

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 100261

Please Read Application And Notes. If Any, Attached

This is to certify that Monro Muffler Brake, Inc./NeoKraft Signs  
has permission to Replace 2 sign faces on an existing freestanding sign - each face is 3'4 1/2" x 5'1 1/2" 10  
AT 195 Riverside St CBL 268 A007002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. 18  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
CITY OF PORTLAND  
Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716


Permit No: 10-0261	Issue Date:	CBL: 268 A007002
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Location of Construction: 195 Riverside St	Owner Name: Monro Muffler Brake, Inc.	Owner Address: 200 Hollender Parkway	Phone: 585-784-3327
Business Name: Tire Warehouse	Contractor Name: NeoKraft Signs	Contractor Address: 686 Main St. Lewiston	Phone: 2077829654
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B-4

Past Use: Commercial - Tire Warehouse	Proposed Use: Commercial / Tire Warehouse - Replace 2 sign faces on an existing freestanding sign - each face is 13'4 1/2" x 5'1 1/2"	Permit Fee: \$308.00	Cost of Work: \$0.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>U</i> Type: <i>Sign</i> <i>JBC 2003</i>	

Proposed Project Description: Replace 2 sign faces on an existing freestanding sign - each face is 13'4 1/2" x 5'1 1/2"10	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: gg	Date Applied For: 03/17/2010	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>-legally</i> <input type="checkbox"/> Flood Zone <i>non conforming</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/18/10</i> <i>ABU</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABU</i>
			

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0261	Date Applied For: 03/17/2010	CBL: 268 A007002
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Location of Construction: 195 Riverside St	Owner Name: Monro Muffler Brake, Inc.	Owner Address: 200 Holleder Parkway	Phone: 585-784-3327
Business Name: Tire Warehouse	Contractor Name: NeoKraft Signs	Contractor Address: 686 Main St. Lewiston	Phone: (207) 782-9654
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Commercial / Tire Warehouse - Replace 2 sign faces on an existing freestanding sign - each face is 13'4 1/2" x 5'1 1/2"	Proposed Project Description: Replace 2 sign faces on an existing freestanding sign - each face is 13'4 1/2" x 5'1 1/2"10
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Dept: Zoning	Status: Approved	Reviewer: Ann Machado	Approval Date: 03/18/2010
Note: Original sign permit was #93-0689. Two panels together were 13'5" x 10'4" (139.2 sf). Proposed panels are 137.65 sf so OK because not more nonconforming.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 03/19/2010
Note: 1) Signage Installation to comply with Chapters 31 & 32 of the IBC 2003 building code.			



**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

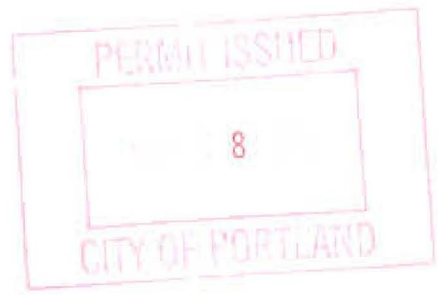
**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date





# Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>195 Riverside Street</u>		
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>268 A 007</u>	Owner: <u>Monro Muffler Brake Service</u> <u>200 Hollister Parkway</u> <u>Rochester, NY 14615</u>	Telephone: <u>585-784-3327</u>
Lessee/Buyer's Name (If Applicable) <u>Tire Warehouse</u>	Contractor name, address & telephone: <u>Neokraft Signs Inc.</u> <u>600 Main St.</u> <u>Lewiston, ME 04240</u> <u>207-782-9654</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For H.D. signage= Total <u>139' 5/8" ft.</u> Fee: \$ <u>308.00</u> Awning Fee= cost of work Total Fee: <u>308.00</u>
Who should we contact when the permit is ready: <u>Shane Moffett</u> phone: <u>782-9654</u>		
Tenant/allocated building space frontage (feet): Length: _____ Height: _____ Lot Frontage (feet) <u>100 - assembly</u> Single Tenant or Multi Tenant Lot _____ } <u>see plat plan</u>		
Current Specific use: <u>Business</u> If vacant, what was prior use: _____ Proposed Use: _____		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: _____ Height from grade: _____ Bldg. wall sign? (attached to bldg) Yes _____ No _____ Dimensions proposed: _____		
Proposed awning? Yes _____ No <input checked="" type="checkbox"/> Is awning backlit? Yes _____ No _____ Height of awning: _____ Length of awning: _____ Depth: _____ Is there any communication, message, trademark or symbol on it? Yes _____ No _____ If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes _____ No <input checked="" type="checkbox"/> Dimensions: <u>(2) faces @ 5'-1 3/4" x 13'-4 1/2"</u> Bldg. wall sign? (attached to bldg) Yes _____ No _____ Dimensions: _____ Awning? Yes _____ No _____ Sq. ft. area of awning w/communication: _____		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required. <u>see attached</u>		

RECEIVED

MAR 17 2010

Dept. of Building Inspections  
City of Portland Maine

X since building is on underlying but original panels permitted under permit 93-0189

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Shane Moffett Date: 3-11-10

Neokraft Signs Inc.  
This is not a permit; you may not commence ANY work until the permit is issued.  
3-4 - single sheet - living street frontage < 200 (100) 650 max - proposed existing sign is 13'-4 1/2" x 5'-1 3/4" = 160.5 x 61.75 = 66.8375 x 2 = 133.675



## Signage/Awning Permit Application Checklist

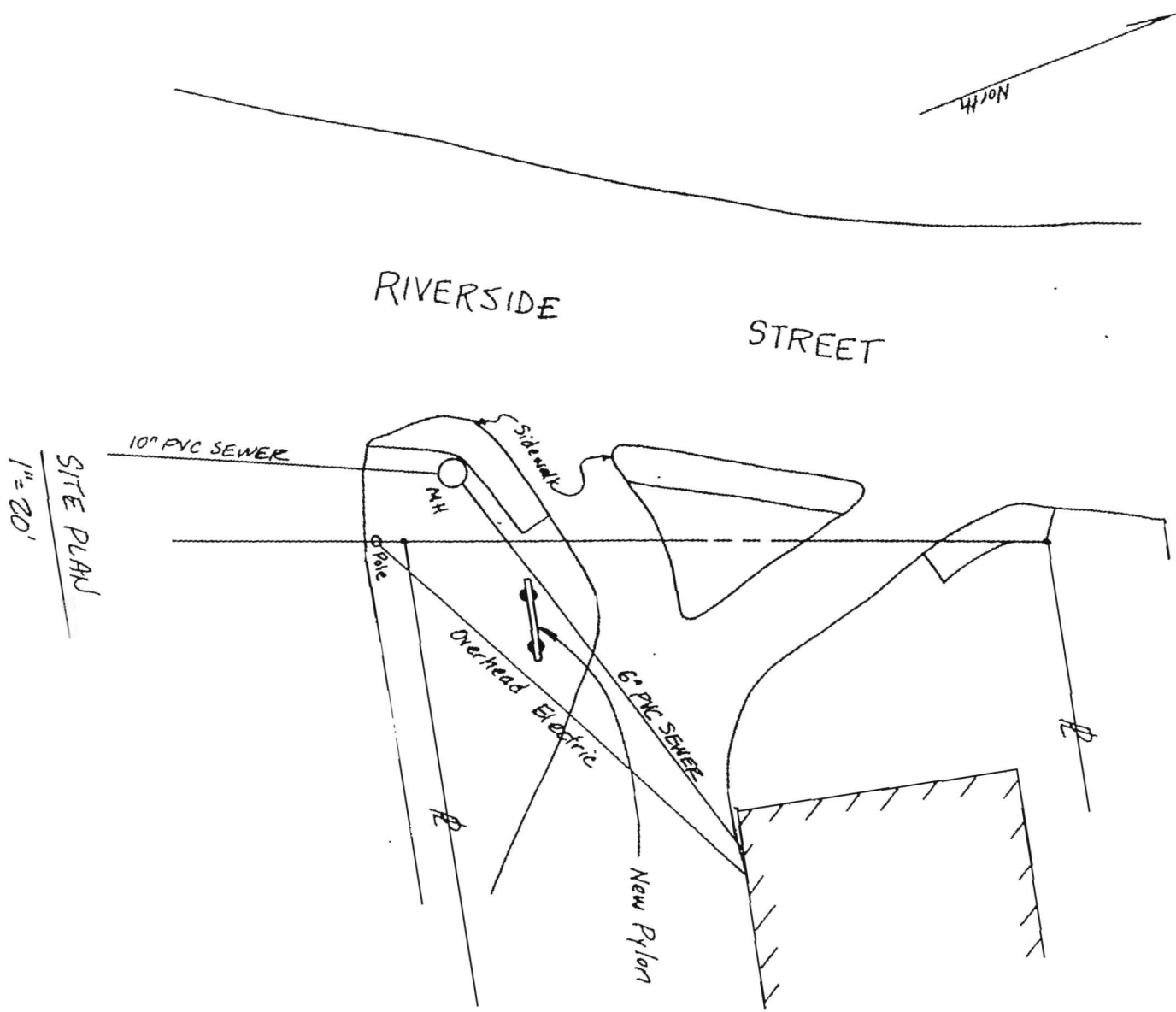
All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way.
- Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage.
- A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building façade dimensions for any signage attached to the building.
- A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
- Certificate of flammability required for awning or canopy.
- A UL# is required for lighted signs at the time of final inspection.
- Pre-application questionnaire completed and attached.
- Photos of existing signage
- Details for sign fastening, attachment or mounting in the ground.

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign.

Permit fee for awning-without-signage is based on cost of work:  
\$30.00 for the first \$1,000.00, \$9.00 per additional \$1,000.00 of cost.

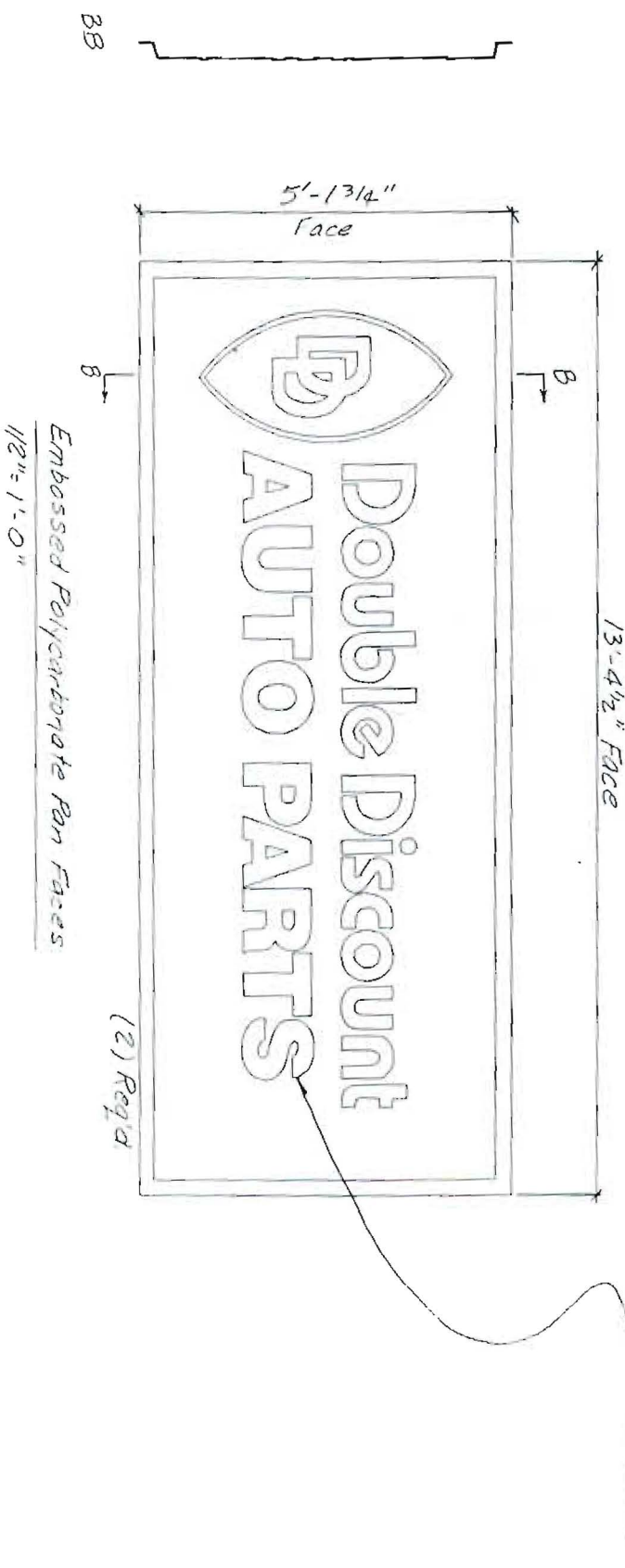
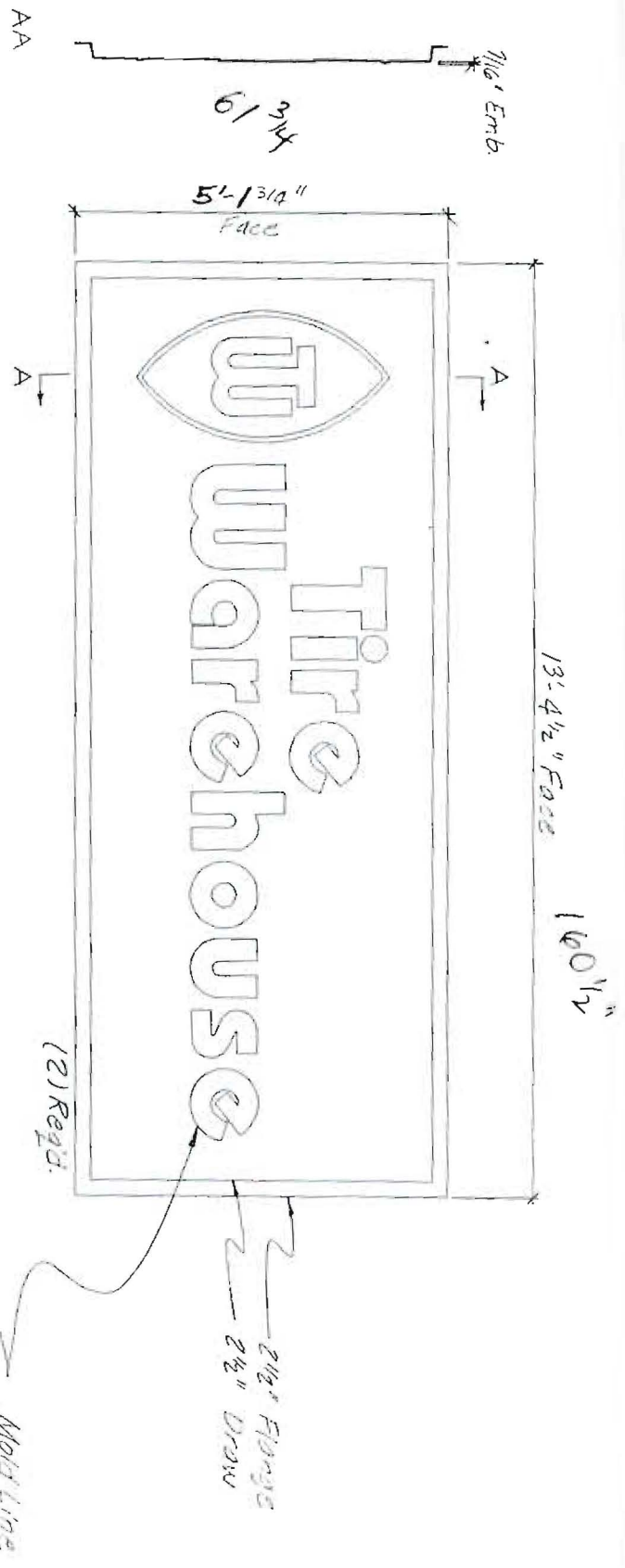
Base application fee for any Historic District signage is \$65.00.



SITE PLAN  
1" = 20'

**NEONMATT**  
 Manufacturers, Insulators and Designers of Custom Electric  
 Neon Signs Incorporated, 686 Main Street, Lewiston, Maine 04240  
 Neon Signs and Metal Signs  
 (207) 782-9654, FAX 782-0009

Portland, ME  
8/10/93  
1 / 1









LETTER OF AUTHORIZATION

To Whom It May Concern:

Property Owner Name: Spirit Master Funding III, LLC

Property Location: Tire Warehouse #25  
195 Riverside St. Portland, ME 04102

Hereby authorizes Neocraft Sign & their agents to secure all necessary permits and install a sign at our location referenced above.

By: \_\_\_\_\_  
Name: Gregg Seibert  
Title: Senior Vice President  
Date: March 8, 2010

State of Arizona )  
County of Maricopa ) SS;  
)

The foregoing instrument was acknowledged before me this March 8, 2010 by Gregg Seibert, of Spirit Master Funding III, LLC on behalf of the corporation.

Witness my hand and seal the day and year aforesaid.

Leah Lansing  
Notary Public - State of Arizona



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
3/5/2010

PRODUCER (585)546-3747 x7727, Fax(585)424-2798

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

First Niagara Risk Management, Inc.  
777 Canal View Boulevard, Suite 100  
Rochester NY 14623-2825

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A Travelers PC of America	
INSURER B Cincinnati Insurance Co.	
INSURER C Charter Oak Fire Ins. Co.	
INSURER D Travelers Indemnity Co.	
INSURER E	

INSURED  
Monro Muffler Brake, Inc.  
200 Holleder Parkway  
Rochester NY 14615-0945

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	TC2JGLSA177D8217-09	04/01/2010	04/01/2011	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MEQ EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 1,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER				GENERAL AGGREGATE	\$ 5,000,000
		<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				PRODUCTS - COMPROP AGG	\$ 1,000,000
A		AUTOMOBILE LIABILITY	TC2JCAP281D1136-09	04/01/2010	04/01/2011	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
		<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS					
		<input type="checkbox"/> SCHEDULED AUTOS					
		<input checked="" type="checkbox"/> HIRED AUTOS	Hired Comp. & Collision	\$30,000	ACV Limit	BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> NON-OWNED AUTOS	ACTUAL CASH VALUE BASIS:	Limit:		PROPERTY DAMAGE (Per accident)	\$
		<input checked="" type="checkbox"/> Garagekeepers Coverage	COMPREHENSIVE	\$2,000,000			
			COLLISION	\$2,000,000			
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY AGG	\$
B		EXCESS/UMBRELLA LIABILITY	CCC1154790	04/01/2010	04/01/2011	EACH OCCURRENCE	\$ 5,000,000
		<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 5,000,000
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input checked="" type="checkbox"/> RETENTION \$ 10,000					\$
C	No	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	TC2OUB177D8150-09	04/01/2010	04/01/2011	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 1,000,000
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
						E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
		(ALL STATES EXCEPT MA)					
		(ONLY STOP GAP EMPLOYER'S LIABILITY-ND, WA, WY)					
D		OTHER Workers' Compensation & Employer's Liability	TRKUB177D8186-09 (MA)	04/01/2010	04/01/2011	WC Statutory, Employer's Liab:	\$1,000,000 Ea.Acc./Disease Ea. Employee/Disease Policy Limit

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
Jobsite: Tire Warehouse #982-Portland, ME--Riverside St. (PERMIT) The City of Portland is an Additional Insured under the General Liability policy only in regard to work performed by the insured when required by executed written contract.

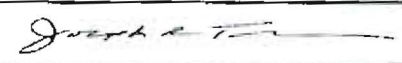
## CERTIFICATE HOLDER

City of Portland  
City Hall  
389 Congress St.  
Portland, ME 04101

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
Joseph Teresi/LCOOK



930689

Permit # City of Portland BUILDING PERMIT APPLICATION Fee \$59.00 Zone                      Map #                      Lot#                     

Owner: Tire Warehouse Phone #                     

Address: 492 Main St. Keene, NH 03431

LOCATION OF CONSTRUCTION 195 Riverside St.

Neokraft Signs Sub:                     

Address: 686 Main St. Lewiston 04240 Phone # 782-9654

Est. Construction Cost:                      Proposed Use:                     

                     Past Use:                     

# of Existing Res. Units                      # of New Res. Units                     

Building Dimensions L                      W                      Total Sq. Ft.                     

# Stories                      # Bedrooms                      Lot Size:                     

Is Proposed Use: Seasonal                      Condominium                      Conversion                     

Explain Conversion to erect sign 10'X 13' lighted plus 8' X 4'

Tax Plan

For Official Use Only

**PERMIT ISSUED**

Date August 4, 1993 Subdivider                     

Inside Fire Limits                      Name                     

Bldg. Code                      Lot AUG - 9 1993

Time Limit                      Ownership                      Public                     

Estimated Cost                     

**CITY OF PORTLAND**

Zoning:                     

Street Frontage Provided:                     

Provided Setbacks: Front                      Back                      Side                      Side                     

Review Required:                     

Zoning Board Approval: Yes                      No                      Date:                     

Planning Board Approval: Yes                      No                      Date:                     

Conditional Use:                      Variance                      Site Plan                      Subdivision                     

Shoreland Zoning Yes                      No                      Floodplain Yes                      No                     

Special Exception                     

Other W.D.N. - HISTORIC PRESERVATION (Explain)

Foundations:

1. Type of Soil:                     

2. Set Backs - Front                      Rear                      Side(s)                     

3. Footings Size:                     

4. Foundation Size:                     

5. Other                     

Floors:

1. Sills Size:                      Sills must be anchored.

2. G. rder Size:                     

3. Lally Column Spacing:                      Size:                     

4. Joists Size:                      Spacing 16" O.C.

5. Bridging Type:                      Size:                     

6. Floor Sheathing Type:                      Size:                     

7. Other Material:                     

Ceiling:

1. Ceiling Joists Size:                      Not to Exceed nor Landmark.

2. Ceiling Strapping Size                      Spacing                      Does not require review.

3. Type Ceiling:                      Requires Review

4. Insulation Type                      Size                     

5. Ceiling Height:                     

Roof:                      00.022                      Action:                      Approved.

1. Truss or Rafter Size                      Span                      Approved with Conditions.

2. Sheathing Type                      Size                      Ignored.

3. Roof Covering Type                                          

Chimneys:

Type:                      Number of Fire Places                     

Heating:

Type of Heat:                     

Electrical:

Service Entrance Size:                      Smoke Detector Required Yes                      No                     

Plumbing:

1. Approval of soil test if required Yes                      No                     

2. No. of Tubs or Showers                     

3. No. of Flushes                     

4. No. of Lavatories                     

5. No. of Other Fixtures                     

Swimming Pools:

1. Type:                     

2. Pool Size:                      x                      Square Footage                     

3. Must conform to National Electrical Code and State Law.

Exterior Walls:

1. Studding Size                      Spacing                     

2. No. windows                     

3. No. Doors                     

4. Header Sizes                      Span(s)                     

5. Bracing: Yes                      No                     

6. Corner Posts Size                     

7. Insulation Type                      Size                     

8. Sheathing Type                      Size                     

9. Siding Type                      Weather Exposure                     

10. Masonry Materials                     

11. Metal Materials                     

Interior Walls:

1. Studding Size                      Spacing                     

2. Header Sizes                      Span(s)                     

3. Wall Covering Type                     

4. Fire Wall if required                     

5. Other Materials                     

Permit Received By Latini

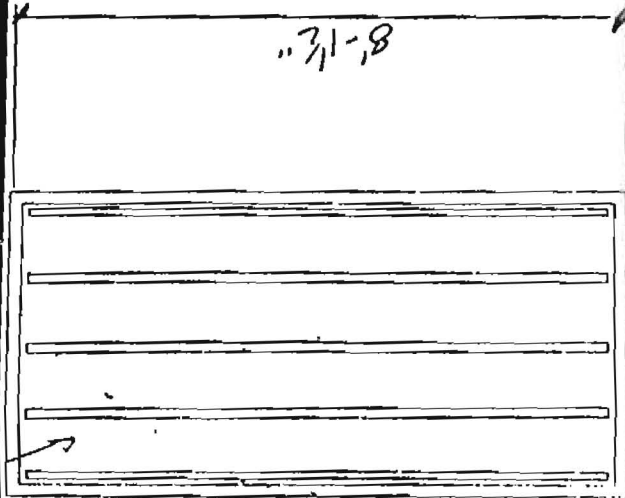
Signature of Applicant Paul Lessard Date 8/4/93

Signature of CEO                      Date                     

Inspection Dates



8" X 8" STEEL TUBES  
(4) LINES 8" CHANGEBARS COPY



4'-0"  
6"  
10'-4 1/2"  
3'-1"

13'-5"

part #93-009

11/20/81  
3/25/81

P. 03

FRI 16104 ALAM ENGINEERING

31 STREET

permit 93-0109

E. XPT 8  
195-201 Remilitant

POLE CMP #1  
W/LIGHT

CHAIN LINK FENCE

POLE NET #2  
W/LIGHT

CAMP CAMPBELL ROAD

NOT AN ACCEPTED ROAD  
50' ± WIDE

GRAVEL ROAD

49.5' WIDE

EDGE OF PAVEMENT

3/4" EFF

AREA OF STUMPS

POSSIBLE  
OF STUMP

HOPE

CANOPY

NEW BUILDING  
(F.F. ELEV. +98.50')

S76°30'00"E

300.00'

97

CULVERT

DETENTION  
BASIN

GRAVEL PASSING

EDGE OF WOODS

BOARD  
FENCE

STUB  
POLE

GUY

CIRS  
#492

POLE

1-1/2" OP

1-1/2" OP

300.00'

N78°30'00"W

EDGE OF PAVEMENT

Double Dead End  
Sign (see  
Attach.)

