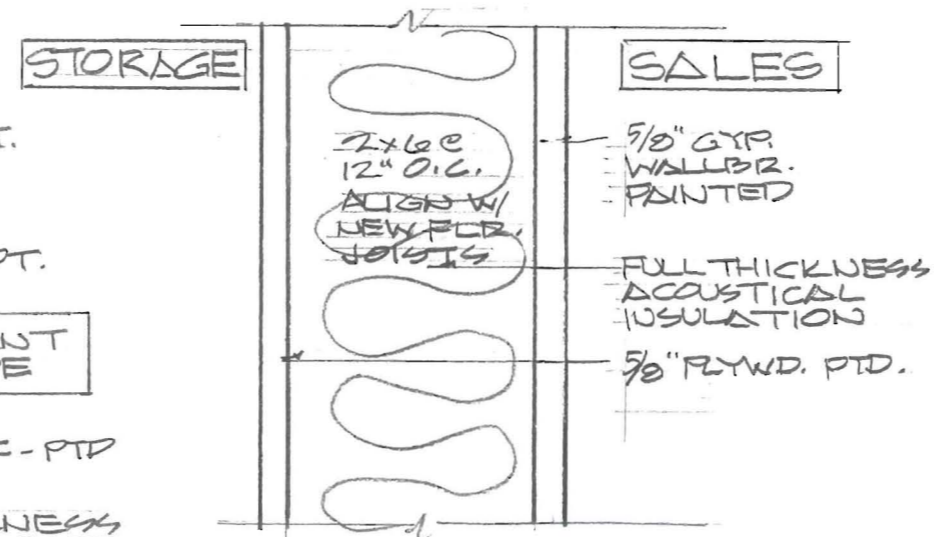


③ OH DOOR SILL
1 1/2" = 1'-0"

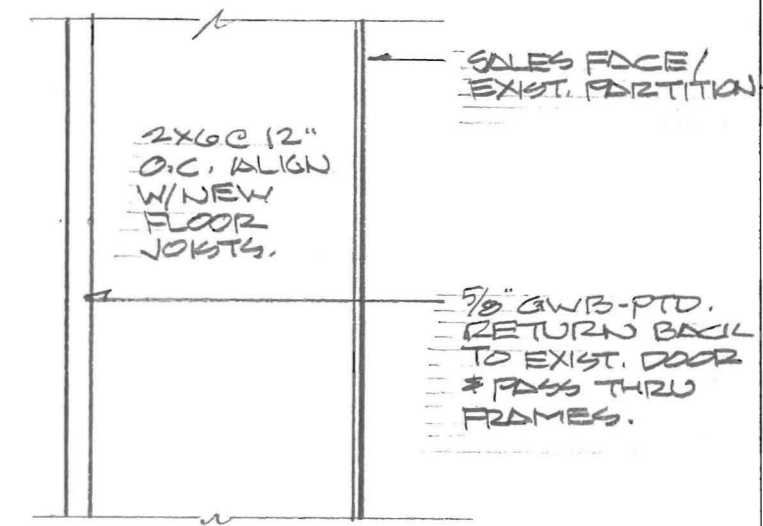
NOTE:
CONC. SLAB THICKNESS ASSUMED @ 4", CONC. FOUNDATION ASSUMED @ 8". MODIFY DETAIL TO ACCOMMODATE ACTUAL.
REMOVE CONC. FOUND. WALL @ NEW OH TO A MIN. OF 8" BELOW SLAB. DOWEL NEW CONC. (3000PSI) SILL TO EXIST. SIMILAR @ NEW ENTRY DOOR W/ NEW ALUM THRESHOLD TO COVER WIDTH OF FOUND. WALL



PARTITION 1
3" = 1'-0"



PARTITION 2



PARTITION 3

PARTITION TYPES
3" = 1'-0"

NOTE: ALL PARTITION FACES IN STORAGE AREAS SHALL BE 5/8" PLYWOOD.

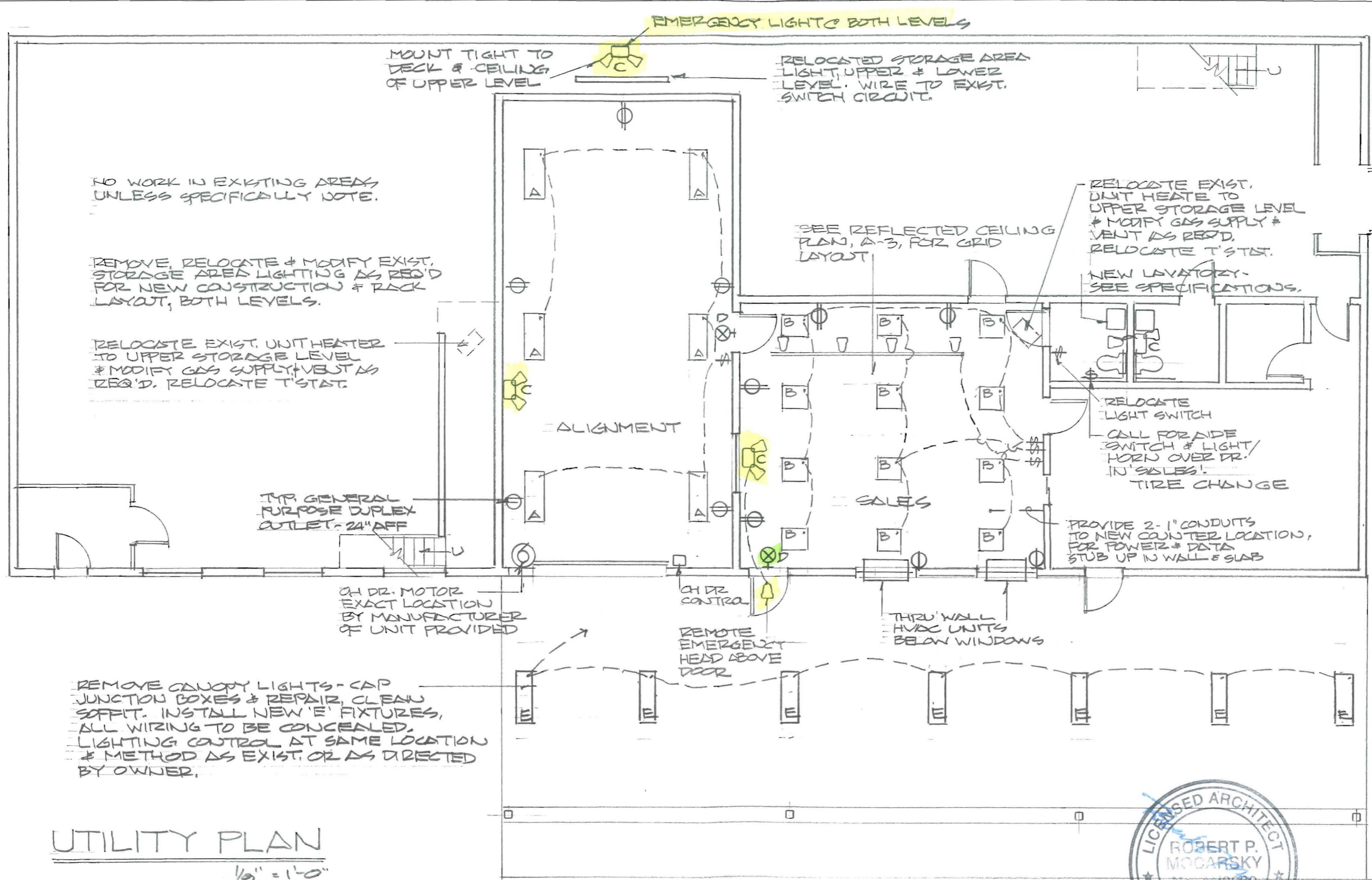
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Details
Scale: As Noted

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103



A7
Date:
3/14/11



NO WORK IN EXISTING AREAS UNLESS SPECIFICALLY NOTE.

REMOVE, RELOCATE & MODIFY EXIST. STORAGE AREA LIGHTING AS REQ'D FOR NEW CONSTRUCTION & RACK LAYOUT, BOTH LEVELS.

RELOCATE EXIST. UNIT HEATER TO UPPER STORAGE LEVEL & MODIFY GAS SUPPLY & VENT AS REQ'D. RELOCATE T'STAT.

TYP. GENERAL PURPOSE DUPLEX OUTLET - 24" AFF

CH DR. MOTOR EXACT LOCATION BY MANUFACTURER OF UNIT PROVIDED

REMOVE CANOPY LIGHTS - CAP JUNCTION BOXES & REPAIR, CLEAN SOFFIT. INSTALL NEW 'E' FIXTURES, ALL WIRING TO BE CONCEALED. LIGHTING CONTROL AT SAME LOCATION & METHOD AS EXIST. OR AS DIRECTED BY OWNER.

UTILITY PLAN

1/8" = 1'-0"

LIGHTING OVER NEW STORAGE DECK ABOVE SALES: RELOCATE EXIST. STORAGE FIXTURES REMOVED FOR CONSTRUCTION. INSTALL & CIRCUIT SIMILAR TO EXIST. LAYOUT

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Utilities Plan
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

A8
 Date:
 3/14/11

Specifications

PROJECT DESCRIPTION

Project includes but is not limited to:

- Construction of a new alignment bay and Sales/Waiting space within the existing facility, including necessary demolition, storage rack system modifications, new construction, mechanical and electrical work.
- Coordination of equipment installation.

GENERAL CONDITIONS

The Work includes only that which is shown and specified in these documents. The drawings and specifications are to be used as complementary to each other. The more stringent, greater quality or quality of either shall be provided.

All workmanship to be of first class quality.

All materials shall be new and of the quality specified or matching the existing, unless noted to be existing to be reused.

All work to conform to current federal, state and local applicable building, accessibility, fire, electrical mechanical and plumbing codes and regulations.

All contractors and subcontractors shall hold current appropriate licenses, were required, for the work they are to perform.

Contractor shall obtain and include in bid the cost of all necessary construction permits.

Do not make any changes to the Work without written approval from the Architect. The Architect shall be notified in writing of any proposed changes to the Work prior to its execution. The Architect has the right to reject such changes. A signed Change Order with a description of the work involved and final cost changes shall be executed prior to the changes being carried out.

The Contractor shall review all materials and equipment substitutions with the Owner and obtain Owner's written approval of changes.

Clean and remove all debris from the interior on a daily basis and dispose of in an enclosed, appropriate size container. Have the debris container emptied when full. Pick up any debris that is on the site daily.

Install appropriate dust control to limit dust and dirt entering areas beyond the work.

Maintain the security integrity and weather integrity of the structure at the close of each working day

Provide work schedule to the Owner. Owner must have access and use of the facility at all times. Review with client specific requirements and needs and provide temporary construction as necessary. The facility shall remain operation for the carrying out of the Owner's normal business. Confine work operations to the areas of work and minimize disruption of the owner's use of the premises.

Provide copy of all warranties to the client.

PATCHING AND GENREAL PAINTING

At all area where partitions, flooring, ceilings, door openings, have been impacted by the demolition work, patch and repair to blend to the adjacent finish with like materials and appearance.

Make all transitions smooth and clean so that the finished appearance is like new.

Unless specifically noted elsewhere, painting is to include all new work and existing disturbed work. Painting shall not be terminated in the field of any surface but shall extend corner to corner, either interior or exterior corners and entire ceiling.

Repair or replace any and all damage to materials and construction to remain caused by the Work in a manner to match existing conditions.

DEMOLITION

Provide legal dumpster for containment of all debris.

Remove all debris from site on a regular basis and when dumpster is full. Cover or otherwise contain as necessary to eliminate potential of debris blowing around or creating a hazard.

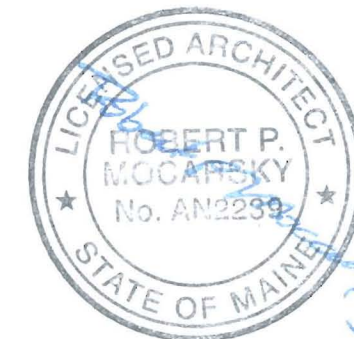
Repair any and all damage to the site from the dumpster, dumpster placement and demolition or construction activities to match existing conditions caused by such Work.

Provide all demolition and removal work in a professional, craftsmanship, neat manner so as not to damage adjoining or other finish work to remain.

Remove unused conduit, cables, wiring, hangers and miscellaneous items.

Additional miscellaneous demolition and removal as shown on drawings and as required for all new work.

Storage Rack System: Removal of the Storage Rack Systems shall be under the supervision of, or by the Storage Rack System manufacturer or manufacturer's representative. Portions of the system that are to remain must remain stable and capable of supporting a minimum of 125 pounds per square foot at all times and in compliance with applicable codes.



Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

SP1

Date:

3/14/11

Specifications

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NEW WORK

Concrete

Patch concrete slab as shown, where holes are left from storage rack removal and where required for new work to achieve a like new appearance.
New concrete – 3500psi.
Clean existing interior slab in alignment bay for sealing by Painter.

Floors

Floor loading – 125lbs/sf. Framing equal to Trus Joist TJI 560 as shown. Provide bridging and blocking per manufacturer's direction. Align wall stud and trusses for direct bearing.
Flooring – ¾ inch, T and G, A-C finish, structural plywood. Glue and screw in place at each truss.

Partitions

Stud grade, Hem/Fir, PT sills and OH door frames. Sizes as show.
#1 light structural grade Doug Fir/Larch for OH Door lintel or equivalent capacity engineered beam.
Interior paneling – 5/8" plugged and sanded (A-C) plywood and GWB as shown, tape GWB and apply 3 coats spackle, sand and paint. See details
Exterior Siding – 5/8" vertical grooved siding match existing, paint.
Trim – Number 2 or better, tight knots, pine or poplar Sizes as shown, paint.
Fiberglass Batt insulation in exterior wall framing, foil faced, R19. Acoustical – unfaced batts, full depth of partition.
Partitions to be securely braced and tied to the ceiling roof structure. Do not brace or attach to the metal storage rack system. See details.
Provide solid blocking for new accessories, garbs bars etc.

Doors/Frames

Doors 2,3: Equal to **Steelcraft**, L18 Series, Half lite, polystyrene core, premier visible edge, reinforced for lockset and closer, standard Designer Trim for setting glass, ¼" clear safety or laminated glass, primed
Frame 2,3: Equal to **Steelcraft**, F16, double rabbited, throat matching wall thickness, welded, rubber silencers, reinforced for closer, primed.
Door 1 Replace exiting door leaf with new leaf Equal to EFCO D300 aluminum, medium stile, full lite, door and frame system with standard manufacturer's hardware, butt hinges, surface closer, lock, weatherstripping, push pull and sign "This door to be unlocked whenever building is occupied." Repair and clean frame.
Door 4: Relocate existing toilet door and frame. Repair as necessary. Provide new hardware equal to below. If it is more appropriate provide new door and frame, provide equal to Door 2 except solid flush.

Door Hardware – Doors 2,3. Each to have:

Hinges: 3 – Equal to **Stanley** FBB 179.
Closer: Equal to **Sargent**, 281 Powerglide Series, "O" Arm Top Jamb Application with hold open, silver finish.
Passage Sets: Equal to **Sargent** 8200 Series, mortise, Sanibal lever, CE Escutcheon, Brushed chrome finish.
Kick Plate: Equal to **Rockwood**, brushed chrome, 24 inches high. On push side of door
Door 4 to have:
Hinges: 3 – Equal to **Stanley** FBB 179.
Privacy Set: Equal to **Sargent** 8200 Series, Privacy Functin #66, mortise, Sanibal lever, CE Escutcheon, Brushed chrome finish.

Overhead Door

Equal to **Wayne and notice sign – Dalton** Full View 451, motor operated, safety edge, full rectangular insulated glass lites, Standard headroom with extension risers as shown, 3" galvanized track, jamb and sill weather-stripping, include optional header seal.
DSB Glass.
Smooth aluminum lower panels.
Provide track and accessories supports as directed by manufacturer
Provide emergency non powered operation.
Finish as selected.
Coordinate power locations and requirements with Electrical Contractor
Coordinate Control locations with Owner
Verify, test operation and make adjustments as necessary for smooth operation.
Provide standard manufacturer's warranty.

Finishes

All new finish work to blend to existing. Match existing color or obtain color selects from Owner
New surfaces - primer plus two coats semi-gloss.
Existing painted surfaces – two coats.
Paint trim and doors in all surfaces which receive new paint.

Finish Schedule

Space	Floor/Base	Walls/ Existing.	New	Ceiling
Sales/Waiting	CT/CT	Paint	Paint	SAP
Alignment Bay	Sealer	Paint	Paint	Paint
Upper Level Storage	-----	-----	Paint	-----
Public Toilet	CT/CT	Paint	Paint	Paint
Exterior	-----	Paint	Paint	Clean

Paint equal to Benjamin Moore – Interior, "Natura", non VOC - primer and semi gloss finish. Exterior, "ben", flat for flat work, soft gloss for trim.

Concrete Floor – Armorphoxy - UntraFast PS epoxy.

Floors – Sales - Equal to Dal-tile, porcelain ceramic, unglazed, 12' x 12" with 6" x 12" base. RDO 6, blue/grey.

Toilet - Equal to American Olean ceramic tile, 8"x8" with 6" x 8" base, UP52, charcoal grey.

SAP - Equal to Armstrong 932, 2' x 2', white, fine fissured with reveal edge in Armstrong intermediate duty white grid.

Accessories

Signage - Public Toilet – Equal to Seton Nameplate, one, 8" x 8" plastic laminate with unisex ADA graphics. Mount adjacent to door on wall at 60" AFF, See Floor Plan and Section for location.
Grab Bars: Equal to Bradley Series 832, 1 ¼", concealed mounting, one at 36" one 42" and one 18"
Sanitary Napkin Receptacle – Series 4781-15.

Equipment

Alignment Machine and associated items: By Owner General Contractor to coordinate equipment needs with general construction providing blocking, miscellaneous built in supports, electrical and other items for complete operation of equipment. Obtain layouts and requirements from Owner
Storage Racks System: By Owner All changes to rack system shall be executed by or under the supervision of the Storage Rack Manufacturer or manufacturer's representative. Maintain lateral stability and 125 pound per square foot minimum capacity at all times. Provide all necessary temporary and permanent bracing. Do not brace to new partition.

Plumbing

Lavatory: Equal to Mansfield, Grande Isle, 2018HBNS, china wall mounted with high back – 4 inch centers, white, ADA compliant.
Faucet Set: Equal to Symmons, Symmetrix S-30-2-G-W, single handle, no pop up drain, waste drain grid, chrome, 6 inch extended handle.
Exposed Lavatory Pipe Insulation: , ADA, Truboro, preformed, white on all supplies and drain.

Heating

Modify existing system to separate new Alignment Bay, relocate any existing units and accessories as necessary to provide uniform heating of the existing space and provide and separate zone with wall thermostat for the new Alignment Bay. Provide thru wall HVAC units for new Sales/Waiting with integral temperature, fresh air and fan control, capacity sized by mechanical contractor.
Contractor to provide all changes to existing units, new gas service, roof penetrations, roof flashing and roof repair, and vent thru roof vents for units as may be required.

Electrical

Provide dedicated electrical necessary for Owner Alignment equipment. Obtain list of equipment to be installed from the Owner Obtain information of needs from Owner's Equipment Supplier. Include costs in bid.
Provide electrical as necessary for the Overhead Door operation.
Provide electrical as necessary for the new thru wall HVAC units.
Provide miscellaneous electrical, outlets, switches, etc. as required by applicable codes and directed by Owner
Switches and outlets – Professional grade, quite type switches, 3 prong outlets. Provide GFI outlets in locations required by codes. Ground prong located down. Relocate outlets and switches that are impacted by the work to locations shown or as designated by the Owner
All work in accordance with applicable codes.

Light Fixtures

Alignment Bay: "A" Equal to Columbia LHV4-4, pendant mounted, four T8 32 watt daylight lamps, M4R reflector, 4EHL ballast, flat wire guard, 120 volt.
Sales/Waiting: "B" Equal to Columbia Stratus E Recessed Series, STE22-3, 2' x2' recessed, lay in, 3 P 17 T8 lamps, indirect, metal perforated shield with overlay, 120v.
Emergency Light: "C" Equal to Dual-Lite, EZ-2 Series, 120 volt, NFPA 70 and 101 listed, two adjustable, 5# incandescent lamps. Remote heads as shown.
Exit Light: "D" Equal to Dual-Lite, LX Series, LED lamps, 120 volt, red letters, test switch and 2 hour emergency mode operation, NFPA 70 and 101 listed.
Canopy Light: "E" Equal to Columbia LHC164-4, surface mounted, four T8 32 watt daylight lamps, FA door, M4R, reflector, cold weather ballasts, flat wire guard, volt120,



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Specifications

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

SP2

Date:

3/14/11

Proposed Alignment Bay

Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Date: 14 March 2011
10 May 2011

List of Drawings

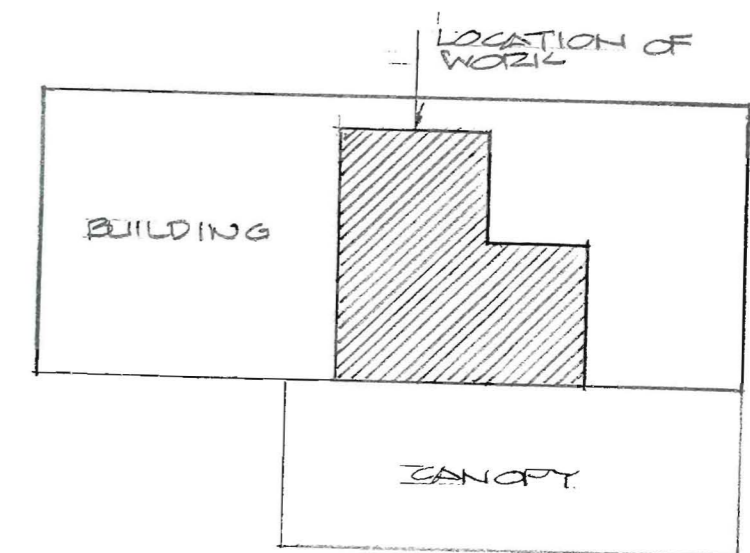
AE – Existing Conditions
AO – Demolition Plan
A1 – Floor Plan
A2 – Upper Floor Plan
A3 – Reflected Ceiling Plan
A4 – Elevations
A5 – Section
A6 – Section
A7 – Details
A8 – Utility Plan
SP1 – Specifications
SP2 – Specifications

Contractor

George Closson
SOC Construction Inc.
294 Main Street
Winsted, CT 06098
860-379-3891, 860-485-2027(cell)

Building Data:

Gross SF – Ground Floor – 5,085 SF
Gross SF – Mezzanine – Metal Grate Decking – 3,023 SF
Gross SF – Mezzanine – Wood Floor – 1,125 SF
Gross SF – Canopy – 1,800 SF



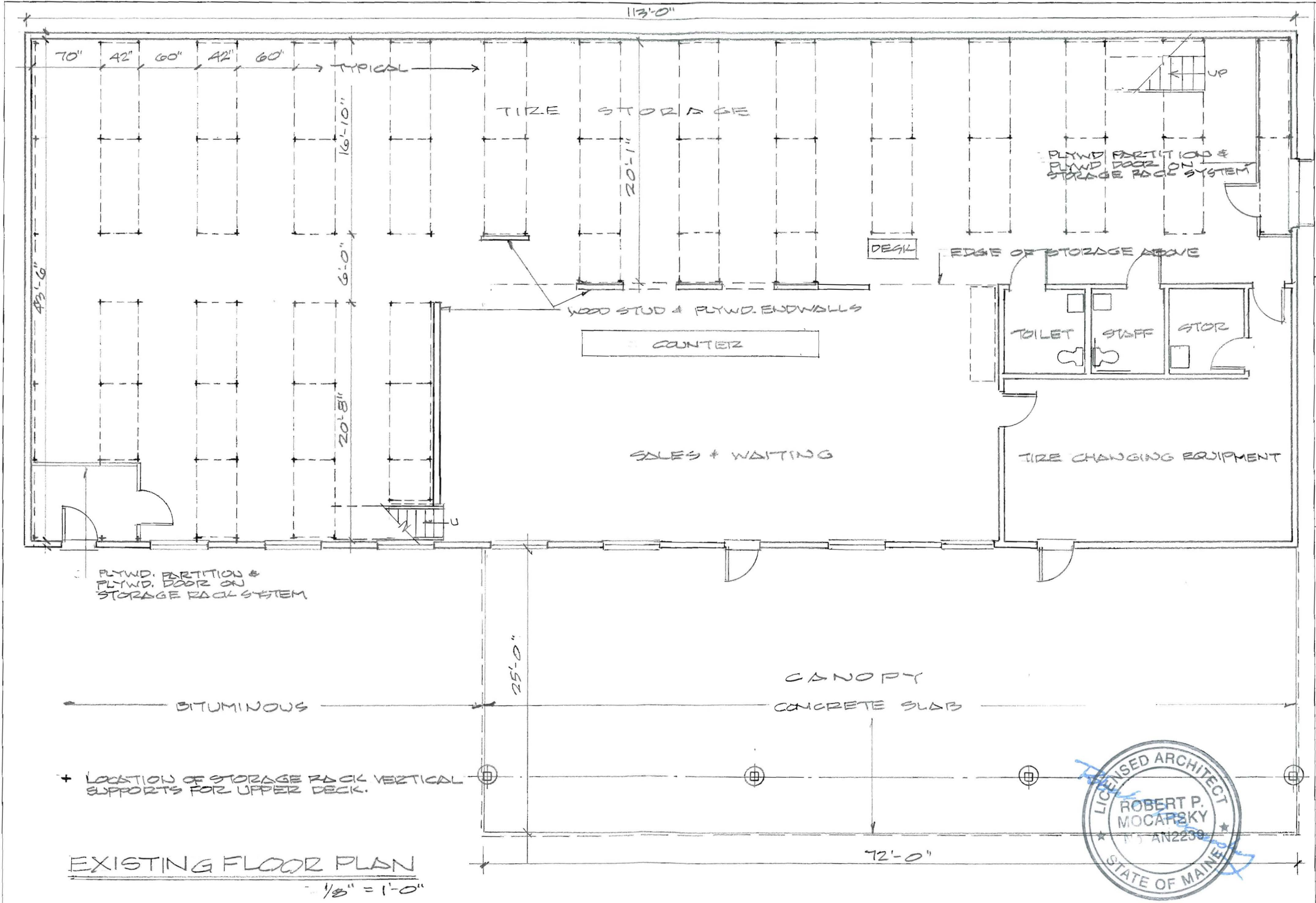
WORK LOCATION PLAN

Architect

Robert P. Mocarsky, AIA
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860-653-4185, 860-841-2339(cell)
Maine 207-244-0536
Maine Registration # AN2239

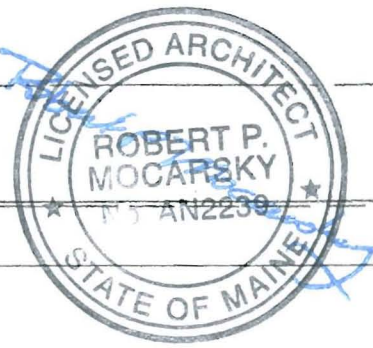


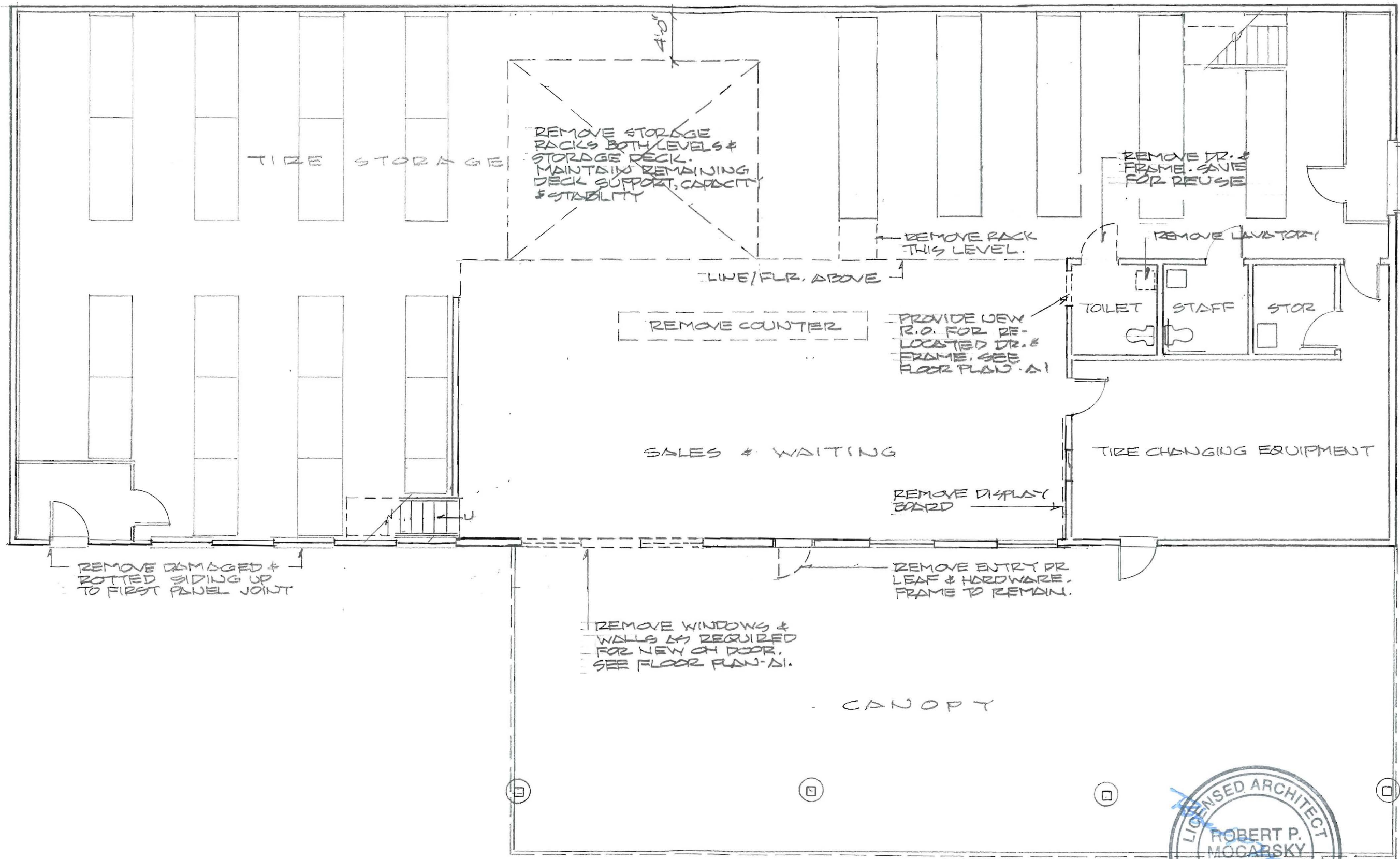
RECEIVED
MAY 13 2011
Dept. of Building Inspections
City of Portland Maine



EXISTING FLOOR PLAN
 1/8" = 1'-0"

<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>	<p>Existing Conditions Floor Plan</p> <p>Scale: As Noted</p>	<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>	<p>AE Date: 3/14/11</p>
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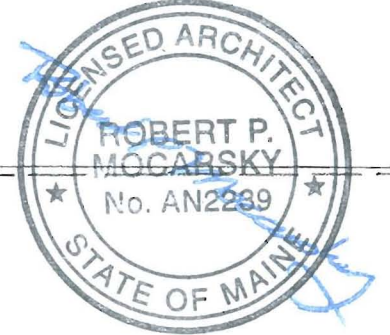




DEMOLITION PLAN

1/8" = 1'-0"

1. SEE SPECIFICATION FOR ADDITIONAL DEMOLITION & REMOVAL NOTES
 2. FOR HVAC, PLUMBING & ELECTRICAL SEE UTILITY PLAN, A8.

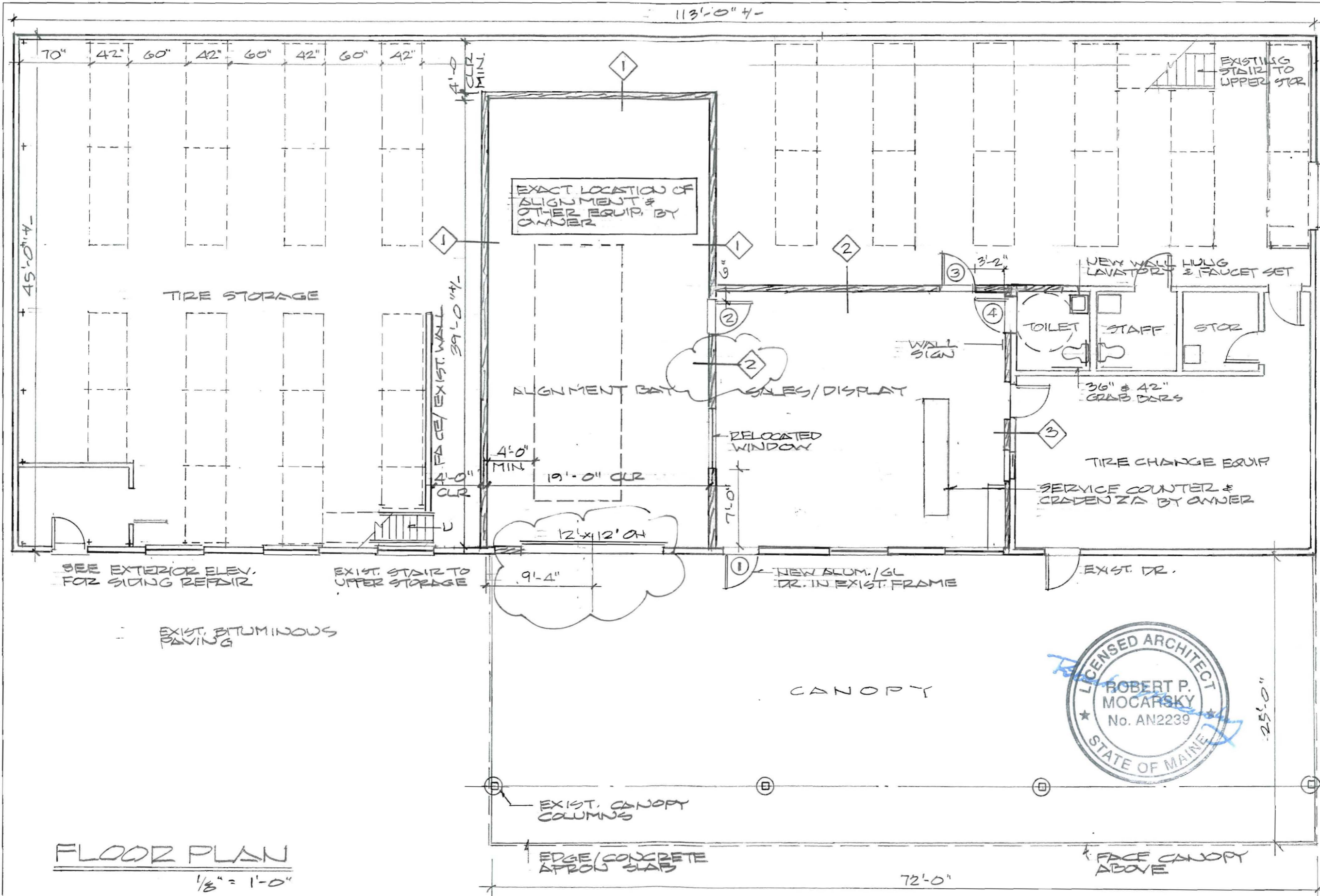


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Demolition and Removal Plan
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

A0
 Date:
 3/14/11



FLOOR PLAN

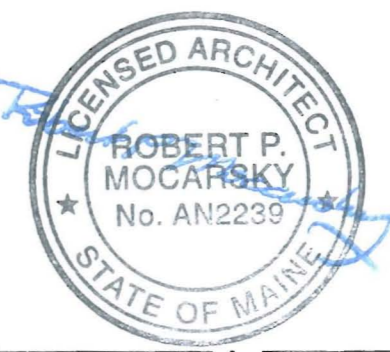
1/8" = 1'-0"

GROUND FLOOR RACK TIRE STORAGE AREA - 2864 SF.

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Floor Plan
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
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A1
 Date:
 3/14/11
 5/10/11

STORAGE SYSTEM METAL DECK THROUGHOUT RENOVATION. MAINTAIN DECK CAPACITY & STABILITY. CONSULT DECK MANUFACTURER AS REQ'D. FINAL INSTALLATION TO MAINTAIN 125 #/SQ CAPACITY.

4'-0" CLR.

1

METAL DECK - 9'-3" +/- ABOVE MAIN FLOOR SLAB

STORAGE BAYS ALIGN WITH ROCK BELOW

WOOD STEPS & HANDRAILS SEE DETAILS

DELIVERY DOOR

2x6 STUD PARTITION WITH 4x4 INCH, 16 GAGE WWF - GALV STEEL ON STORAGE SIDE - 10'-1" AFF TO UNDERSIDE OF ROOF FRAMING. SECURE PARTITION TO FRAMING PROVIDE BLOCKING AS REQ'D.

WIRE PARTITION TO REMAIN

OPEN TO NEW CORRIDOR BELOW

OPEN TO ALIGNMENT BAY BELOW

LINE OF NEW WALL BELOW

NEW PLYWOOD DECK ON TJI FRAMING - SEE SECTIONS & DETAILS DECK ELEVATION 11'-1" ABOVE MAIN FLOOR SLAB

FLUSH

8'-0"

12'-0"

COMPRESSOR ROOM

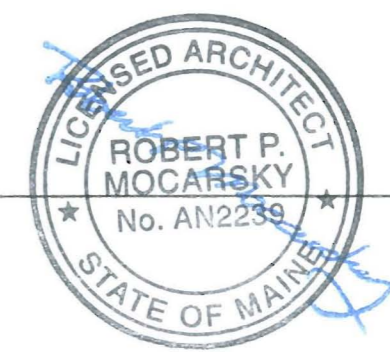
EXIST. PLYWD DECK ON WOOD FRAMING

EXIST. FRAMED WALL TO REMAIN

CANOPY ROOF

UPPER FLOOR PLAN

1/8" = 1'-0"



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207-244-0546, Maine Maine License # AN2239

Upper Floor Plan

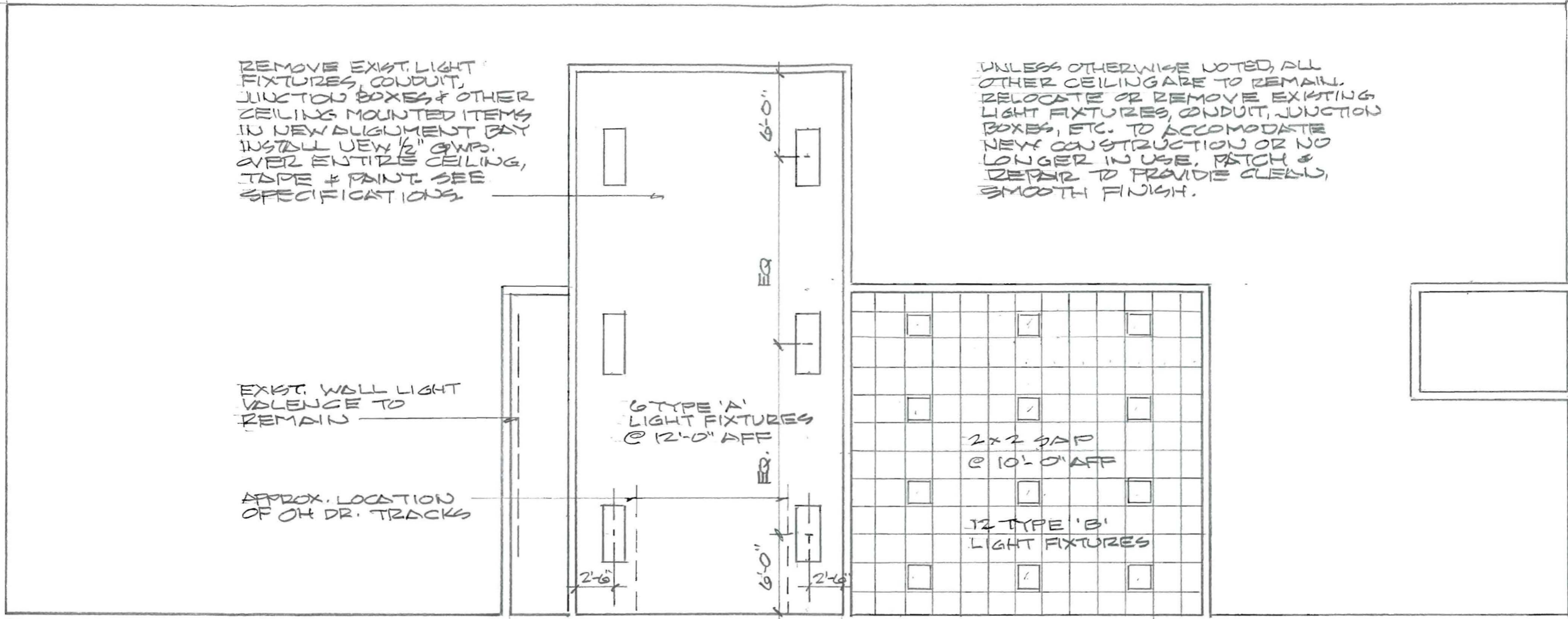
Scale: As Noted

Proposed Alignment Bay Installation

Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A2

Date:
3/14/11
3/10/11



REMOVE EXIST. LIGHT FIXTURES, CONDUIT, JUNCTION BOXES & OTHER CEILING MOUNTED ITEMS IN NEW ALIGNMENT BAY. INSTALL NEW 1/2" GWP. OVER ENTIRE CEILING, TAPE & PAINT. SEE SPECIFICATIONS.

UNLESS OTHERWISE NOTED, ALL OTHER CEILING ARE TO REMAIN. RELOCATE OR REMOVE EXISTING LIGHT FIXTURES, CONDUIT, JUNCTION BOXES, ETC. TO ACCOMMODATE NEW CONSTRUCTION OR NO LONGER IN USE. PATCH & REPAIR TO PROVIDE CLEAN, SMOOTH FINISH.

EXIST. WALL LIGHT VALENCE TO REMAIN

APPROX. LOCATION OF OH DR. TRACKS

6 TYPE 'A' LIGHT FIXTURES @ 12'-0" AFF

2x2 GRID @ 10'-0" AFF

12 TYPE 'B' LIGHT FIXTURES

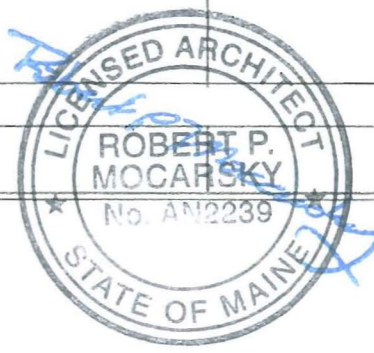
REMOVE CANOPY LIGHT FIXTURES - CAP JUNCTION BOX & REPAIR, CLEAN SOFFIT. INSTALL NEW FIXTURES, ALL WIRING CONCEALED. LIGHT CONTROL AT SAME LOCATION & METHOD AS EXISTING

EXIST. LIGHTS TO BE REMOVED

7 TYPE 'E' LIGHT FIXTURES

REFLECTED CEILING PLAN

1/8" = 1'-0"

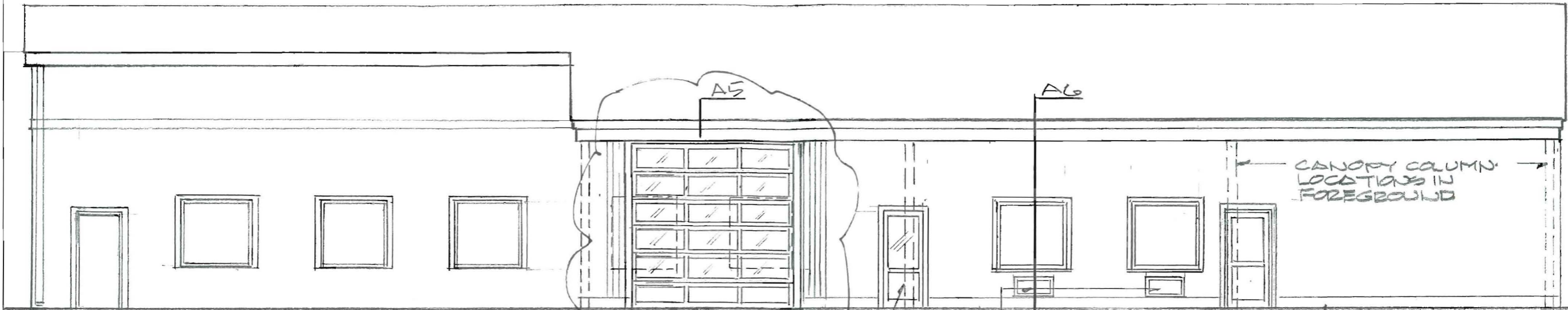


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Reflected Ceiling Plan
Scale: As Noted

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A3
Date:
3/14/11



REPLACE ALL ROTTED & DETERIORATED SIDING TO BLEND & MATCH EXISTING

NEW 12x12 OH DR. SEE SPECIFICATIONS

NEW OLM/GL. DOOR & HARDWARE IN EXIST. FRAME. CLEAN & REPAIR FRAME.

NEW THRU WALL HUGG. CUT OPENINGS AS REQ'D. TRIM & REPAIR SIDING

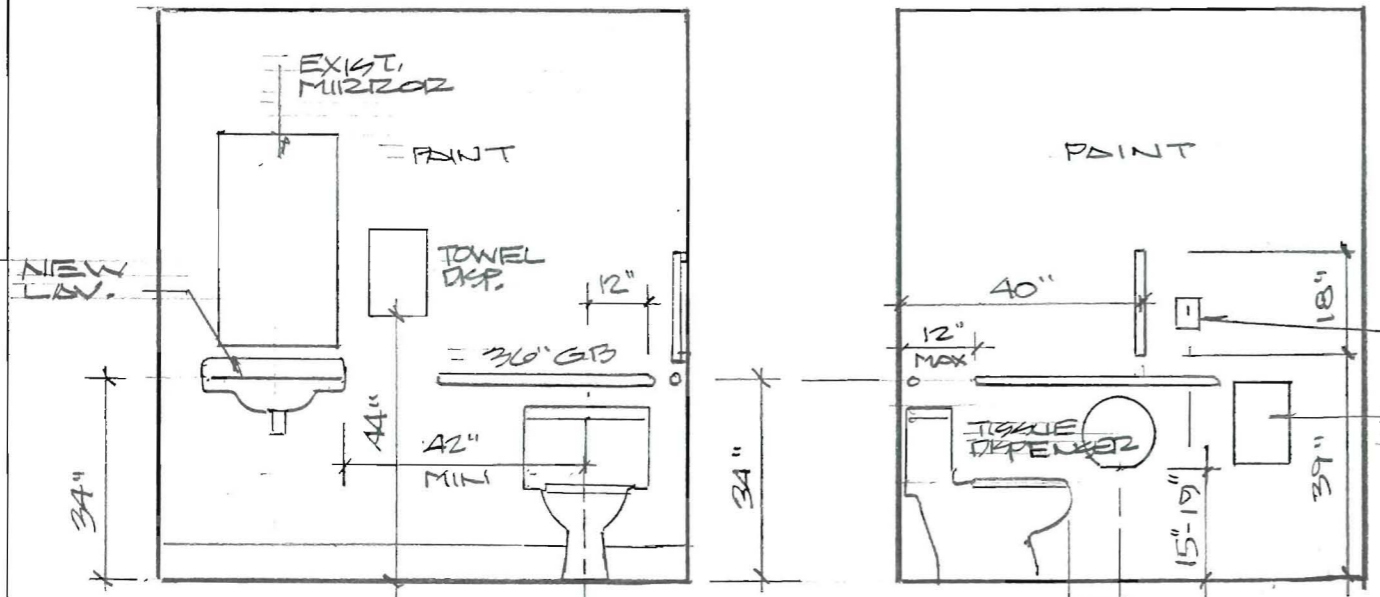
RUBBER BASE TO REMAIN REPAIR AS NECESSARY

REPLACE SIDING AS NECESSARY TO ACCOMMODATE NEW WORK & TO BLEND TO EXISTING. RUN FULL HEIGHT USING LONGEST LENGTH AVAILABLE.

PAINT ENTIRE FRONT OF BUILDING. OBTAIN COLOR SCHEME FROM OWNER.

FRONT ELEVATION

1/8" = 1'-0"



TOILET ELEVATIONS

3/16" = 1'-0"

- NOTES
- PROVIDE GRAB BARS AS SHOWN.
 - RELOCATE ACCESSORIES TO HEIGHTS & LOCATIONS INDICATED.
 - PROVIDE SOLID CONCEALED BLOCKING AS REQ'D. GRAB BARS TO WITHSTAND 250 LB VERTICAL LOAD.
 - CALL FOR SIDE SWITCH

SANITARY NAPKIN RECEPTACLE

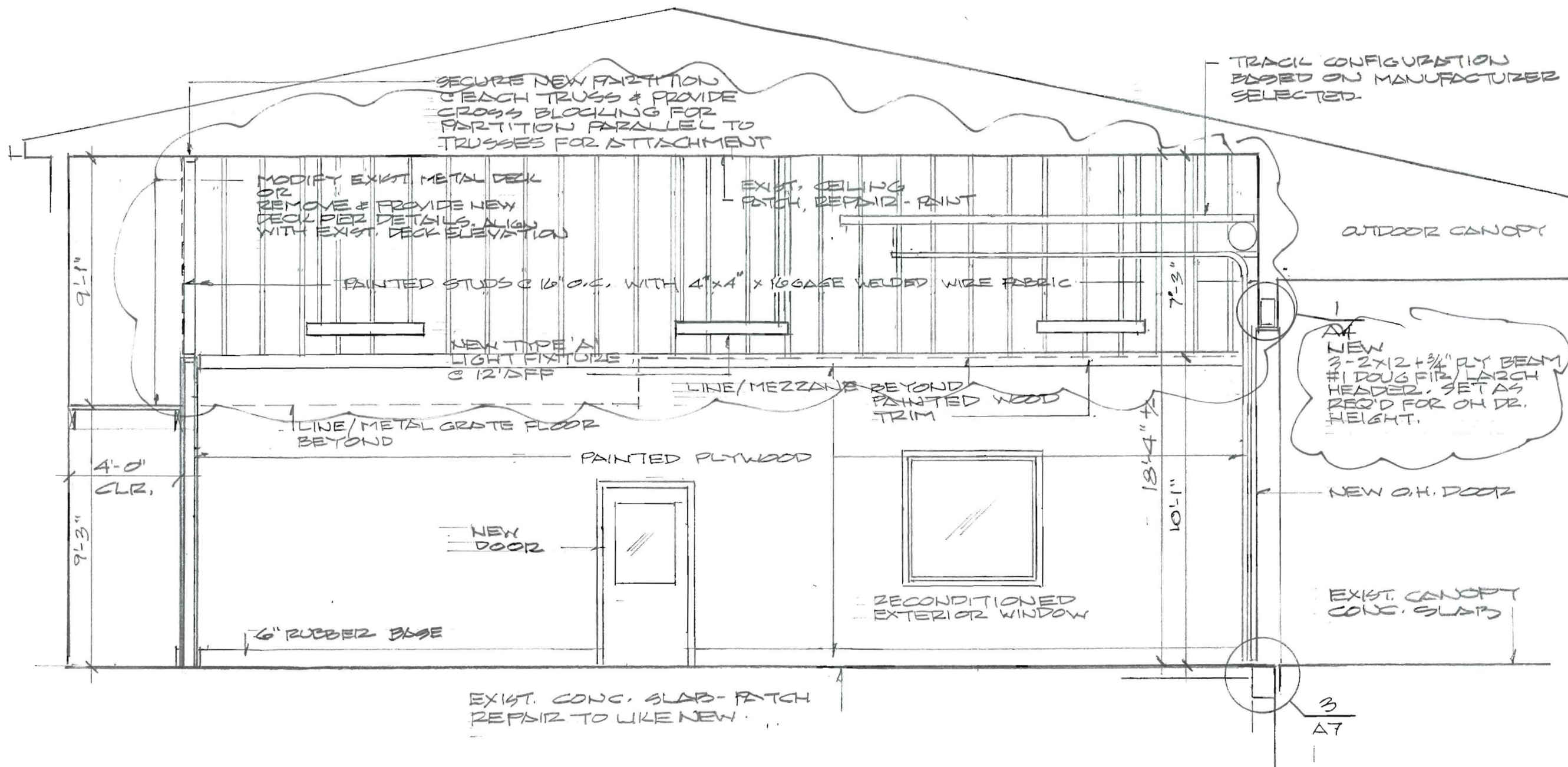


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Exterior Elevation
Scale: As Noted

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A4
Date:
3/14/11
5/10/11



SECTION - ALIGNMENT BAY

1/4" = 1'-0"

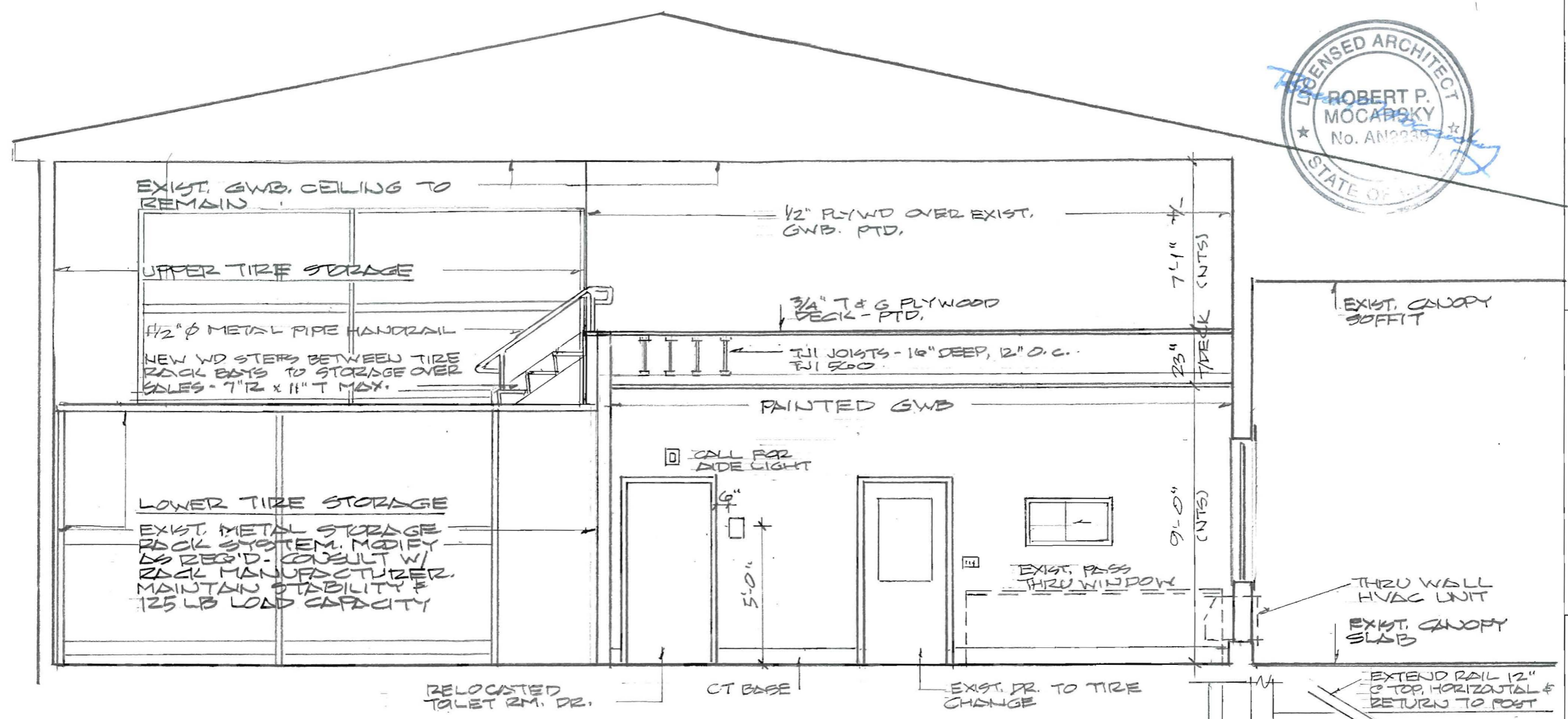
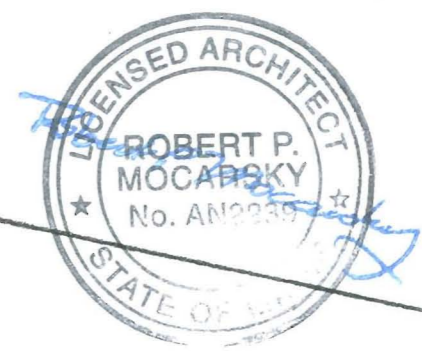
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Sections
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

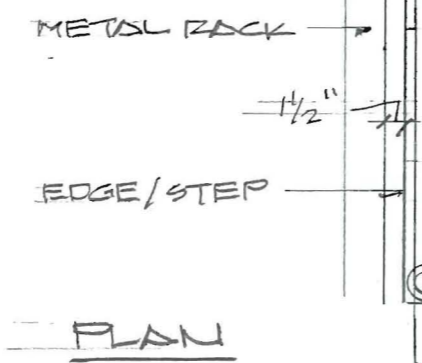
A5
 Date:
 3/14/11
 5/10/11





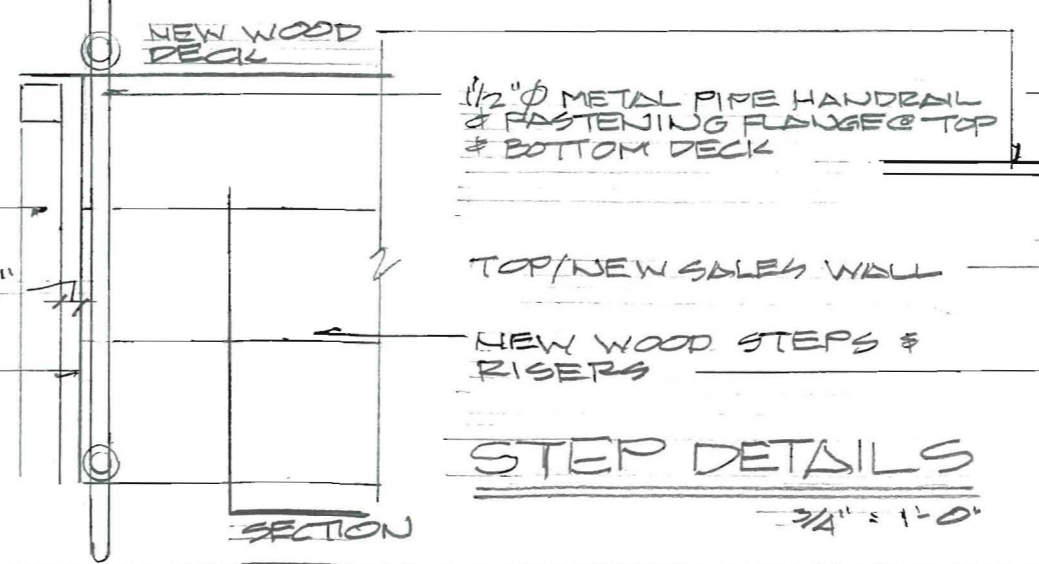
SECTION - SALES

1/4" = 1'-0"



PLAN

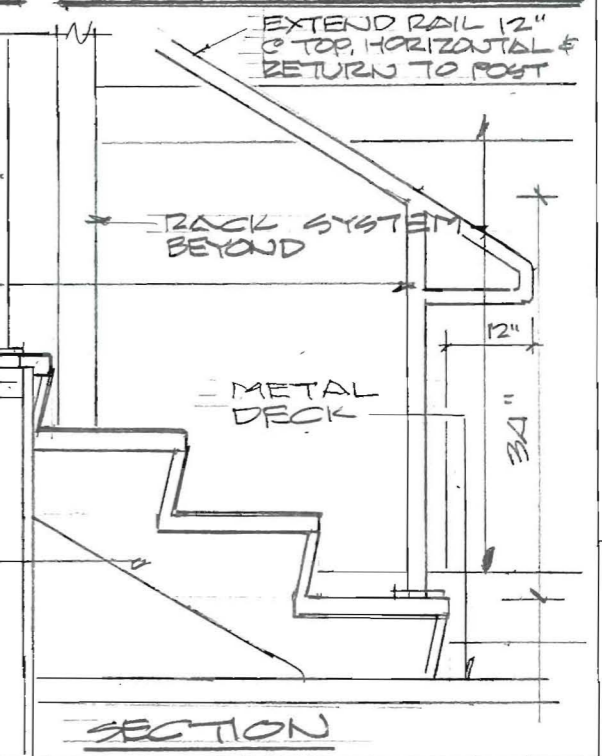
TRIM DOORS & WINDOWS TO MATCH EXISTING.



STEP DETAILS

3/4" = 1'-0"

SECTION



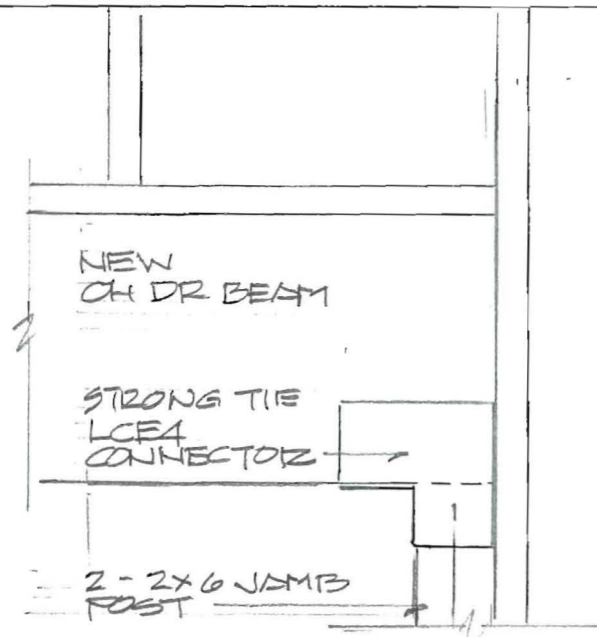
SECTION

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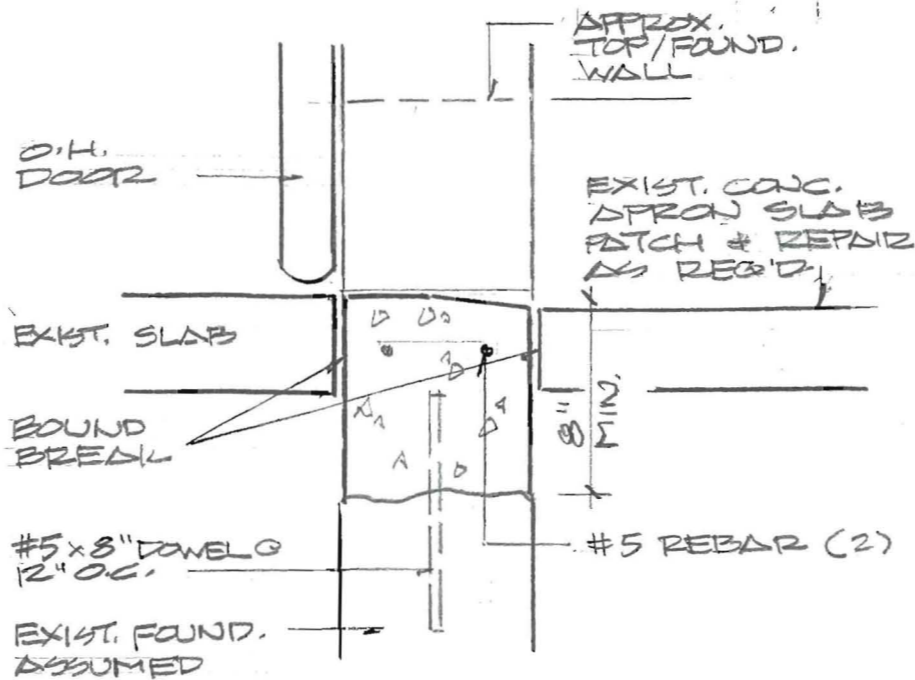
Section
Scale: As Noted

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A6
Date:
3/14/11

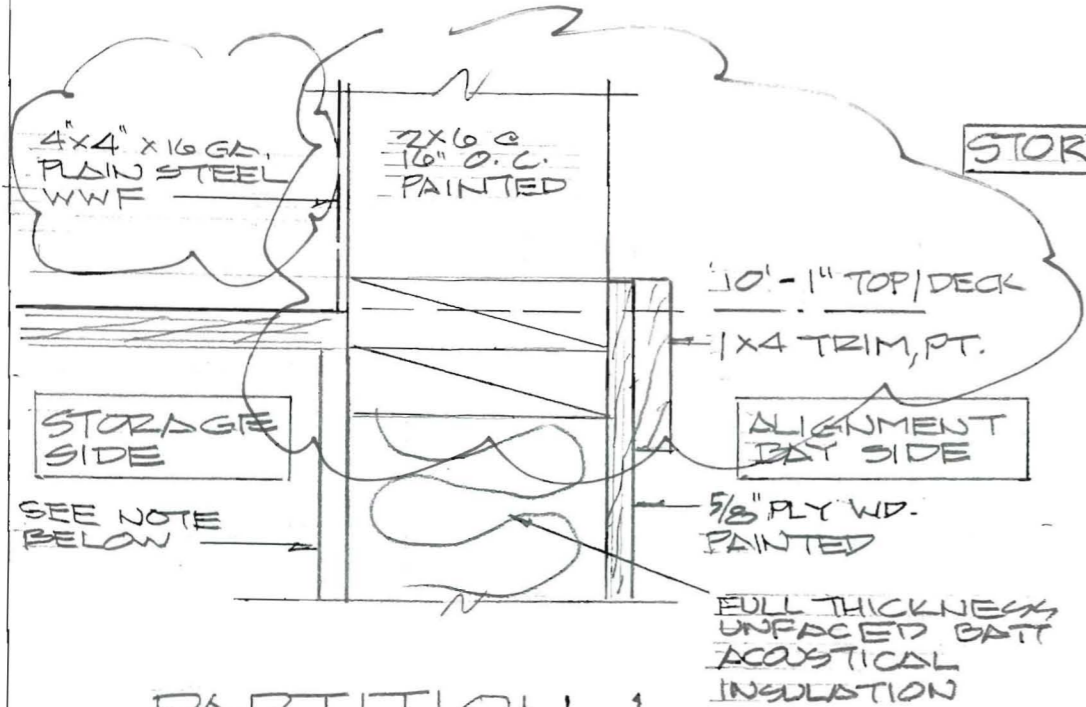


① OH DOOR CONNECTOR
1/2" = 1'-0"

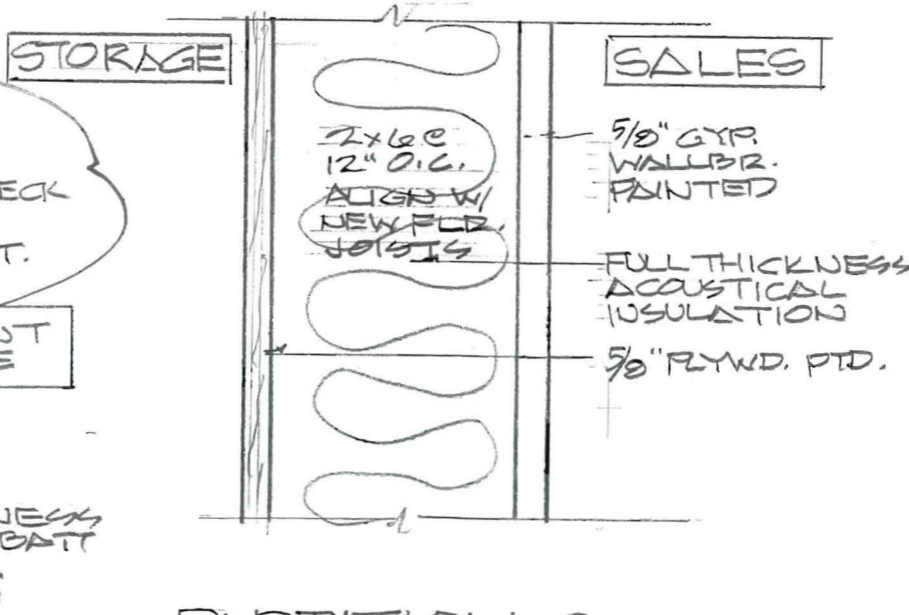


③ OH DOOR SILL
1/2" = 1'-0"

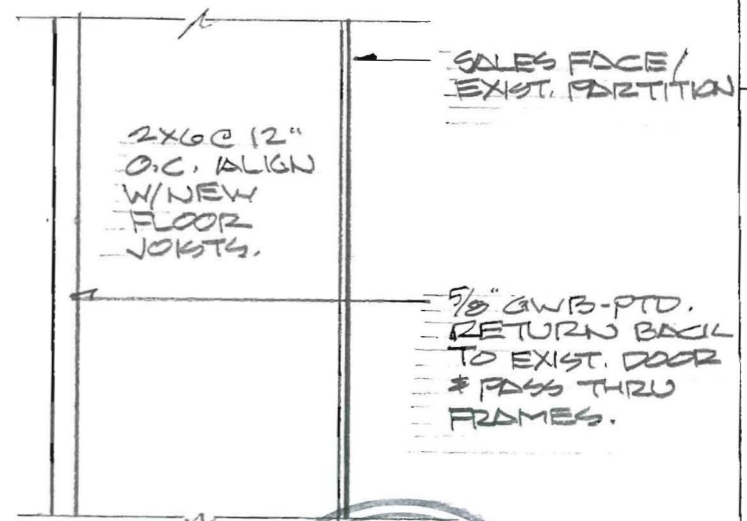
NOTE:
CONC. SLAB THICKNESS ASSUMED @ 4", CONC. FOUNDATION ASSUMED @ 8". MODIFY DETAIL TO ACCOMODATE ACTUAL
REMOVE CONC. FOUND. WALL @ NEW OH TO A MIN. OF 8" BELOW SLAB. DOWEL NEW CONC. (3000PSI) SILL TO EXIST. SIMILAR @ NEW ENTRY DOOR W/ NEW ALUM THRESHOLD TO COVER WIDTH OF FOUND. WALL



PARTITION 1
3" = 1'-0"
SEE SECTION - DWG. A5
PARTITION TYPES
3" = 1'-0"



PARTITION 2
NOTE: ALL PARTITION FACES IN STORAGE AREAS SHALL BE 5/8\" PLYWOOD OR WWF AS INDICATED SURFACES FACING SALES TO BE 5/8\" GWB, PTD.



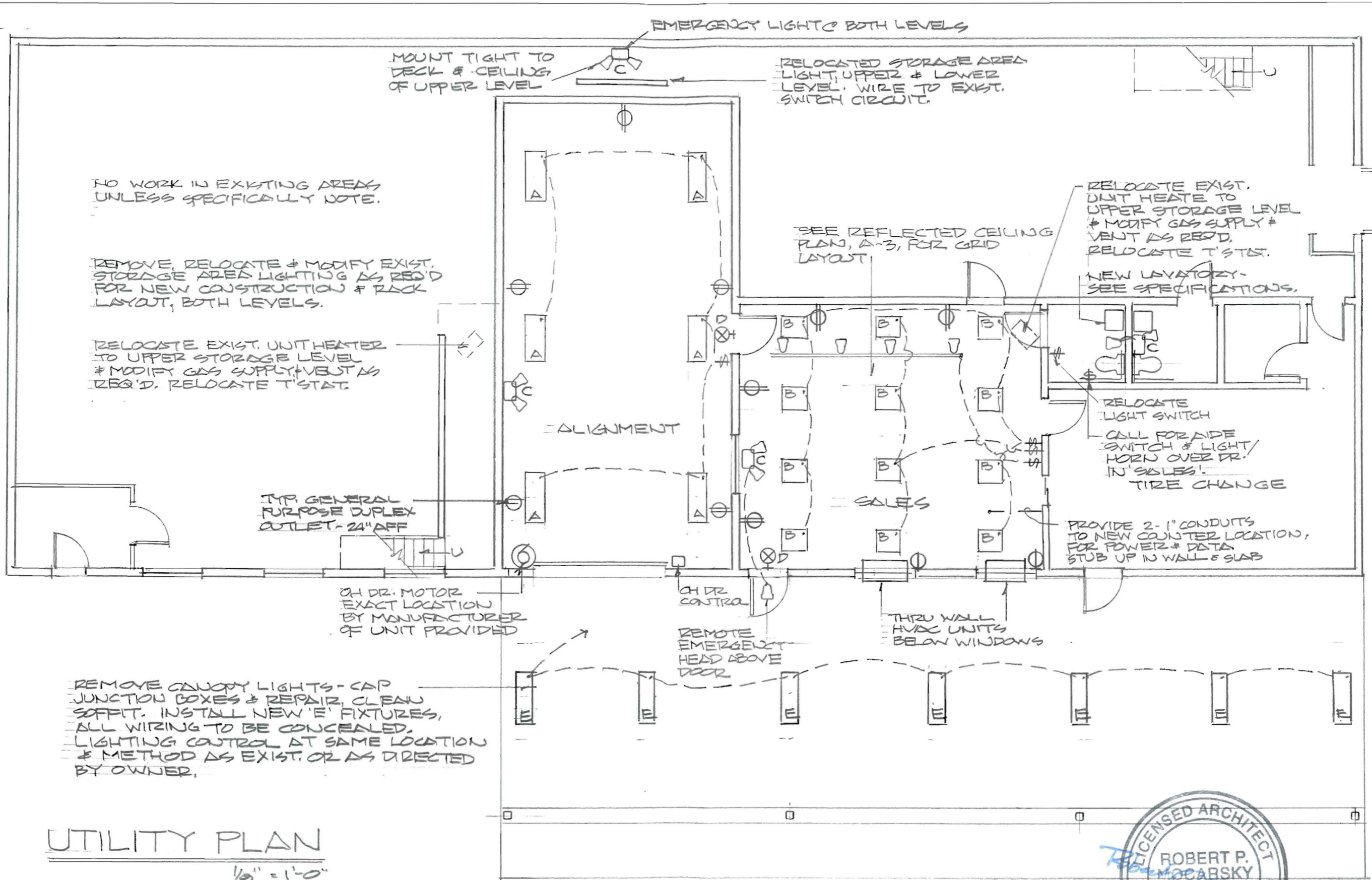
PARTITION 3
ROBERT P. MOGARYSKY
LICENSED ARCHITECT
No. 412239
STATE OF MAINE

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Details
Scale: As Noted

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

A7
Date:
3/14/11
5/10/11



NO WORK IN EXISTING AREAS UNLESS SPECIFICALLY NOTE.

REMOVE, RELOCATE & MODIFY EXIST. STORAGE AREA LIGHTING AS REQ'D FOR NEW CONSTRUCTION & RACK LAYOUT, BOTH LEVELS.

RELOCATE EXIST. UNIT HEATER TO UPPER STORAGE LEVEL & MODIFY GAS SUPPLY, VENT AS REQ'D. RELOCATE T'STAT.

TYP. GENERAL PURPOSE DUPLEX OUTLET - 24" AFF

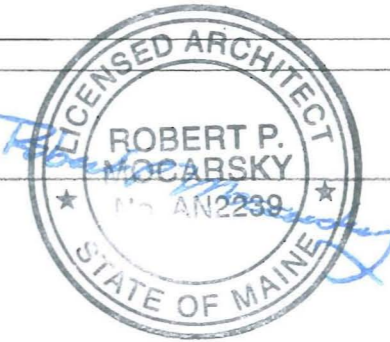
CH DR. MOTOR EXACT LOCATION BY MANUFACTURER OF UNIT PROVIDED

REMOVE CANOPY LIGHTS - CAP JUNCTION BOXES & REPAIR, CLEAN SOFFIT. INSTALL NEW 'E' FIXTURES, ALL WIRING TO BE CONCEALED, LIGHTING CONTROL AT SAME LOCATION & METHOD AS EXIST. OR AS DIRECTED BY OWNER.

UTILITY PLAN

1/8" = 1'-0"

LIGHTING OVER NEW STORAGE DECK ABOVE SALES: RELOCATE EXIST. STORAGE FIXTURES REMOVED FOR CONSTRUCTION, INSTALL & CIRCUIT SIMILAR TO EXIST. LAYOUT



<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>	<p>Utilities Plan</p> <p>Scale: As Noted</p>	<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>	<p>A8 Date: 3/14/11</p>
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Specifications

PROJECT DESCRIPTION

Project includes but is not limited to:

- Construction of a new alignment bay and Sales/Waiting space within the existing facility, including necessary demolition, storage rack system modifications, new construction, mechanical and electrical work.
- Coordination of equipment installation.

GENERAL CONDITIONS

The Work includes only that which is shown and specified in these documents. The drawings and specifications are to be used as complementary to each other. The more stringent, greater quality or quality of either shall be provided.

All workmanship to be of first class quality.

All materials shall be new and of the quality specified or matching the existing, unless noted to be existing to be reused.

All work to conform to current federal, state and local applicable building, accessibility, fire, electrical mechanical and plumbing codes and regulations.

All contractors and subcontractors shall hold current appropriate licenses, were required, for the work they are to perform.

Contractor shall obtain and include in bid the cost of all necessary construction permits.

Do not make any changes to the Work without written approval from the Architect. The Architect shall be notified in writing of any proposed changes to the Work prior to its execution. The Architect has the right to reject such changes. A signed Change Order with a description of the work involved and final cost changes shall be executed prior to the changes being carried out.

The Contractor shall review all materials and equipment substitutions with the Owner and obtain Owner's written approval of changes.

Clean and remove all debris from the interior on a daily basis and dispose of in an enclosed, appropriate size container. Have the debris container emptied when full. Pick up any debris that is on the site daily.

Install appropriate dust control to limit dust and dirt entering areas beyond the work.

Maintain the security integrity and weather integrity of the structure at the close of each working day.

Provide work schedule to the Owner. Owner must have access and use of the facility at all times. Review with client specific requirements and needs and provide temporary construction as necessary. The facility shall remain operation for the carrying out of the Owner's normal business. Confine work operations to the areas of work and minimize disruption of the owner's use of the premises.

Provide copy of all warranties to the client.

PATCHING AND GENREAL PAINTING

At all area where partitions, flooring, ceilings, door openings, have been impacted by the demolition work, patch and repair to blend to the adjacent finish with like materials and appearance.

Make all transitions smooth and clean so that the finished appearance is like new.

Unless specifically noted elsewhere, painting is to include all new work and existing disturbed work. Painting shall not be terminated in the field of any surface but shall extend corner to corner, either interior or exterior corners and entire ceiling.

Repair or replace any and all damage to materials and construction to remain caused by the Work in a manner to match existing conditions.

DEMOLITION

Provide legal dumpster for containment of all debris.

Remove all debris from site on a regular basis and when dumpster is full. Cover or otherwise contain as necessary to eliminate potential of debris blowing around or creating a hazard.

Repair any and all damage to the site from the dumpster, dumpster placement and demolition or construction activities to match existing conditions caused by such Work.

Provide all demolition and removal work in a professional, craftsmanship, neat manner so as not to damage adjoining or other finish work to remain.

Remove unused conduit, cables, wiring, hangers and miscellaneous items.

Additional miscellaneous demolition and removal as shown on drawings and as required for all new work.

Storage Rack System: Removal of the Storage Rack Systems shall be under the supervision of, or by the Storage Rack System manufacturer or manufacturer's representative. Portions of the system that are to remain must remain stable and capable of supporting a minimum of 125 pounds per square foot at all times and in compliance with applicable codes.



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Specifications

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

SP1
Date:
5/10/2011

NEW WORK

Concrete

Patch concrete slab as shown, where holes are left from storage rack removal and where required for new work to achieve a like new appearance.

New concrete – 3500psi.

Clean existing interior slab in alignment bay for sealing by Painter

Floors

Floor loading – 125lbs/sf. Framing equal to Trus Joist TJI 560 as shown. Provide bridging and blocking per manufacturer's direction. Align wall stud and trusses for direct bearing.

Flooring – ¾ inch, T and G, A-C finish, structural plywood. Glue and screw in place at each truss.

Partitions

Stud grade, Hem/Fir, PT sills and OH door frames. Sizes as show.

#1 light structural grade Doug Fir/Larch for OH Door lintel or equivalent capacity engineered beam.

Interior paneling – 5/8" plugged and sanded (A-C) plywood and GWB as shown, tape GWB and apply 3 coats spackle, sand and paint. See details

Exterior Siding – 5/8" vertical grooved siding match existing, paint.

Trim – Number 2 or better, tight knots, pine or poplar. Sizes as shown, paint.

Fiberglass Batt insulation in exterior wall framing, foil faced, R19. Acoustical – unfaced batts, full depth of partition.

Partitions to be securely braced and tied to the ceiling roof structure. Do not brace or attach to the metal storage rack system. See details.

Provide solid blocking for new accessories, garbs bars etc.

Doors/Frames

Doors 2,3: Equal to **Steelcraft**, L18 Series, Half lite, polystyrene core, premier visible edge, reinforced for lockset and closer, standard Designer Trim for setting glass, ¼" clear safety or laminated glass, primed

Frame 2,3: Equal to **Steelcraft**, F16, double rabbited, throat matching wall thickness, welded, rubber silencers, reinforced for closer, primed.

Door 1: Replace exiting door leaf with new leaf Equal to EFCO D300 aluminum, medium stile, full lite, door and frame system with standard manufacturer's hardware, butt hinges, surface closer, lock, weatherstripping, push pull and sign "This door to be unlocked whenever building is occupied." Repair and clean frame.

Door 4: Relocate existing toilet door and frame. Repair as necessary. Provide new hardware equal to below. If it is more appropriate provide new door and frame, provide equal to Door 2 except solid flush.

Door Hardware – Doors 2,3. Each to have:

Hinges: 3 – Equal to **Stanley** FBB 179.

Closer: Equal to **Sargent**, 281 Powerglide Series, "O" Arm Top Jamb Application with hold open, silver finish.

Passage Sets: Equal to **Sargent** 8200 Series, mortise, Sanibal lever, CE Escutcheon, Brushed chrome finish.

Kick Plate: Equal to **Rockwood**, brushed chrome, 24 inches high. On push side of door.

Door 4 to have:

Hinges: 3 – Equal to **Stanley** FBB 179.

Privacy Set: Equal to **Sargent** 8200 Series, Privacy Functin #66, mortise, Sanibal lever, CE Escutcheon, Brushed chrome finish.

Overhead Door

Equal to **Wayne – Dalton** Full View 451, motor operated, safety edge, full rectangular insulated glass lites, Standard headroom with extension risers as shown, 3" galvanized track, jamb and sill weather-stripping, include optional header seal.

DSB Glass.

Smooth aluminum lower panels.

Provide track and accessories supports as directed by manufacturer

Provide emergency non powered operation.

Finish as selected.

Coordinate power locations and requirements with Electrical Contractor

Coordinate Control locations with Owner

Verify, test operation and make adjustments as necessary for smooth operation.

Provide standard manufacturer's warranty.

Finishes

All new finish work to blend to existing. Match existing color or obtain color selects from Owner

New surfaces - primer plus two coats semi-gloss.

Existing painted surfaces – two coats.

Paint trim and doors in all surfaces which receive new paint.

Finish Schedule

Space	Floor/Base	Walls/	Existing.	New	Ceiling
Sales/Waiting	CT/CT		Paint	Paint	SAP
Alignment Bay	Sealer		Paint	Paint	Paint
Upper Level Storage	-----		-----	Paint	-----
Public Toilet	CT/CT		Paint	Paint	Paint
Exterior	-----		Paint	Paint	Clean

Paint equal to Benjamin Moore – Interior, "Natura", non VOC - primer and semi gloss finish. Exterior, "ben", flat for flat work, soft gloss for trim.

Concrete Floor – Armoproxy - UltraFast PS epoxy.

Floors – Sales - Equal to Dal-tile, porcelain ceramic, unglazed, 12' x 12" with 6" x 12" base. RDO 6, blue/grey.

Toilet - Equal to American Olean ceramic tile, 8"x8" with 6" x 8" base, UP52, charcoal grey.

SAP - Equal to Armstrong 932, 2' x 2', white, fine fissured with reveal edge in Armstrong intermediate duty white grid.

Accessories

Signage - Public Toilet – Equal to Seton Nameplate, one, 8" x 8" plastic laminate with unisex ADA graphics. Mount adjacent to door on wall at 60" AFF, See Floor Plan and Section for location.

Grab Bars: Equal to Bradley Series 832, 1 ¼", concealed mounting, one at 36" one 42" and one 18".

Sanitary Napkin Receptacle – Series 4781-15.

Equipment

Alignment Machine and associated items: By Owner General Contractor to coordinate equipment needs with general construction providing blocking, miscellaneous built in supports, electrical and other items for complete operation of equipment. Obtain layouts and requirements from Owner.

Storage Racks System: By Owner All changes to rack system shall be executed by or under the supervision of the Storage Rack Manufacturer or manufacturer's representative. Maintain lateral stability and 125 pound per square foot minimum capacity at all times. Provide all necessary temporary and permanent bracing. Do not brace to new partition.

Plumbing

Lavatory: Equal to Mansfield, Grande Isle, 2018HBNS, china wall mounted with high back – 4 inch centers, white, ADA compliant.

Faucet Set: Equal to Symmons, Symmetrix S-30-2-G-W, single handle, no pop up drain, waste drain grid, chrome, 6 inch extended handle.

Exposed Lavatory Pipe Insulation: , ADA, Truboro, preformed, white on all supplies and drain.

Heating

Modify existing system to separate new Alignment Bay, relocate any existing units and accessories as necessary to provide uniform heating of the existing space and provide and separate zone with wall thermostat for the new Alignment Bay. Provide thru wall HVAC units for new Sales/Waiting with integral temperature, fresh air and fan control, capacity sized by mechanical contractor.

Contractor to provide all changes to existing units, new gas service, roof penetrations, roof flashing and roof repair, and vent thru roof vents for units as may be required.

Electrical

Provide dedicated electrical necessary for Owner Alignment equipment. Obtain list of equipment to be installed from the Owner. Obtain information of needs from Owner's Equipment Supplier Include costs in bid.

Provide electrical as necessary for the Overhead Door operation.

Provide electrical as necessary for the new thru wall HVAC units.

Provide miscellaneous electrical, outlets, switches, etc. as required by applicable codes and directed by Owner.

Switches and outlets – Professional grade, quite type switches, 3 prong outlets. Provide GFI outlets in locations required by codes. Ground prong located down. Relocate outlets and switches that are impacted by the work to locations shown or as designated by the Owner.

All work in accordance with applicable codes.

Light Fixtures

Alignment Bay: "A" Equal to Columbia LHV4-4, pendant mounted, four T8 32 watt daylight lamps, M4R reflector, 4EHL ballast, flat wire guard, 120 volt.

Sales/Waiting: "B" Equal to Columbia Stratus E Recessed Series, STE22-3-2' x2' recessed, lay in, 3 F 12 T8 lamps, indirect, metal perforated shield with overlay, 120v.

Emergency Light: "C" Equal to Dual-Lite, EZ-2 Series, 120 volt, NFPA 70 and 101 listed, two adjustable, 5,4 incandescent lamps. Remote heads as shown.

Exit Light: "D" Equal to Dual-Lite, LX Series, LED lamps, 120 volt, red letters, test switch and 2 hour emergency mode operation, NFPA 70 and 101 listed.

Canopy Light: "E" Equal to Columbia LHC164-4, surface mounted, four T8 32 watt daylight lamps, FA door, M4R, reflector, cold weather ballasts, flat wire guard, volt120,

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63 Foxbrook Road

East Hartland, CT 06027

860-653-4185, Connecticut

207-244-0546, Maine Maine License # AN2239

Specifications

Proposed Alignment Bay Installation

Tire Warehouse

195 Riverside Street

Portland, Maine 04103

SP2

Date:
5/10/2011

268 A007002

2011-04-809

Print

Print - Close Window

Subject: Tire Warehouse Portland, ME
From: GEORGE CLOSSON (george.closson@anet.net)
To: rpmarchitecture@gmail.com;
Date: Tue, 28 Jun 2011 14:18:30

Hello Bob,

We just had an inspection on the wall framing. The inspector wants details on the interior door openings headers. My contractor on site suggests using 2 6" X 18 ga studs on their sides capped with 6" X 18 ga track fastened at each end with an "L" clip top and bottom fastened with 6 #10 screws.

Also, as I discussed with you he has used steel studs for the wall framing in place of the 2 X 6 wood you have on the plans. On the customer service walls he used 18 g metal studs 12" OC to hold the second floor decking.

The alignment bay walls he used 20 ga (floor to ceiling) metal studs 16" OC.

If this is acceptable to you, could you indicate your approval to me so that I can get it to the Inspector?

Thanks

George

George N. Closson
President
SOC Construction, Inc.
294 Main Street
Winsted, Ct. 06098
General Contractor - Construction Management
Authorized Builder VP Buildings
Office 1.860.379.3891
Fax 1.860.379.5744
Mobile 1.860.485.2027

The above is acceptable. Attachment of alignment bay studs at the ceiling must be to solid rafters or solid blocking.

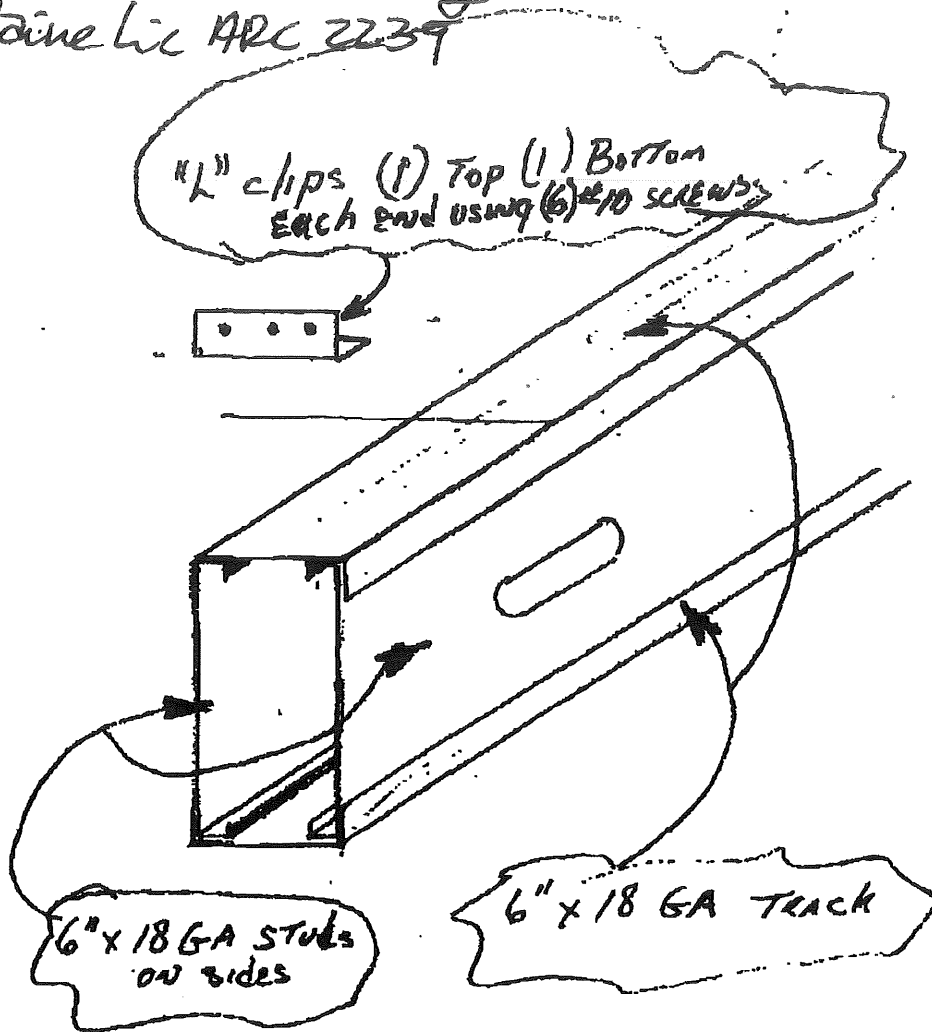
Robert P Mocardy
Maine Lic - ARC 2839

Please call
Mike Dora
K. [unclear]
Tire Warehouse
my cell 233-9004

RECEIVED

JUL - 5 2011
Dept. of Building Inspections
City of Portland Maine

Acceptable for Door Headers
Robert P Mocarlsky
Maine Lic ARC 2239



- CUSTOMER SERVICES
- 1) Instead of wood framing, we used 18 GA metal studs 18" O.C. TO HOLD SECOND FLOOR wood decking.
 - 2) Alignment Bay
Instead of wood framing we used 20 GA. (Floor to ceiling) metal studs 16" O.C.

RECEIVED

JUL - 5 2011

Dept. of Building Inspections
City of Portland Maine

Door Header Design
DOTEN'S CONSTRUCTION INC

P. 03
00009/0004

207 244 8536

SOC CONSTRUCTION

JUL-01-2011 08:58 AM MOCARSKY
07/01/2011 07:41 FAX 880 379 8744

2078660375

Jun 29 11 11:56a Doten's Construction, Inc

P.1

Acceptable
Robert Mocarisky
Maine Lic #ARC 2239 3/4 ADVANTEX decking

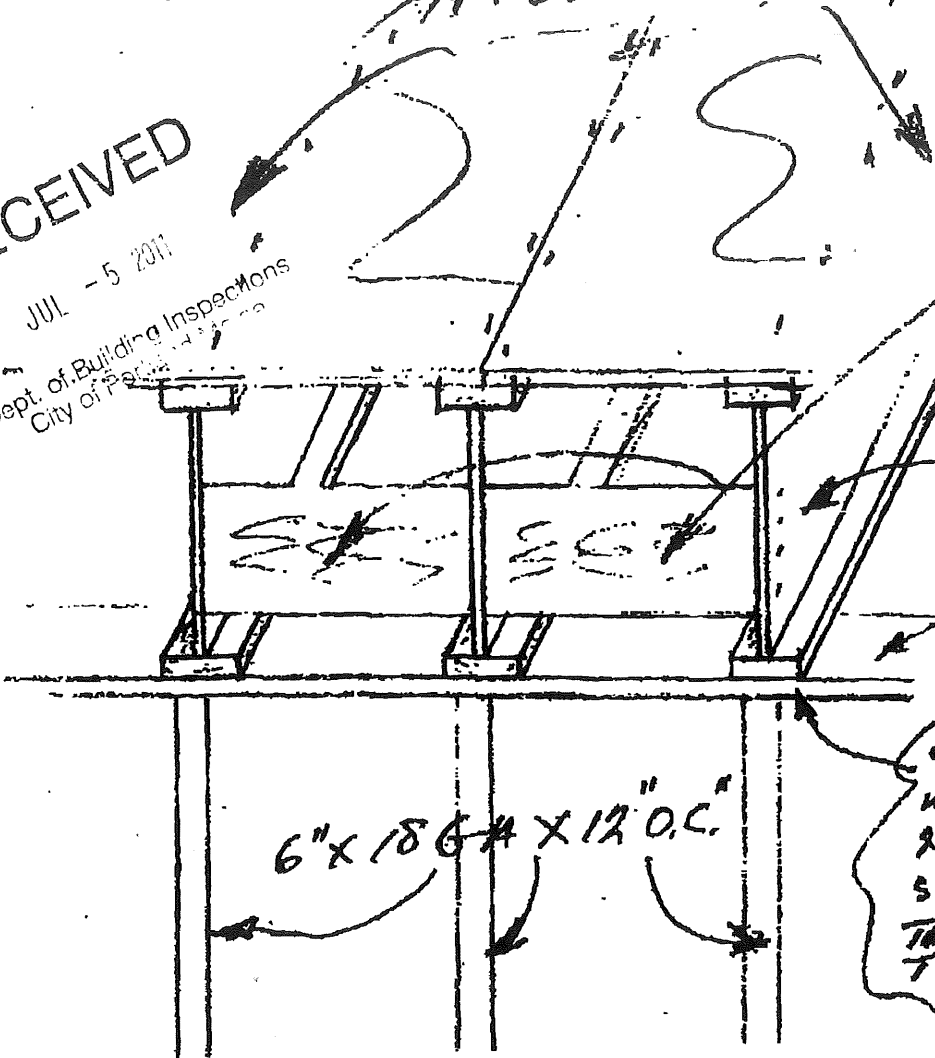
DOTEN'S CONSTRUCTION

NOTE: There are
Four rows of 2x8 KD
Blocking applied, a row
at each end + 2 row
equally space in open
span

RECEIVED

JUL -5 2011

Dept. of Building Inspections
City of Portland



2x8 KD Blocking

14' TJI 1200
JOIST SYSTEM

6" x 186A
TOP WALL TRACK

SECURE TJI TO TOP
WALL TRACK WITH (6)
2" x 4" CORNER SCREWS
SCREWS APPLIED THROUGH
TRACK UP INTO BOTTOM
TJI JOIST

6" x 186A x 12" O.C.