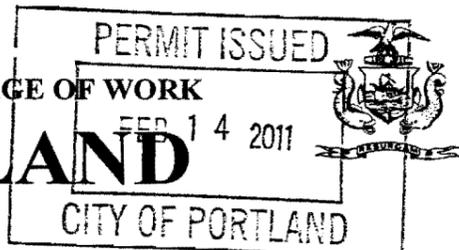




DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND



BUILDING PERMIT

This is to certify that MONROE MUFFLER/SOC CONTR Located At 195 RIVERSIDE CBL: 268 A007002

has permission to Construct modifications for proposed alignment bay PERMIT # 2011-01-267

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature]
Fire Prevention Officer

[Signature] 2/14/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CARD.

PERMIT ISSUED
 FEB 14 2011
 CITY OF PORTLAND

Job No: 2011-01-267-ALTCOMM	Date Applied: 1/18/2011	CBL: 268 - - A - 007 - 002 - - - - -	
Location of Construction: 195 RIVERSIDE	Owner Name: MASTER FUNDING SPIRIT	Owner Address: 14631 NORTH SCOTTSDALE RD STE SCOTTSDALE, AZ - ARIZONA 85254	Phone:
Business Name:	Contractor Name: Closson, George	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-4
Past Use: Tire Warehouse	Proposed Use: Tire Warehouse	Cost of Work: 45000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i> (58)	Inspection: Use Group: <i>S-1/M</i> Type: <i>SB</i> Signature: <i>[Signature]</i>
Proposed Project Description: 195 Riverside St. / Alterations -- add alignment bay in existing space		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews	Zoning Appeal	Historic Preservation
	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 1/18/11 <i>ARM</i> <i>OK w/ conditions</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2011-01-267-ALTCOMM

Located At: 195 RIVERSIDE

CBL268 - - A - 007 - 002 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
3. Any cutting and welding done will require a Hot Work Permit from Fire Department.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
6. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing Prior to insulation or drywall
 2. Final inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 195 RIVERSIDE STREET		
Total Square Footage of Proposed Structure/Area INTERIOR RENOVATION ONLY		Square Footage of Lot 29,664 sf
Tax Assessor's Chart, Block & Lot Chart# 268 Block# A Lot# 0 07002	Applicant * <u>must be owner, Lessee or Buyer</u> * Name MONRO MUFFLER/BRAKE, INC. Address 200 HOLLEDER PARKWAY City, State & Zip ROCHESTER, NY 14615	Telephone: 585-784-3360
Lessee/DBA (If Applicable) TIRE WAREHOUSE	Owner (if different from Applicant) Name SPIRIT MASTER FUNDING III LLC Address 14631 NORTH SCOTTSDALE RD City, State & Zip STE 200 SCOTTSDALE, AZ 85254	Cost Of Work: \$ 45,000.00 C of O Fee: \$ Total Fee: \$ 470.00
Current legal use (i.e. single family) RETAIL AUTOMOTIVE	If vacant, what was the previous use? N/A	RECEIVED JAN 17 2011 Dept. of Building Inspections City of Portland, Maine
Proposed Specific use: NO CHANGE	Is property part of a subdivision? NO If yes, please name	
Project description: AS DESCRIBED ON ATTACHED PLAN SET.		
Contractor's name: SOC CONSTRUCTION, INC.	Address: 294 MAIN STREET	
City, State & Zip: WINSTED, CT. 06098	Telephone: 860-379-3891	
Who should we contact when the permit is ready: GEORGE CLOSSON	Telephone: 860-485-2027	
Mailing address: SAME AS ABOVE		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 14 JAN 11

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: Robert P. Mocarosky
 Date: 12/6/10
 Job Name: Tire Warehouse Modification - Proposed Alignment Bay
 Address of Construction: 195 Riverside Street, Portland, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) (M) Mercantile
 Type of Construction SB
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations - Existing Bldg. no changes

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w
 table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D & S_{DI} (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IEEC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



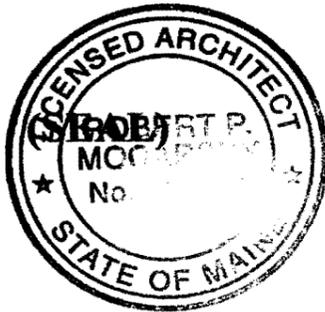
Accessibility Building Code Certificate

Designer: Robert P. Mocarlsky

Address of Project: 195 Riverside Street

Nature of Project: Interior modifications to provide
Wheel Alignment bay

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



2239

Signature: Robert P. Mocarlsky

Title: Architect

Firm: rpmarchitecture

Address: 63 Fox Brook Road
E. Hartland, CT 06027

Phone: 860 653 4185

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

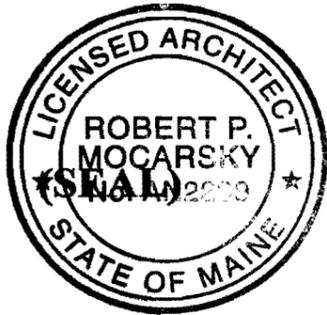
Date: 12/6/10

From: Robert P. Mocarsky

These plans and / or specifications covering construction work on:

Tire Warehouse, 195 Riverside Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Robert P. Mocarsky

Title: Architect

Firm: rpmarchitecture

Address: 63 Fox Brook Road

East Hartland, CT 06027

Phone: 860 653 4185

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Proposed Alignment Bay

Tire Warehouse

195 Riverside Street

Portland, Maine 04103

Date: 6 December 2010

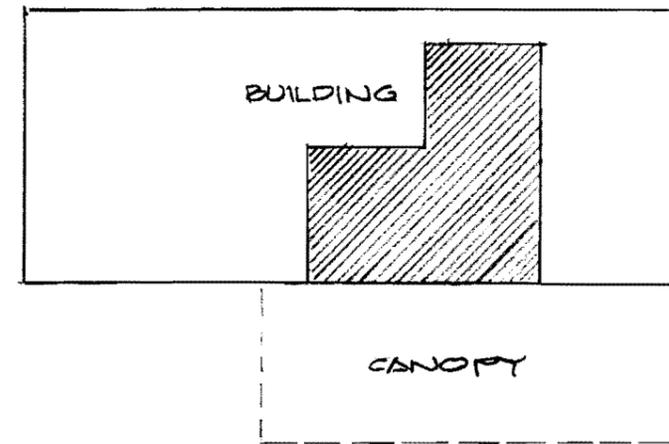
List of Drawings

- AE – Existing Conditions
- AO – Demolition Plan
- A1 – Floor Plan
- A2 – Upper Floor Plan
- A3 – Reflected Ceiling Plan
- A4 – Exterior Elevations
- A5 – Section
- A6 – Section
- A7 – Details
- A8 – Utility Plan
- SP1 – Specifications
- SP2 – Specifications

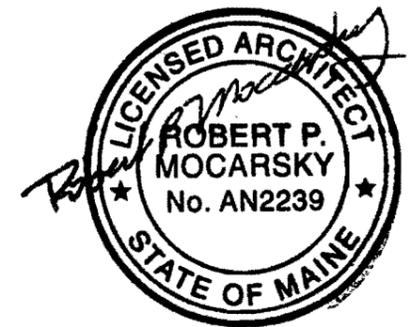
Contractor

George Closson
SOC Construction Inc.
294 Main Street
Winsted, CT 06098
860-379-3891, 860-485-2027(cell)

RIVERSIDE STREET

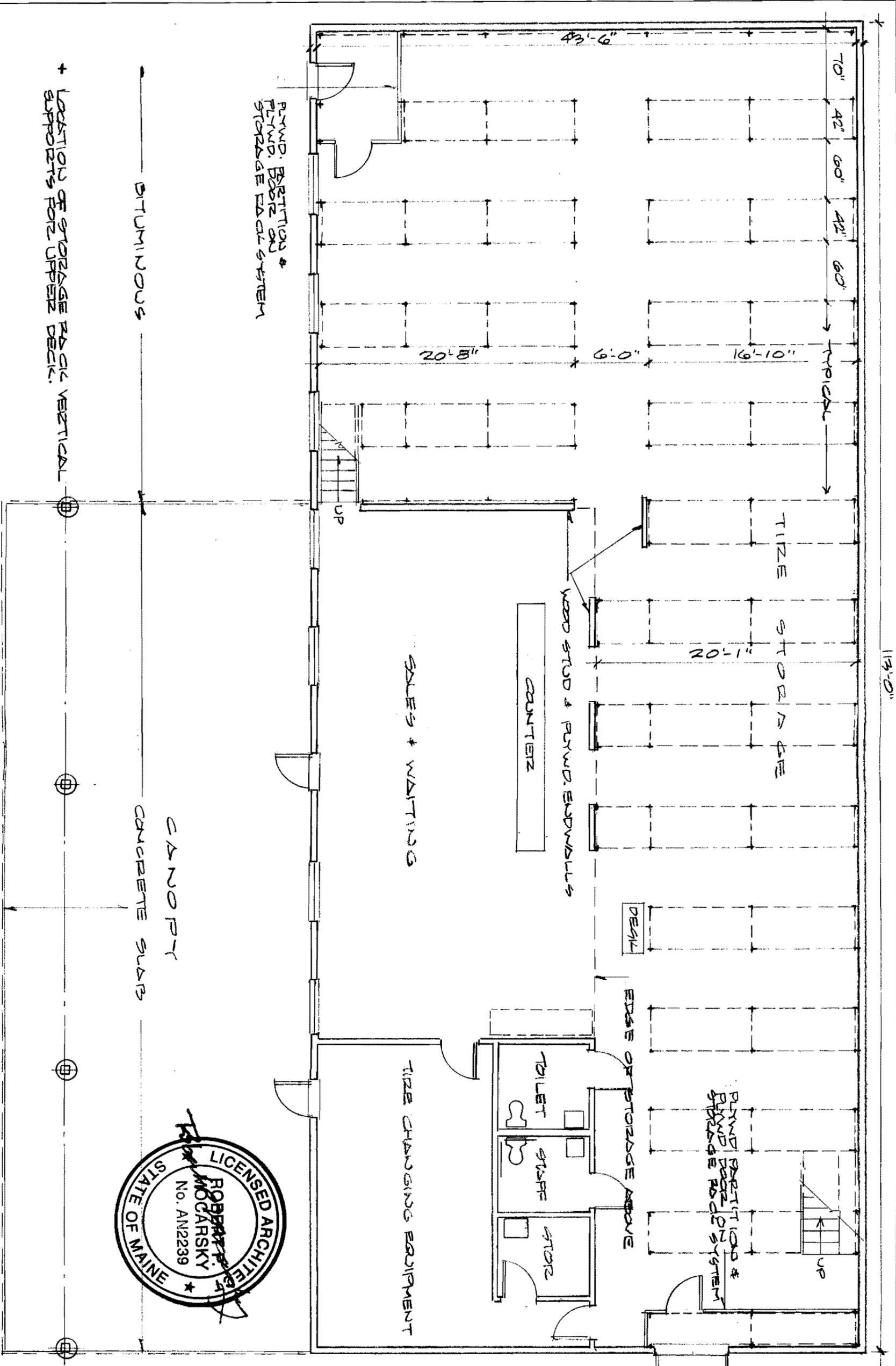


LOCATION OF WORK



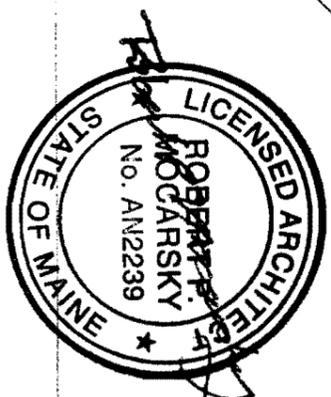
Architect

Robert P. Mocarsky, AIA
rpm.architecture
63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, 860-841-2339(cell)
Maine 207-244-0536
Maine Registration # AN2239



EXISTING FLOOR PLAN

1/8" = 1'-0"



Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Existing Conditions Floor Plan

Scale: As Noted

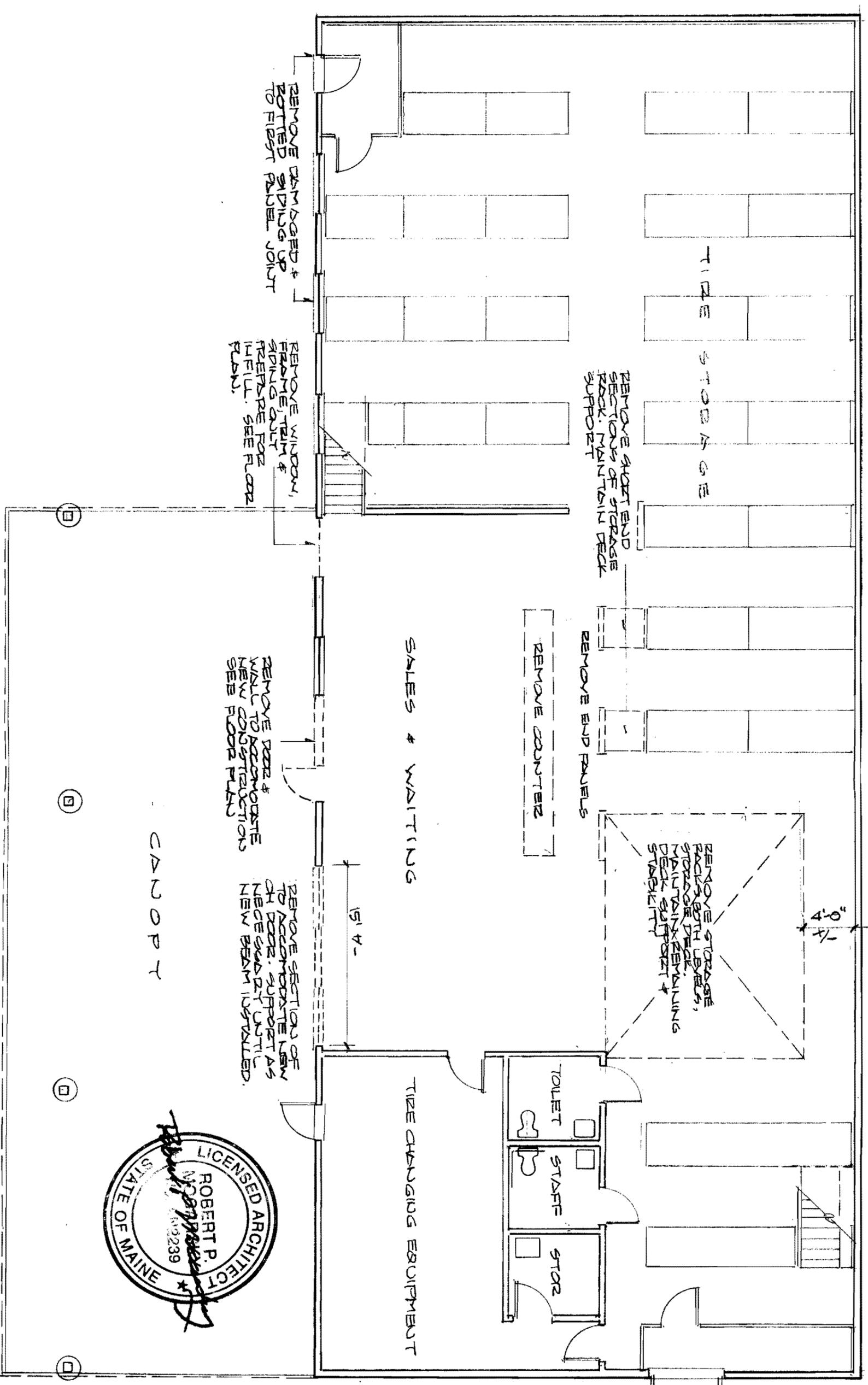
rpm.architecture

63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, Connecticut
207-244-0546, Maine Maine License # AN2239

AE

Date:

12/6/10



DEMOLITION PLAN

1/8" = 1'-0"

SEE SPECIFICATION FOR ADDITIONAL DEMOLITION & REMOVAL NOTES

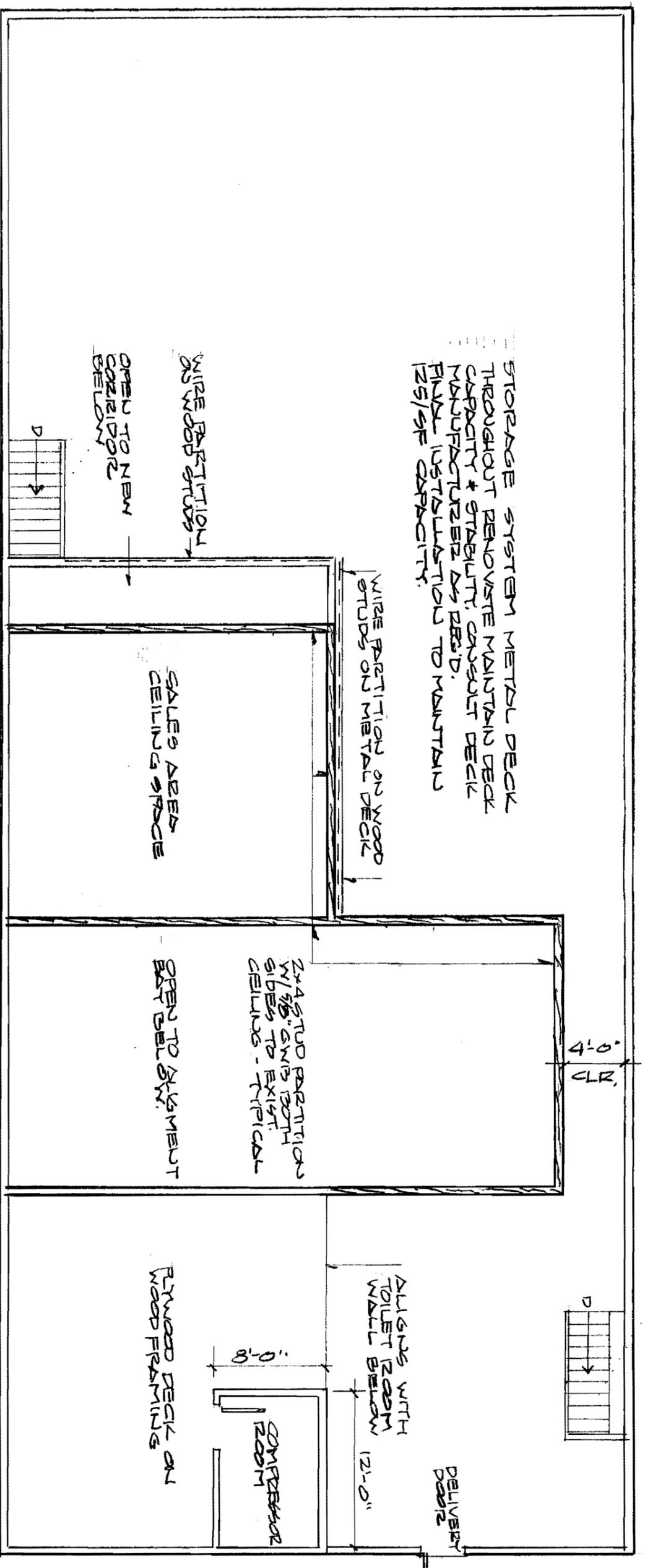


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 207-244-0546, Maine Maine License # AN2239

Demolition and Removal Plan
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

A0
 Date: 12/6/10



STORAGE SYSTEM METAL DECK THROUGHOUT RENOVATE MAINTAIN DECK CAPACITY & STABILITY; CONSULT DECK MANUFACTURER AS REQ'D. FINISH INSTALLATION TO MAINTAIN 125/SF CAPACITY.

WIRE PARTITION ON WOOD STUDS ON METAL DECK
 WIRE PARTITION ON WOOD STUDS
 OPEN TO NEW CORRIDOR BELOW

SALES AREA CEILING SPACE

2x4 STUD PARTITION W/ 5/8" GWB BOTH SIDES TO EXIST. CEILING - TYPICAL
 OPEN TO ALIGNMENT BAT BELOW

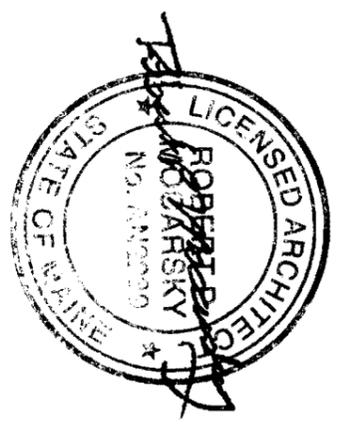
WIRE PARTITION ON WOOD STUDS ON METAL DECK

4'-0" CLR.

ALIGN WITH TOILET ROOM WALL BELOW 12'-0"

REMOVE DECK ON WOOD FRAMING

OUTDOOR CANOPY BELOW



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 63 Foxbrook Road
 East Hartland, CT 06027
 860-653-4185, Connecticut
 207-244-0546, Maine Maine License # AN2239

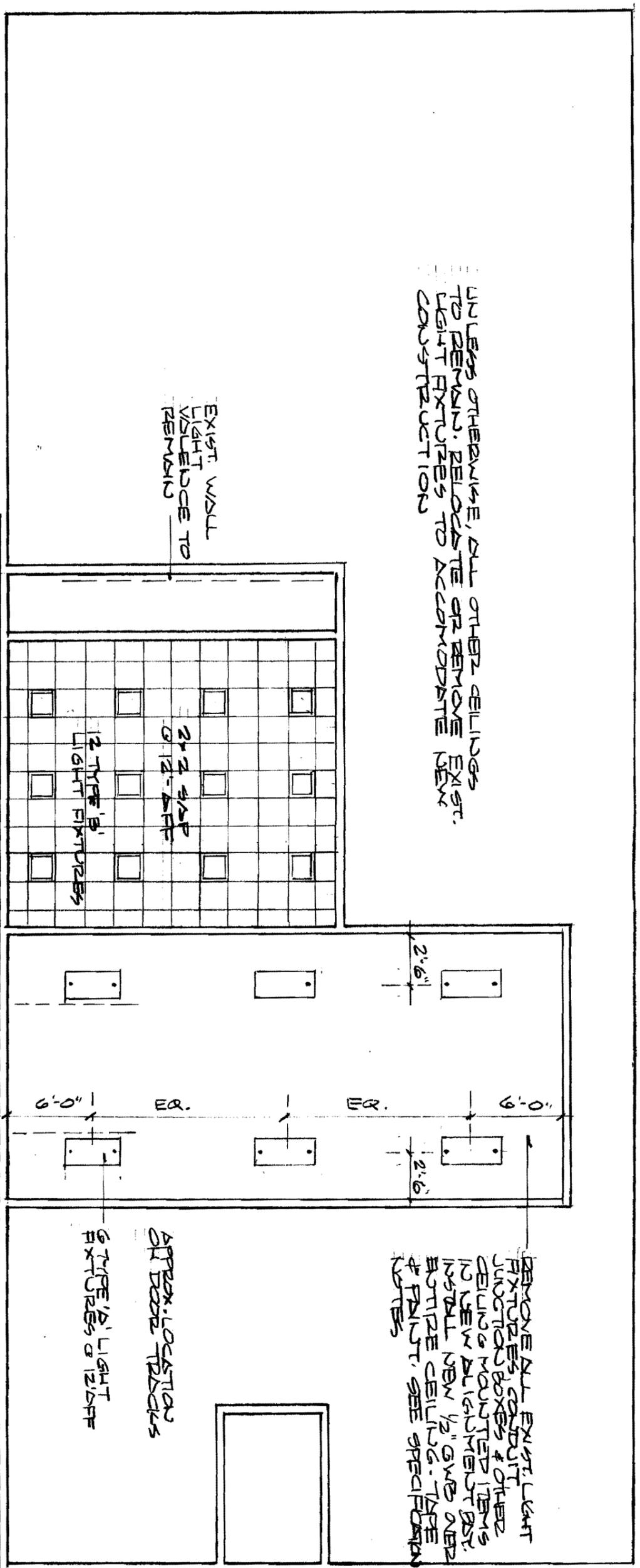
Upper Floor Plan
 Scale: As Noted

Proposed Alignment Bay Installation
 Tire Warehouse
 195 Riverside Street
 Portland, Maine 04103

A2
 Date: 12/6/10

UNLESS OTHERWISE, ALL OTHER CEILING LIGHT FIXTURES TO REMAIN. RELOCATE OR REMOVE EXIST. LIGHT FIXTURES TO ACCOMMODATE NEW CONSTRUCTION

EXIST. WALL LIGHT VENTILANCE TO REMAIN



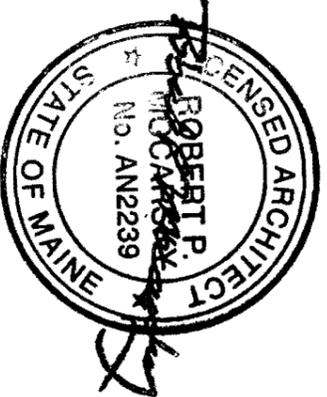
CANOPY CEILING

REMOVE ALL EXIST. LIGHT FIXTURES, CONDUIT, JUNCTION BOXES & OTHER CEILING MOUNTED ITEMS. INSTALL NEW 1/2" GWB OVER EXISTING CEILING. TAKE & PRINT. SEE SPECIFICATIONS NOTES

APPROX. LOCATION OF DOOR TRACKS
6 TYPE 'A' LIGHT FIXTURES @ 12-6\"/>

**REFLECTED
CEILING PLAN**

1/8" = 1'-0"

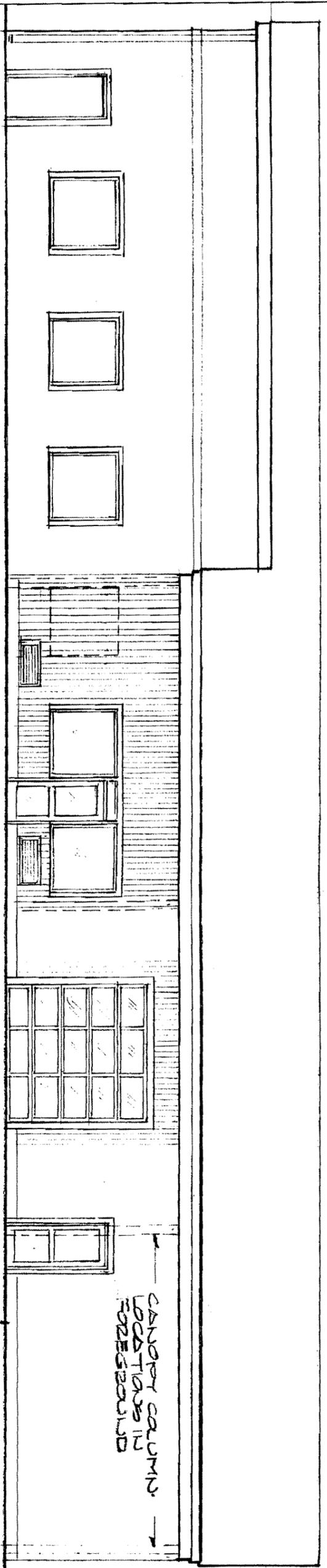


Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Reflected Ceiling Plan
Scale: As Noted

rpm.architecture
63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, Connecticut
207-244-0546, Maine Maine License # AN2239

A3
Date: 12/6/10



REPLACE ALL ROTTED & DETRIELED EXISTING SIDING TO BLEND & MATCH EXISTING

RE LOCATED WINDOWS - MATCH EXIST TRIM. NEW ALUM./GLASS DR. SEE SPECIFICATIONS

NEW 10' x 10' OH DOOR - SEE SPECIFICATIONS

REPLACE SIDING AS NECESSARY TO ACCOMMODATE NEW WINDOW & TO BLEND WITH EXISTING BUT FULL HEIGHT USING LONGEST LENGTH AVAILABLE. PAINT ENTIRE FRONT OF BUILDING. OBTAIN COLOR SCHEME FROM OWNER.

RUBBER BASE TO REMAIN

CANOPY COLUMN LOCATIONS IN FOREGROUND

FRONT ELEVATION

1/8" = 1'-0"



A4
Date: 12/6/10

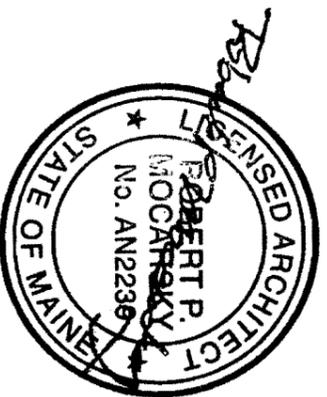
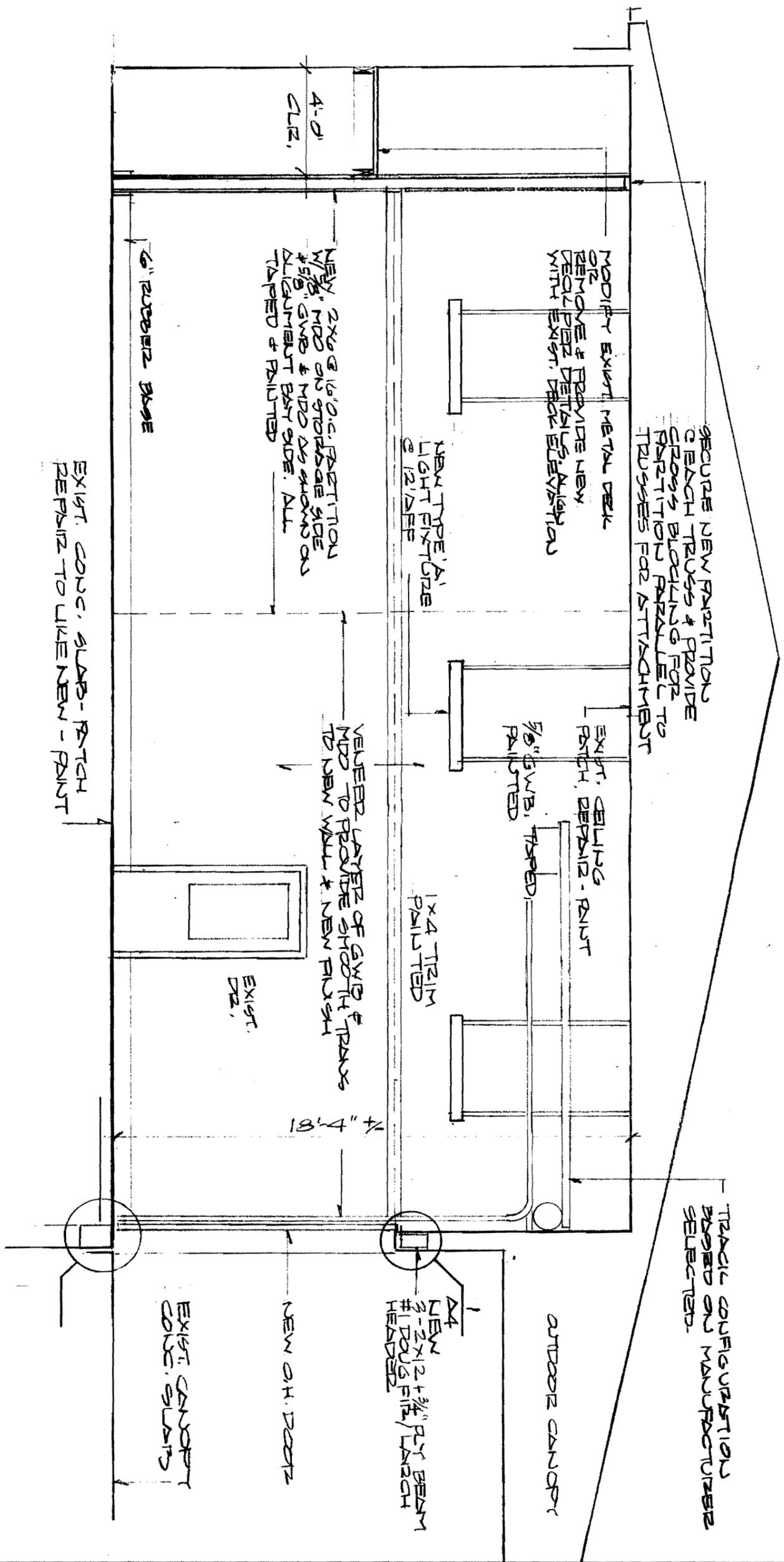
Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Exterior Elevation
Scale: As Noted

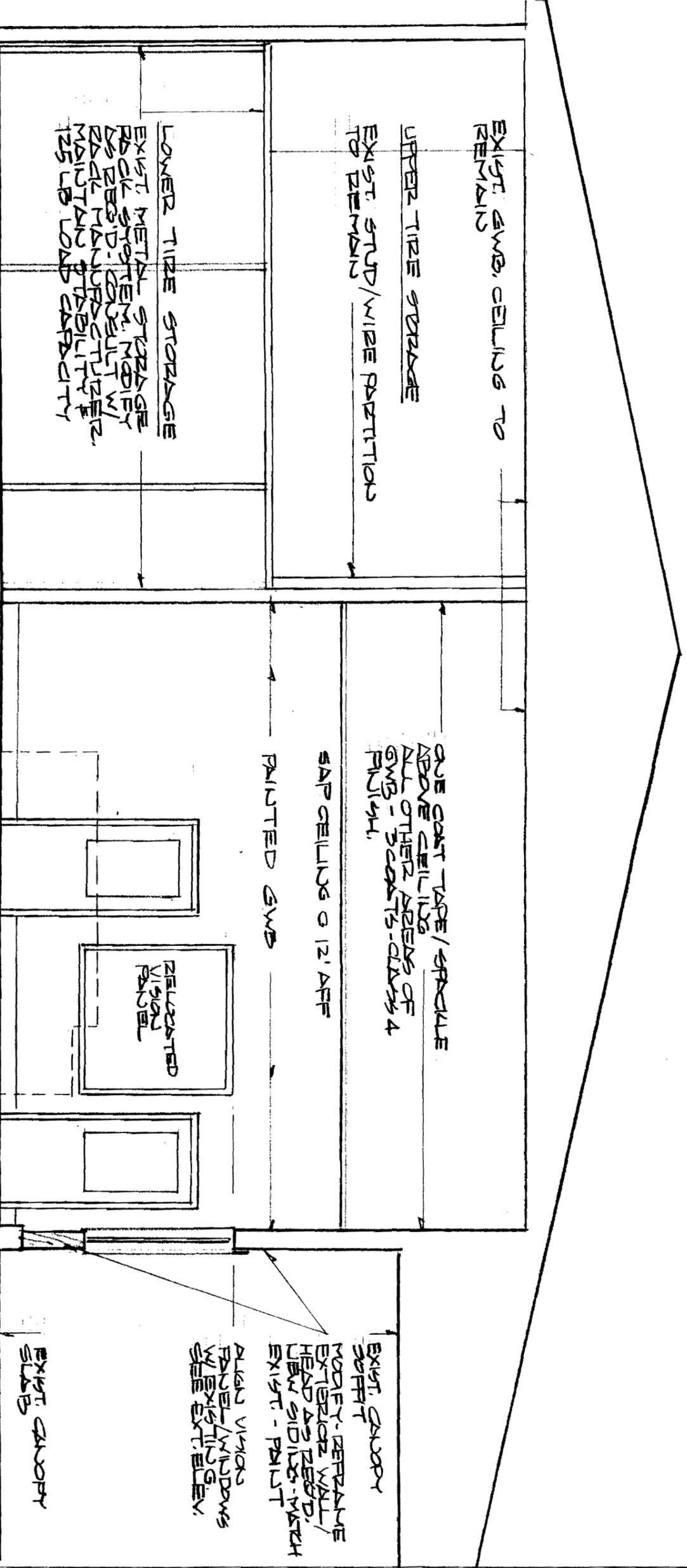
rpm.architecture
63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, Connecticut
207-244-0546, Maine Maine License # AN2239

SECTION - ALIGNMENT BAY

1/4" = 1'-0"

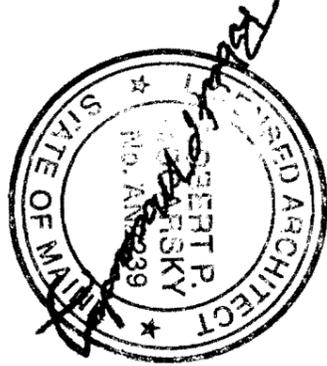


<p>Date: 12/6/10</p> <p>A5</p>	<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>	<p>Elevations</p> <p>Scale: As Noted</p>	<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>
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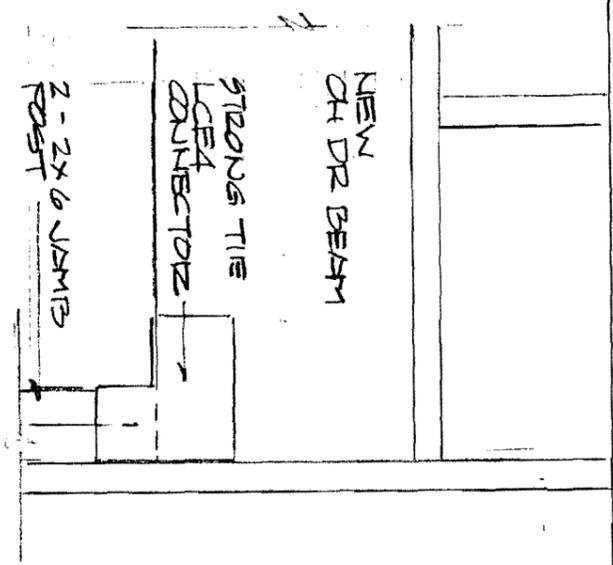


SECTION - SALES

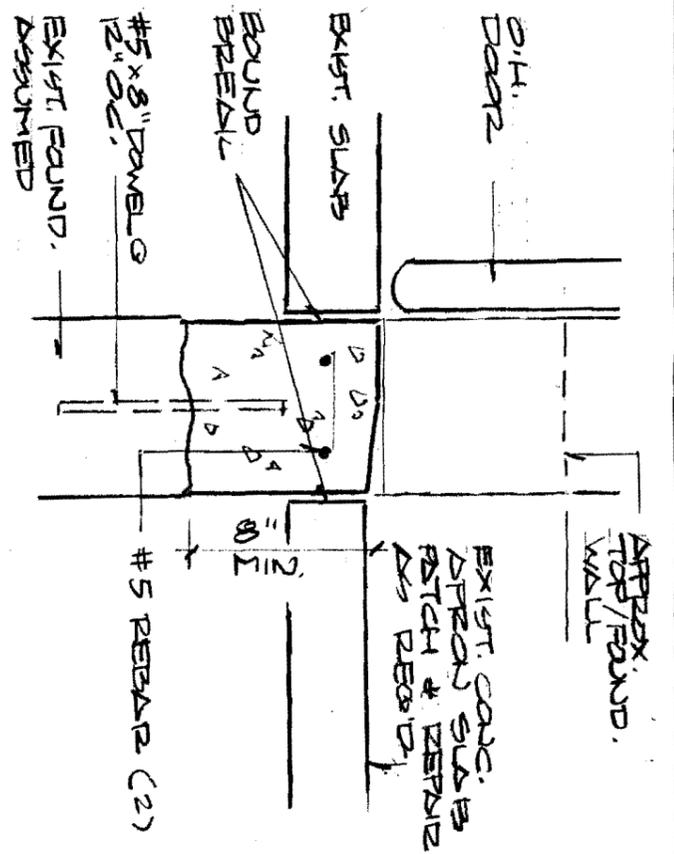
1/4" = 1'-0"



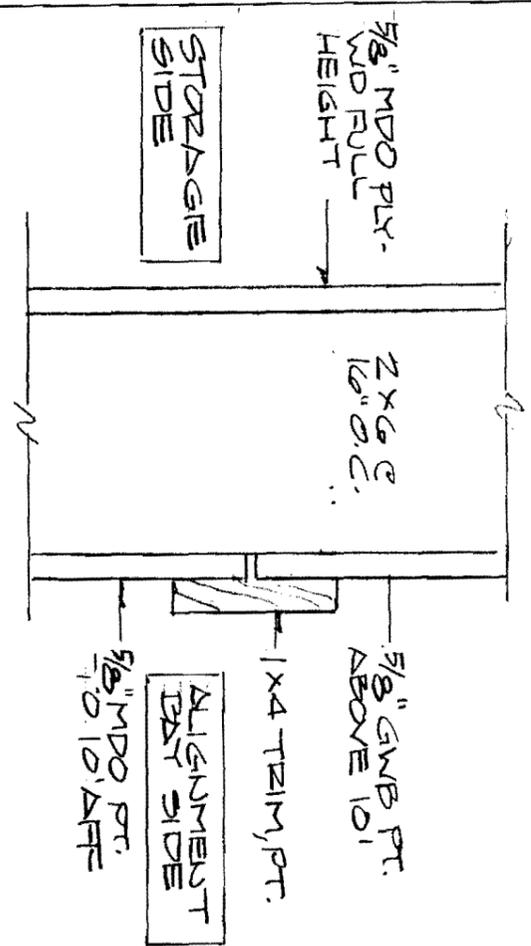
<p>A6 Date: 12/6/10</p>	<p>Proposed Alignment Bay Installation Tire Warehouse 195 Riverside Street Portland, Maine 04103</p>	<p>Section Scale: As Noted</p>	<p>rpm.architecture 63 Foxbrook Road East Hartland, CT 06027 860-653-4185, Connecticut 207-244-0546, Maine Maine License # AN2239</p>
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1 OH DOOR CONNECTOR
1 1/2" = 1'-0"

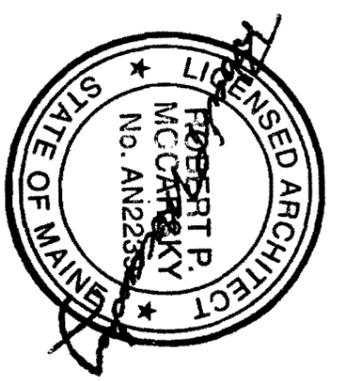


3 OH DOOR SILL
1 1/2" = 1'-0"

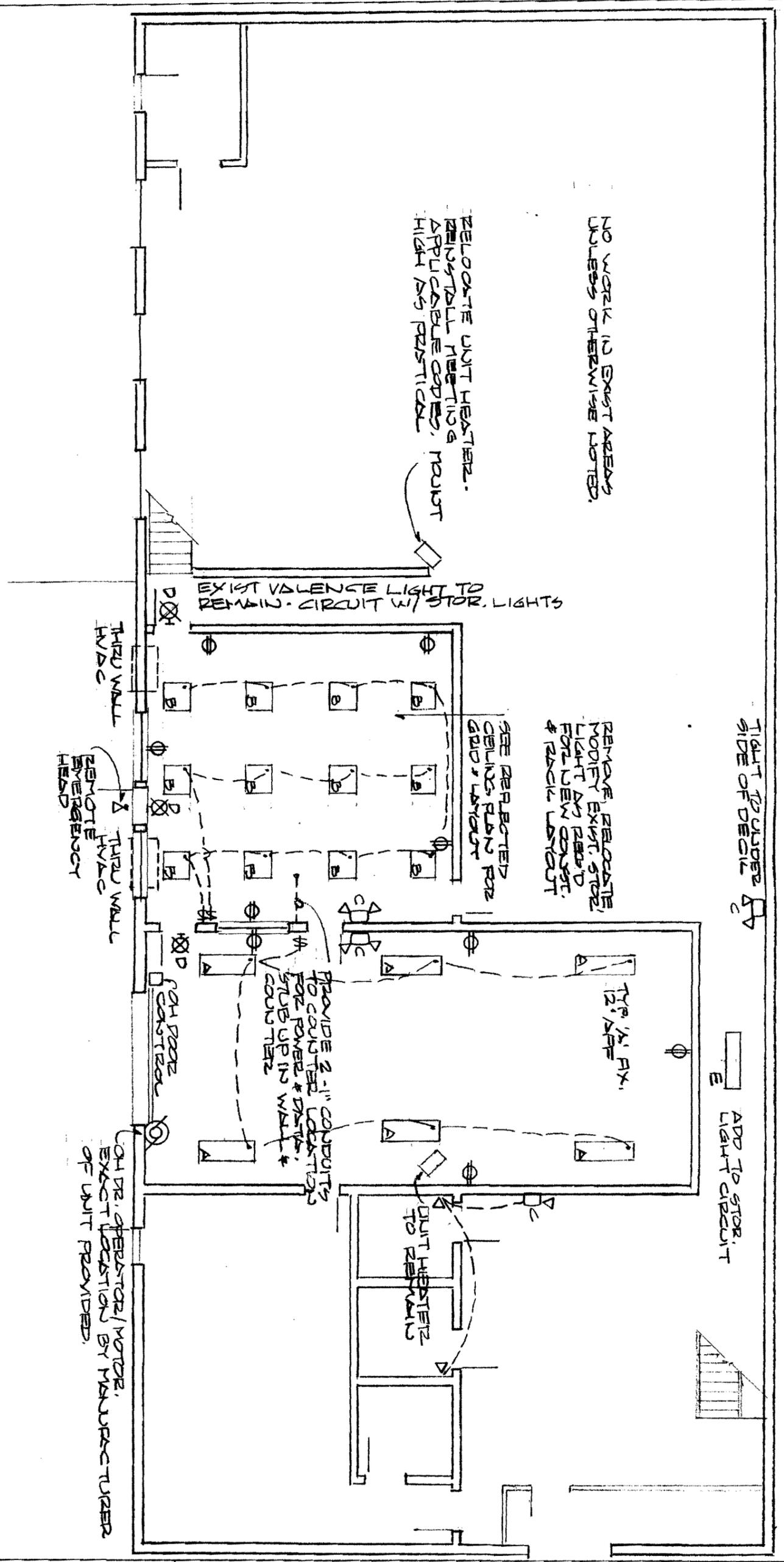


2 PARTITION
3" = 1'-0"

NOTE:
 CONC. SLAB THICKNESS ASSUMED 2 1/4" CONC. FOUNDATION ASSUMED 8". MODIFY DETAILS TO ACCOMMODATE ACTUAL REMOVE CONC. FOUND. WALL & NEW OH TO A MIN. OF 8" BELOW SLAB. POWEL NEW CONC. (3000 PSI) SILL TO EXIST. SIMILAR NEW ENTRY DOOR W/ NEW ALUM THRESHOLD TO COVER WIDTH OF FOUND. WALL



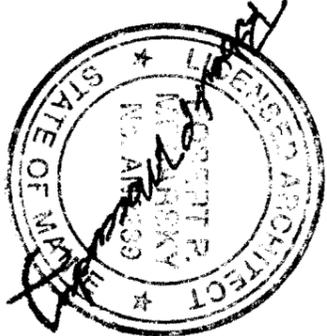
UTILITY PLAN
1/8" = 1'-0"



TIGHT TO UNDER
SIDE OF DECK

ADD TO STOR.
LIGHT CIRCUIT

EXIST. CANOPY



A8
Date: 12/10/10

Proposed Alignment Bay Installation
Tire Warehouse
195 Riverside Street
Portland, Maine 04103

Utilities Plan
Scale: As Noted

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63 Foxbrook Road
East Hartland, CT 06027
860-653-4185, Connecticut
207-244-0546, Maine Maine License # AN2239

Specifications

PROJECT DESCRIPTION

Project includes but is not limited to:

- Construction of a new alignment bay and Sales/Waiting space within the existing facility, including necessary demolition, storage rack system modifications, new construction, mechanical and electrical work.
- Coordination of equipment installation.

GENERAL CONDITIONS

The Work includes only that which is shown and specified in these documents. The drawings and specifications are to be used as complementary to each other. The more stringent, greater quality or quality of either shall be provided.

All workmanship to be of first class quality.

All materials shall be new and of the quality specified or matching the existing, unless noted to be existing to be reused.

All work to conform to current federal, state and local applicable building, accessibility, fire, electrical mechanical and plumbing codes and regulations.

All contractors and subcontractors shall hold current appropriate licenses, were required, for the work they are to perform.

Contractor shall obtain and include in bid the cost of all necessary construction permits.

Do not make any changes to the Work without written approval from the Architect. The Architect shall be notified in writing of any proposed changes to the Work prior to its execution. The Architect has the right to reject such changes. A signed Change Order with a description of the work involved and final cost changes shall be executed prior to the changes being carried out.

The Contractor shall review all materials and equipment substitutions with the Owner and obtain Owner's written approval of changes.

Clean and remove all debris from the interior on a daily basis and dispose of in an enclosed, appropriate size container. Have the debris container emptied when full. Pick up any debris that is on the site daily.

Install appropriate dust control to limit dust and dirt entering areas beyond the work.

Maintain the security integrity and weather integrity of the structure at the close of each working day.

Provide work schedule to the Owner. Owner must have access and use of the facility at all times. Review with client specific requirements and needs and provide temporary construction as necessary. The facility shall remain operation for the carrying out of the Owner's normal business. Confine work operations to the areas of work and minimize disruption of the owner's use of the premises.

Provide copy of all warranties to the client.

PATCHING AND GENREAL PAINTING

At all area where partitions, flooring, ceilings, door openings, have been impacted by the demolition work, patch and repair to blend to the adjacent finish with like materials and appearance.

Make all transitions smooth and clean so that the finished appearance is like new.

Unless specifically noted elsewhere, painting is to include all new work and existing disturbed work. Painting shall not be terminated in the field of any surface but shall extend corner to corner, either interior or exterior corners and entire ceiling.

Repair or replace any and all damage to materials and construction to remain caused by the Work in a manner to match existing conditions.

DEMOLITION

Provide legal dumpster for containment of all debris.

Remove all debris from site on a regular basis and when dumpster is full. Cover or otherwise contain as necessary to eliminate potential of debris blowing around or creating a hazard.

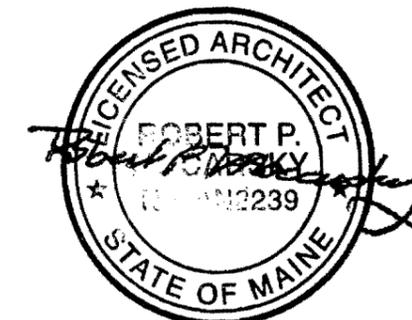
Repair any and all damage to the site from the dumpster, dumpster placement and demolition or construction activities to match existing conditions caused by such Work.

Provide all demolition and removal work in a professional, craftsmanship, neat manner so as not to damage adjoining or other finish work to remain.

Remove unused conduit, cables, wiring, hangers and miscellaneous items.

Additional miscellaneous demolition and removal as shown on drawings and as required for all new work.

Storage Rack System: Removal of the Storage Rack Systems shall be under the supervision of, or by the Storage Rack System manufacturer or manufacturer's representative. Portions of the system that are to remain must remain stable and capable of supporting a minimum of 125 pounds per square foot at all times and in compliance with applicable codes.



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SP1

Date:
12/6/10

NEW WORK

Concrete

Patch concrete slab as shown, where holes are left from storage rack removal and where required for new work to achieve a like new appearance.
 New concrete – 3500psi.
 Clean existing interior slab in alignment bay for painting by Painter.

Partitions

Stud grade, Hem/Fir, PT sills and OH door frames. Sizes as show.
 #1 light structural grade Doug Fir/Larch for OH Door lintel or equivalent capacity engineered beam.
 Interior paneling – 5/8" MDO plywood and GWB as shown, tape joints similar to taping GWB, sand and paint.
 Exterior Siding – 5/8" vertical grooved siding match existing, paint.
 Trim – Number 2 or better, tight knots, pine or poplar. Sizes as shown, paint.
 Fiberglass Batt insulation in exterior wall framing, foil faced, R19.
 Partitions to be securely braced and tied to the ceiling roof structure. Do not brace or attach to the metal storage rack system.
 See details.

Doors/Frames

Doors 1,2,3,4: Equal to **Steelcraft**, L18 Series, Half lite, polystyrene core, premier visible edge, reinforced for lockset and closer, standard Designer Trim for setting glass, 1/4" clear safety or laminated glass, primed
 Frame 1,2,3,4: Equal to **Steelcraft**, F16, double rabbited, throat matching wall thickness, welded, rubber silencers, reinforced for closer, primed.
 Door 5: Equal to EFCO D300 aluminum, medium stile, full lite, door and frame system with standard manufacturer's hardware, butt hinges, surface closer, lock, weatherstripping, push pull and sign "This door to be unlocked whenever building is occupied."

Door Hardware – Doors 1,2,3,4. Each to have:

Closer: Equal to **Sargent**, 281 Powerglide Series, "O" Arm Top Jamb Application with hold open, silver finish.
 Passage Sets: Equal to **Sargent** 8200 Series, mortise, Sanibal lever, CE Escutcheon, Brushed chrome finish.
 Kick Plate: Equal to **Rockwood**, brushed chrome, 24 inches high. On push side of door.

Overhead Door

Equal to **Wayne and notice sign – Dalton** Full View 451, motor operated, safety edge, full rectangular insulated glass lites, Standard headroom with extension risers as shown, 3" galvanized track, jamb and sill weather-stripping, include optional header seal.
 DSB Glass.
 Smooth aluminum lower panels.
 Provide track and accessories supports as directed by manufacturer.
 Provide emergency non powered operation.
 Finish as selected.
 Coordinate power locations and requirements with Electrical Contractor.
 Coordinate Control locations with Owner.
 Verify, test operation and make adjustments as necessary for smooth operation.
 Provide standard manufacturer's warranty.

Finishes

All new finish work to blend to existing. Match existing color or obtain color selects from Owner.
 New surfaces - primer plus two coats semi-gloss.
 Existing painted surfaces – two coats.

Finish Schedule

Space	Floor	Walls/ Existing.	New	Ceiling
Sales/Waiting	VCT	Paint	Paint	SAP
Alignment Bay	Paint	Paint	Paint	Paint
Upper Level Storage	-----	-----	Paint	-----
Exterior	-----	Paint	Paint	-----

Paint equal to Benjamin Moore – Interior, "Natura", non VOC - primer and semi gloss finish. Exterior, "ben", flat for flat work, soft gloss for trim.
 Concrete Floor – Armorpoxy - UntraFast PS epoxy.
 VCT – Equal to Armstrong Standard Exelon Imperial Texture, 12" x 12" vinyl composition tile. Set with appropriate adhesive for substrate. Clean existing concrete as directed by tile and adhesive manufacture.
 Color and pattern as selected by Owner.
 SAP - Equal to Armstrong 932, 2' x 2', white, fine fissured with reveal edge in Armstrong intermediate duty white grid.
 Paint trim and doors in all surfaces which receive new paint.

Signage

Toilets – Equal to Seton Nameplate, one, 8" x 8" plastic laminate with unisex ADA graphics, one unisex without ADA graphics. Mount adjacent to door on wall at 60" AFF, one graphic toilet sign with directional arrow mounted on rear interior building wall. See Floor Plan for locations.

Equipment

Alignment Machine and associated items: By Owner. General Contractor to coordinate equipment needs with general construction providing blocking, miscellaneous built in supports, electrical and other items for complete operation of equipment. Obtain layouts and requirements from Owner.

Storage Racks System: By Owner. All changes to rack system shall be executed by or under the supervision of the Storage Rack Manufacturer or manufacturer's representative. Maintain lateral stability and 125 pound per square foot minimum capacity at all times. Provide all necessary temporary and permanent bracing. Do not brace to new partition.

Heating

Modify existing system to separate new Alignment Bay, relocate any existing units and accessories as necessary to provide uniform heating of the existing space and provide and separate zone with wall thermostat for the new Alignment Bay. Provide thru wall HVAC units for new Sales/Waiting with integral temperature, fresh air and fan control, capacity sized by mechanical contractor.
 Contractor to provide all changes to existing units, new gas service, roof penetrations, roof flashing and roof repair, and vent thru roof vents for units as may be required.

Electrical

Provide dedicated electrical necessary for Owner Alignment equipment. Obtain list of equipment to be installed from the Owner. Obtain information of needs from Owner's Equipment Supplier. Include costs in bid.
 Provide electrical as necessary for the Overhead Door operation.
 Provide electrical as necessary for the new thru wall HVAC units.

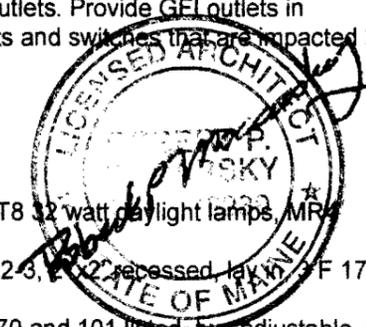
Provide miscellaneous electrical, outlets, switches, etc. as required by applicable codes and as shown or directed by Owner.

Switches and outlets – Professional grade, quite type switches, 3 prong outlets. Provide GEL outlets in locations required by codes. Ground prong located down. Relocate outlets and switches that are impacted by the work to locations shown or as designated by the Owner.

All work in accordance with applicable codes.

Light Fixtures

Alignment Bay: "A" Equal to Columbia LHV4-4, pendant mounted, four T8 32 watt daylight lamps, MR16 reflector, 4EHL ballast, flat wire guard, 120 volt.
Sales/Waiting: "B" Equal to Columbia Stratus E Recessed Series, STE22-3, 2x2 recessed, lay-in, 17 T8 lamps, indirect, metal perforated shield with overlay, 120v.
Emergency Light: "C" Equal to Dual-Lite, EZ-2 Series, 120 volt, NFPA 70 and 101 listed, two adjustable, 5.4 incandescent lamps. Remote heads as shown.
Exit Light: "D" Equal to Dual-Lite, LX Series, LED lamps, 120 volt, red letters, test switch and 2 hour emergency mode operation, NFPA 70 and 101 listed.
Utility Light: "E" Equal to Columbia RO corridor wrap around, 2 T-8, lamp, 96 length,



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SP2
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