



BULLETIN No. 4

Date: March 1, 2013
 To: Allied Cook
 RE: TSL Building - Showroom and Service Bay Additions
 Portland, Maine
 JHN #: 2008-279.3

This Bulletin covers various additions, deletions, revisions and clarifications to referenced project, and is to be made an integral part of the contract.

Drawings Issued:

1. **Civil:** None
2. **Architectural:** None
3. **Structural:** None
4. **Plumbing:** None
5. **Mechanical:** None
6. **Electrical:** None
7. **Interiors:** FIN.1.0, FIN 1.1, FLR 1.0, WALL 1.0, FURN 1.0, MILL 1.0, MILL 1.1, MILL 1.2, MILL 1.3, SIGN 1.0, SPEC 1.0.

Drawings Revisions:

1. **Civil** - None
2. **Architectural** - None
3. **Structural** - None
4. **Plumbing** - None
5. **Mechanical** - None
6. **Electrical** - None
7. **Interiors** -

Item 7.1 Refer to FIN.1.0, FIN 1.1, FLR 1.0, WALL 1.0, FURN 1.0, MILL 1.0, MILL 1.1, MILL 1.2, MILL 1.3, SIGN 1.0, SPEC 1.0.

- Issuing of Impresa Unlimited Drawings for revised interior finishes and final millwork. (Please note that the individual sheet associated with service reception millwork was removed and will be issued at a later date).

End of Bulletin No. 4

C

Page
2 of 19

PROJECT:



Over the top care. By down to earth people.

LOCATION:

**191 RIVERSIDE STREET
PORTLAND, ME 04103**

INTERIOR DRAWINGS - TITLE PAGE

**FIN. 1.0
FIN. 1.1**

**FINISH MATERIAL
ROOM SCHEDULE**

FLR 1.0

FLOORING PLAN A- 12X24

**WALL 1.0
FURN 1.0**

**WALL & GYP. CEILING FINISHES
FURNITURE PLAN**

MILL 1.0

REFERENCE PLAN

MILL 1.1

SALES MANAGERS

MILL 1.2

CAFE, BUSINESS CENTER & RETAIL BOUTIQUE

MILL 1.3

BDC

SIGN 1.0

SIGNAGE

SPEC. 1.0

SPECIALITY ITEMS



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www.impressuminc.com

TITLE PAGE

DESCRIPTION

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME 04103

PROJECT

LOCATION
PROJECT START DATE
01/2013
COMPLETION
JUN 2013
ARCHITECT
Impressum Inc.
303 ADERSON
DENVER, CO 80209

DATE
3/1/2013

NO.	REVISION	DATE
1	ISSUED	02/21/13

TITLE PAGE

IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND NOT FOR CONSTRUCTION.

Page 4 of 19



Impregia Unlimited, Inc.
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ROOM FINISH SCHEDULE

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME 04103

PROJECT: LOCATION:

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Project: 01.08.13
Drawing: 01.08.13
Date: 3/16/14
Scale: AS SHOWN
Sheet: 02.03.13

FIN 1.1

RM #	ROOM NAME	CEILING	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	DOOR/FRM	COUNTER	CABINET	BASE	NOTES	RM #
100	RETAIL	P-8 (GYP)	1-1/ M-1	AL-1	AL-1	AL-1	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 102	102
101	SHOWROOM/RECEPTION	CT-1/ EXT CRD	1-1/ M-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	2, SEE WALL PLAN 101	101
102	NEW CAR DELIVERY	CT-1/ EXT CRD	1-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 102	102
103	LOANER	WD-1/P-8 (GYP)	1-1/ C-1	WMB-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 104	104
104	CAFE	WD-1/P-8 (GYP)	1-1/ C-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 104	104
105	NOTS AREA	P-8 (GYP)	C-2	WMB-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 105	105
106	BUSINESS CENTER	P-8 (GYP)	1-1	WMB-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 106	106
107	SOON SHOWROOM	CT-1/ EXT CRD	1-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 107	107
108	BOC	CT-1/ EXT CRD	1-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 108	108
109	SALES MANAGER	CT-1/ EXT CRD	1-1	1B-1 WBS-1	AL-1/ADM	AL-1/ADM	AL-1/ADM	AL-1/ADM	ALUMINUM	-	-	-	0, SEE WALL PLAN 109	109
110	SAME AS SHOWROOM 101	CT-1/ EXT CRD	1-1	1B-1 WBS-1	P-8	P-8	P-8	P-8	ALUM/P-8	-	-	-	0, 1 & 4 EOT	110
111	EXIST. SERVICE RECEPTION	EXISTING	EXISTING	EXISTING	P-2/P-8	P-2/P-8	P-2/P-8	P-2/P-8	P-2	-	-	-	0, 1, 3 & 5 EOT	111
112	EXIST. SERVICE ADVISORS	EXISTING	EXISTING	EXISTING	P-2	P-2	P-2	P-2	MATCH EXT.	-	-	-	1 & 4 EOT	112
113	EXIST. PARTS DISPLAY	CT-1/ EXT CRD	EXIST/7-2-ME	1B-1 WBS-1	P-4	P-4	P-4	P-4	MATCH EXT.	-	-	-	1 & 4 EOT	113
114	EXIST. CORNER	CT-1/ EXT CRD	EXIST/7-2-ME	1B-1 WBS-1	SM-1/P-5	P-4	P-4	P-4	MATCH EXT.	-	-	-	1 & 4 EOT	114
115	EXIST. MANAGER	EXISTING	EXISTING	EXISTING	P-3	P-3	P-3	P-3	MATCH EXT.	-	-	-	1 EOT	115
116	EXIST. MANAGER	EXISTING	EXISTING	EXISTING	P-2	P-2	P-2	P-2	MATCH EXT.	-	-	-	1 EOT	116
117	EXIST. MANAGER	EXISTING	EXISTING	EXISTING	P-2	P-2	P-2	P-2	MATCH EXT.	-	-	-	1 EOT	117
118	EXIST. PM	EXISTING	EXISTING	EXISTING	P-1	P-1	P-1	P-1	MATCH EXT.	-	-	-	1 EOT	118
119	EXIST. PM	EXISTING	EXISTING	EXISTING	P-2	P-2	P-2	P-2	MATCH EXT.	-	-	-	1 EOT	119
120	EXIST. CORNER	CT-1/P-4 (GYP)	EXIST/7-2-ME	B-6	P-1	P-1	P-1	P-1	MATCH EXT.	PL-2	PL-1	B-6	1 & 4 EOT	120

GENERAL FINISH NOTES
 1. DO NOT PAINT ALUMINUM STRUCTURAL FRAMES OR GLAZING.
 2. ALL HOLLOW METAL DOORS AND FRAMES IN AREAS BEING MODIFIED WILL BE PAINTED TO MATCH EXISTING - REFER TO FLOOR FINISH PLAN SHEET A110 FOR FINISH SCHEDULE.
 3. ALL FLOOR FINISH TRANSITIONS TO TERMINATE CENTERED BENEATH DOOR SLAB/PANEL.
 4. REFER TO THE REFLECTED CEILING PLAN FOR THE TYPE OF FINISH TO BE USED. REFER TO THE REFLECTED CEILING PLAN FOR THE TYPE OF FINISH TO BE USED. REFER TO THE REFLECTED CEILING PLAN FOR THE TYPE OF FINISH TO BE USED.
 5. IT IS RECOMMENDED TO USE AT LEAST SEVEN BOXES OF TILE WHEN USING MODERATE SHADE VARIATION. USE FIVE BOXES WITH A MODERATE TO DARK SHADE VARIATION.
 6. GENERAL CONTRACTOR SHALL RETAIN ON SITE THE DOCUMENTATION FOR THE FINISHES TO BE USED. GENERAL CONTRACTOR SHALL SUBMIT A FINISH SCHEDULE TO THE ARCHITECT FOR APPROVAL. SHOWING COMPLIANCE WITH MINIMUM SPECIFIED REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT, IN ACCORDANCE WITH SPECIFICATIONS AND LOCAL CODE.

NOTES
 1. REPO EXISTING INTERIOR FINISHES FOR NEW FINISHES INDICATED.
 2. SEE FURNITURE PLAN FOR ADDITIONAL NOTES.
 3. MAKE FOR THIS PROJECT TO DESIGN BUILD. PAINT ANY NEW MECHANICAL PLUMBING OR ELECTRICAL PENETRATIONS AND PARTS DISPLAYS TO MATCH EXISTING TILE.
 4. REMOVE TILE IN FULL CROU, LINE INCREMENTS AS REQUIRED TO ACHIEVE NEW CONFIGURATION. REPLACE WITH TILE TO MATCH EXISTING. (1-1-ME IS THE EXISTING TILE). REMOVE TILE IN FULL CROU, LINE INCREMENTS AS REQUIRED TO ACHIEVE NEW CONFIGURATION. REPLACE WITH TILE TO MATCH EXISTING. (1-1-ME IS THE EXISTING TILE). REMOVE TILE IN FULL CROU, LINE INCREMENTS AS REQUIRED TO ACHIEVE NEW CONFIGURATION. REPLACE WITH TILE TO MATCH EXISTING. (1-1-ME IS THE EXISTING TILE).
 5. PAINT WALL P-7 TO 5/8" AFT BALANCE TO BE PAINT P-8
 6. ** SEE WALL PLAN FOR PAINT, HOLLOW METAL FRAMES/DOORS TO MATCH EXISTING
 7. ** SEE WALL PLAN FOR PAINT, HOLLOW METAL FRAMES/DOORS TO MATCH EXISTING
 8. AT THE CEILING - PAINT P-3 SMALL WALL, SFTT



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FLOORING PLAN

BERLIN CITY TOYOTA
 191 RIVERSIDE STREET
 PORTLAND, ME 04103

PROJECT: LOCATION: PROJECT START DATE: 01.08.13

These plans and notes are for the use of the contractor and are not to be used for any other purpose without the written consent of the designer.

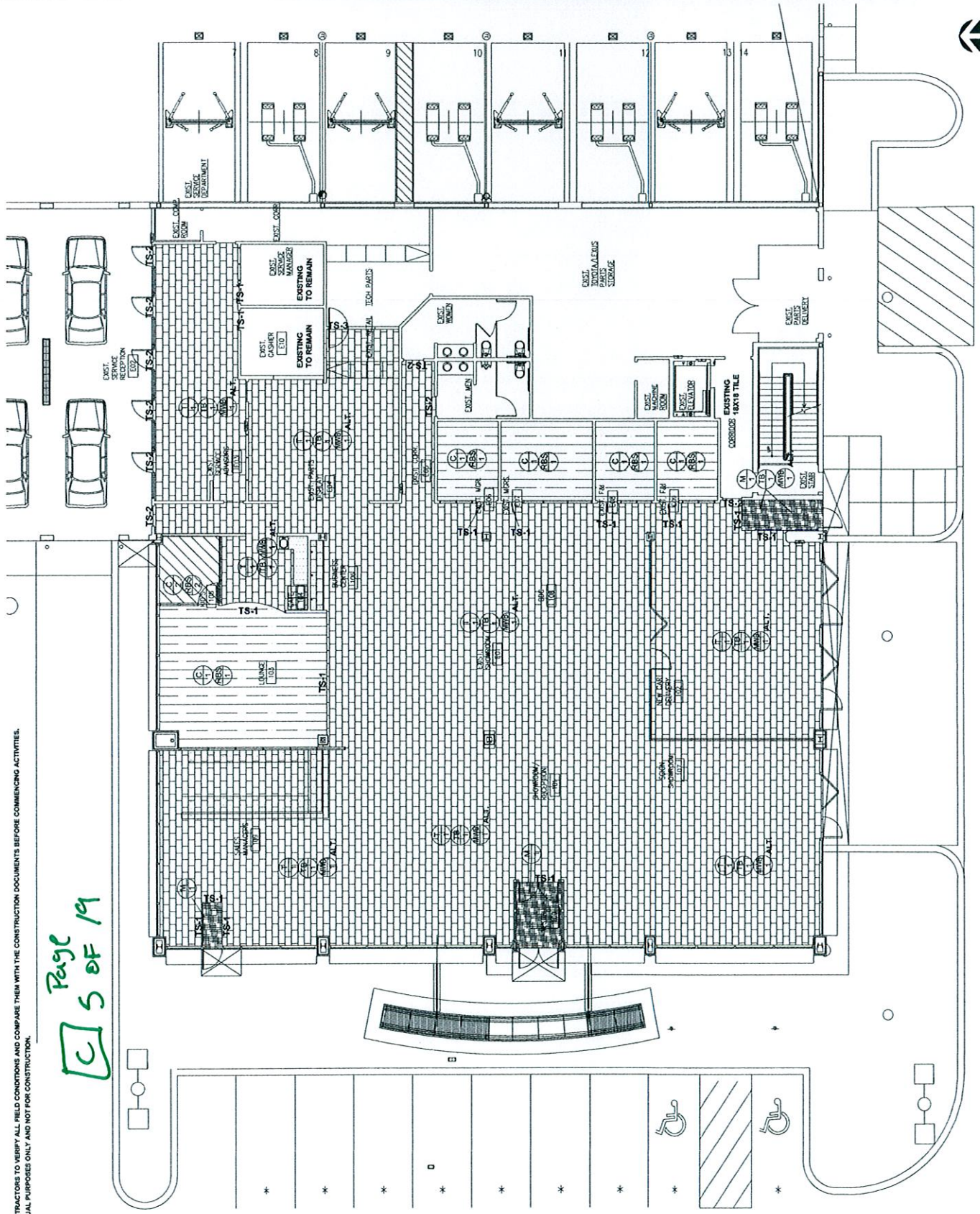
DATE: 01.08.13

BY: [Signature]

REVISIONS:

NO.	DATE	DESCRIPTION
1	02.22.13	

FLR. 1.0
 OPTION A
 12 X 24



Page 5 of 19
 [C]

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WALL PLAN

BERLIN CITY TOYOTA
 191 RIVERSIDE STREET
 PORTLAND, ME 04103

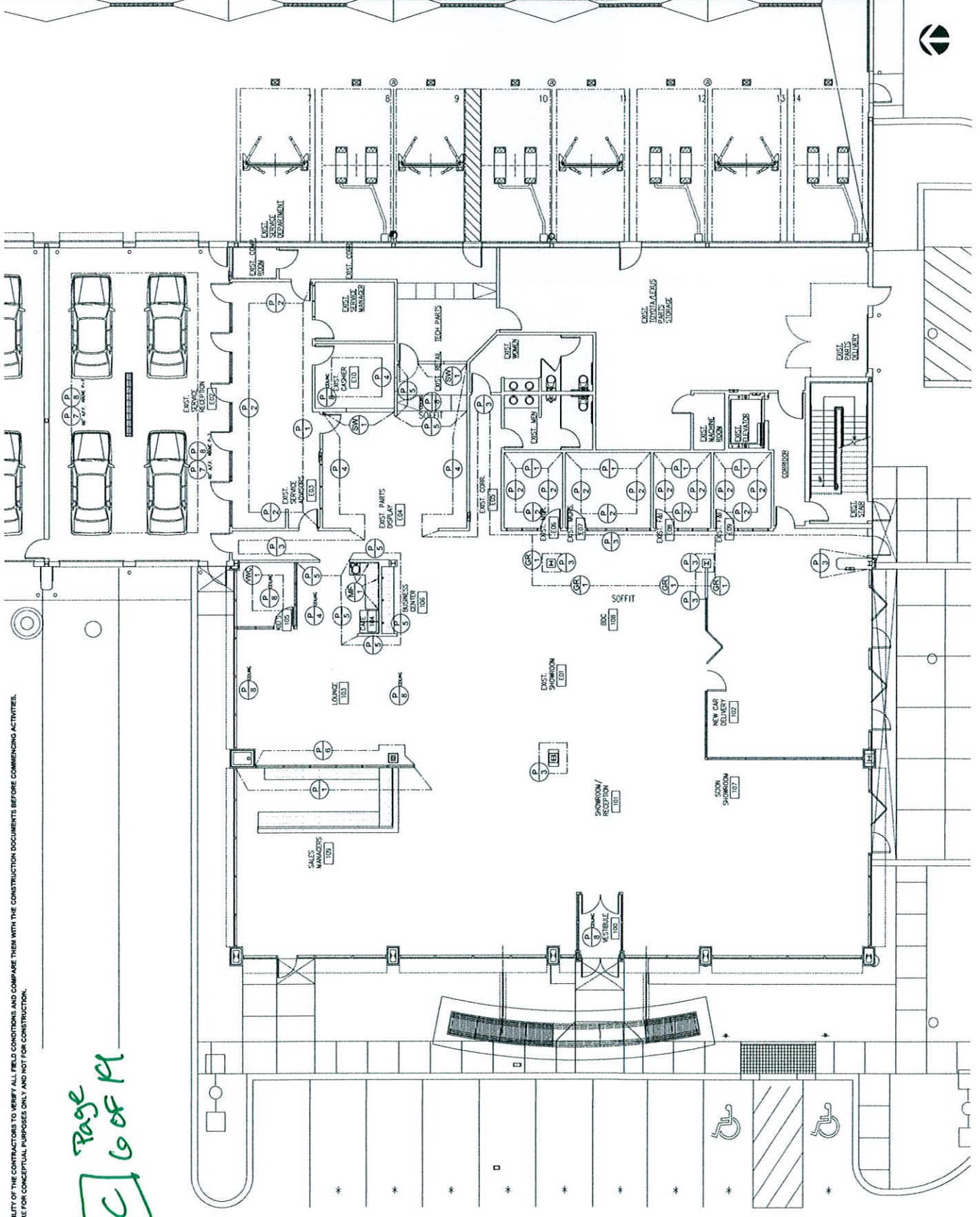
PROJECT: LOCATION: PROJECT BY DATE: 01.06.13

DATE: 01.06.13

NO. 2110-11-11

REV. 02.22.13

WALL. 1.0



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 [C]



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FURNITURE PLAN
FIRST FLOOR

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME

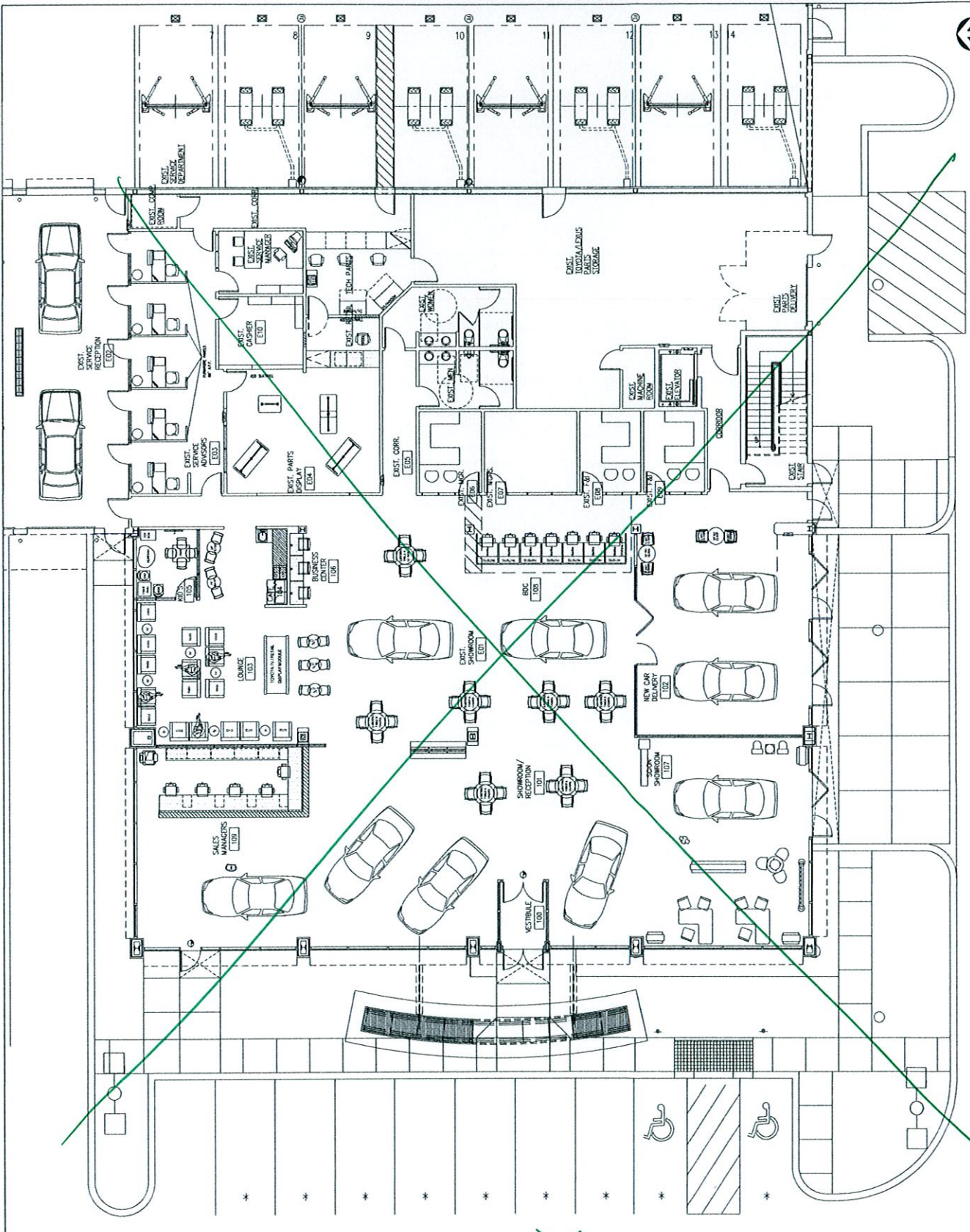
PROJECT: LOCATION:

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PROJECT NO: 01-08-13
DATE: 01-08-13
DRAWN BY: JEM
CHECKED BY: JEM
SCALE: 3/16"=1'-0"

NO.	REVISION	DATE
1	ISSUED	02/27/13

FURN 1.0

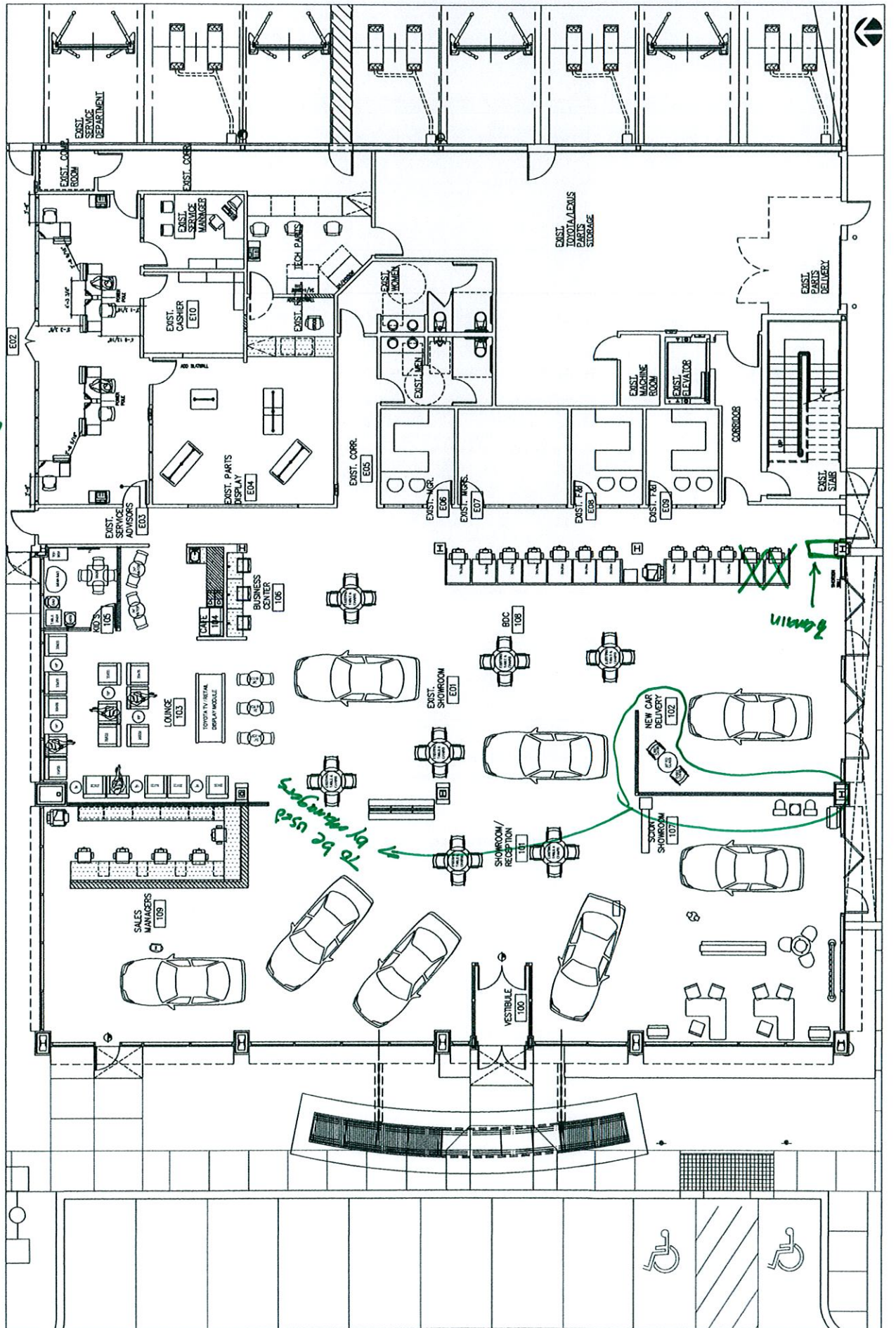


Page 70 of 19
[C]

See Revised Layout

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Revised Overall Layout (FURN + Milwork)





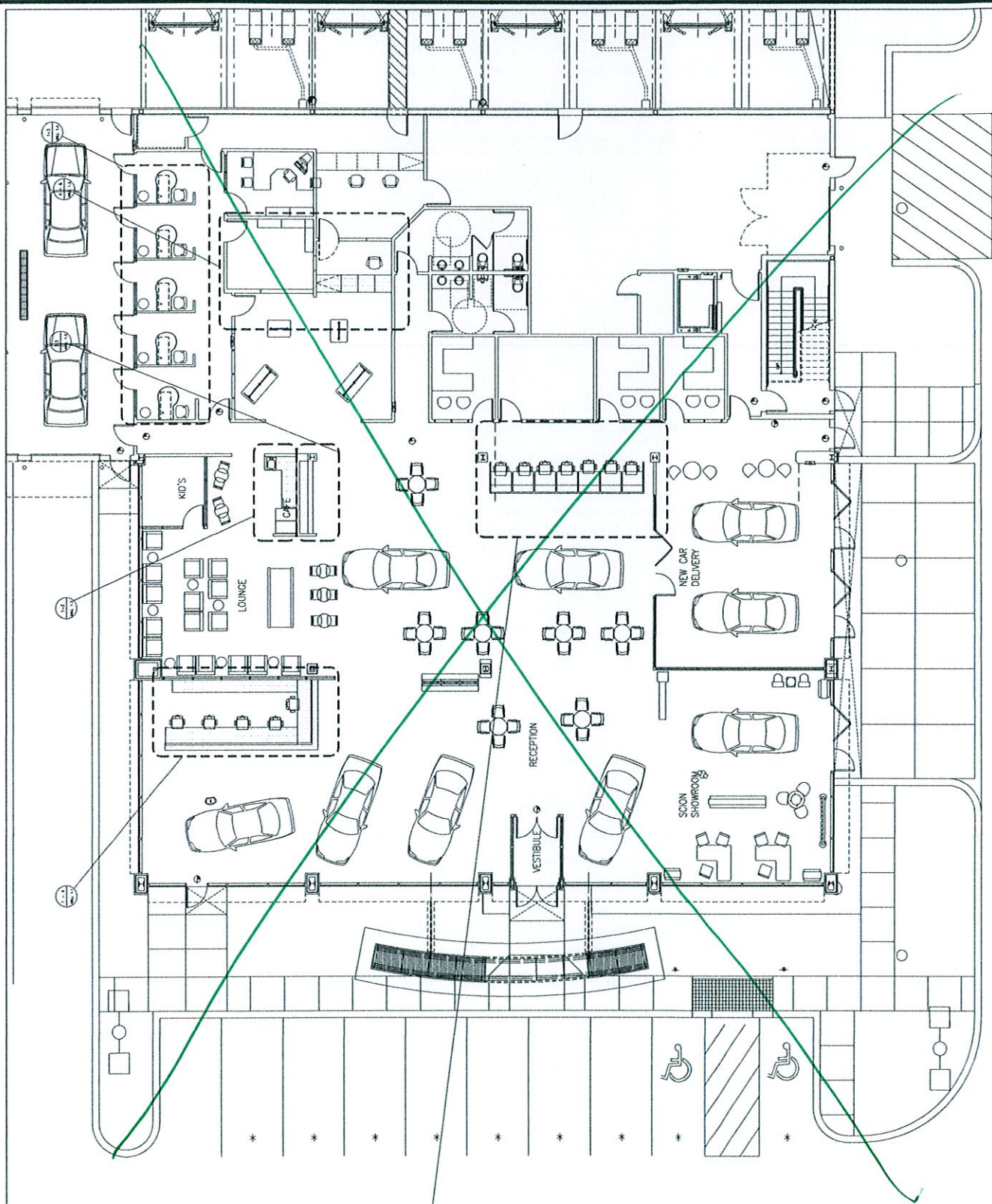
Impresario Unlimited, Inc.
 1000 North 1st Street
 Denver, CO 80202
 PHONE: 303.433.7448
 FAX: 303.433.7448
 EMAIL: info@impresarioultd.com
 www.impresarioultd.com

**MILLWORK & ELEVATIONS
 REFERENCE PLAN**

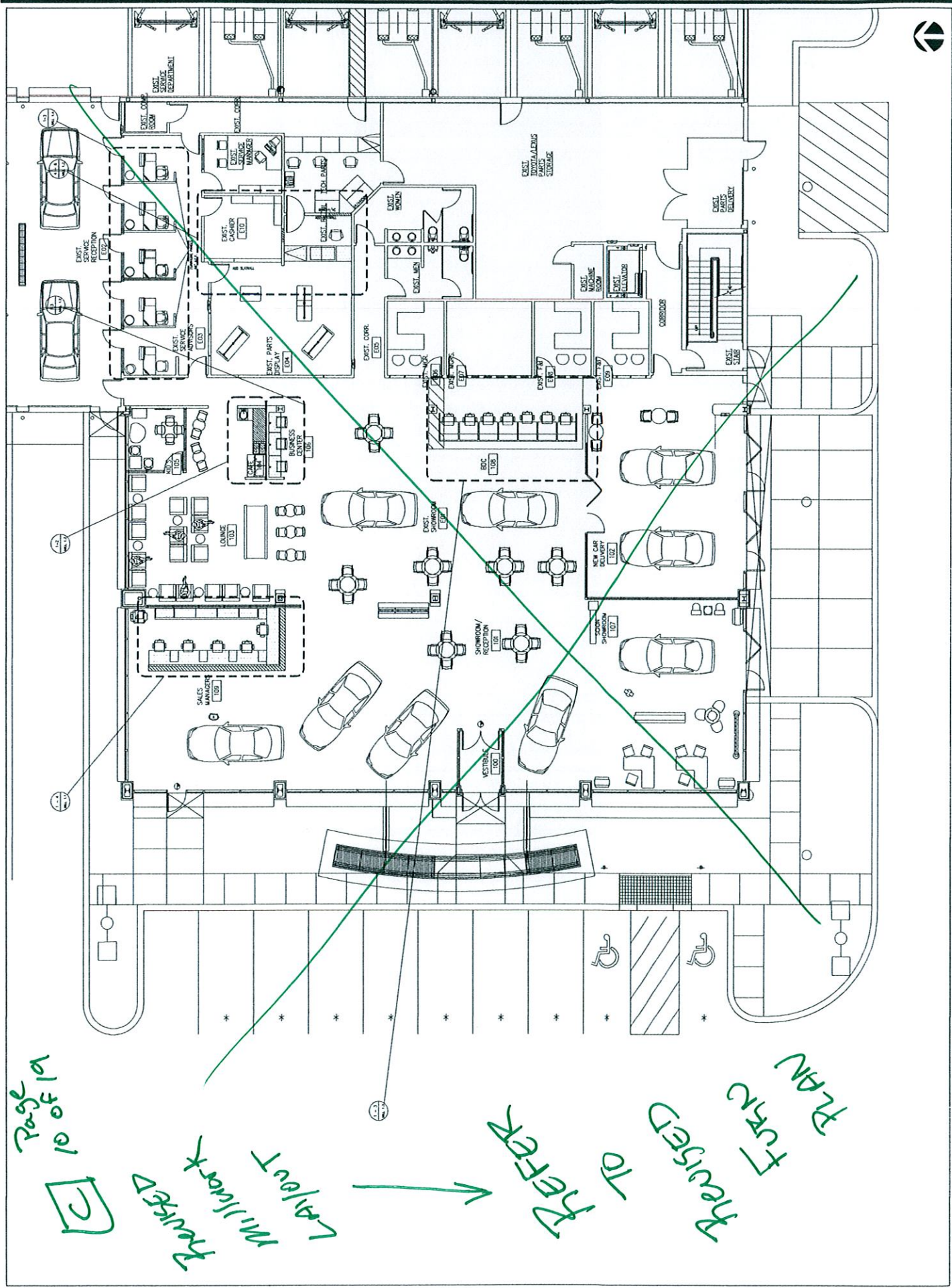
BERLIN CITY TOYOTA
 191 RIVERSIDE STREET
 PORTLAND, ME

PROJECT: _____
 LOCATION: _____
 PROJECT START DATE: _____
 PROJECT END DATE: _____
 ARCHITECT: _____
 INTERIOR DESIGNER: _____
 PROJECT MANAGER: _____
 DESIGNER: _____
 DRAWN BY: _____
 CHECKED BY: _____
 REVISIONS: _____

MILL 1.0



Page 10
 of 10
 SEE
 REVISED
 LAYOUT



MILL 1.0

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME

MILLWORK & ELEVATIONS
REFERENCE PLAN

INTEGRAL
Interior Architecture, Inc.
204 S. Downing Street
Denver, CO 80209

PROJECT: MILLWORK & ELEVATIONS
OWNER: BERLIN CITY TOYOTA
DATE: 10/10/19

NO.	REVISION	DATE

PROJECT: MILLWORK & ELEVATIONS
OWNER: BERLIN CITY TOYOTA
DATE: 10/10/19

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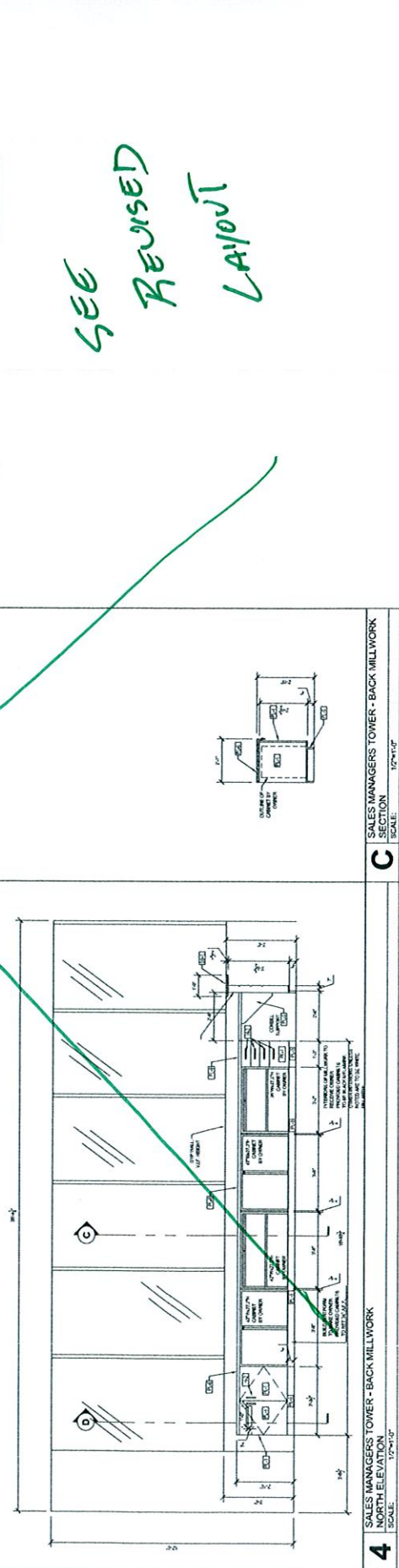
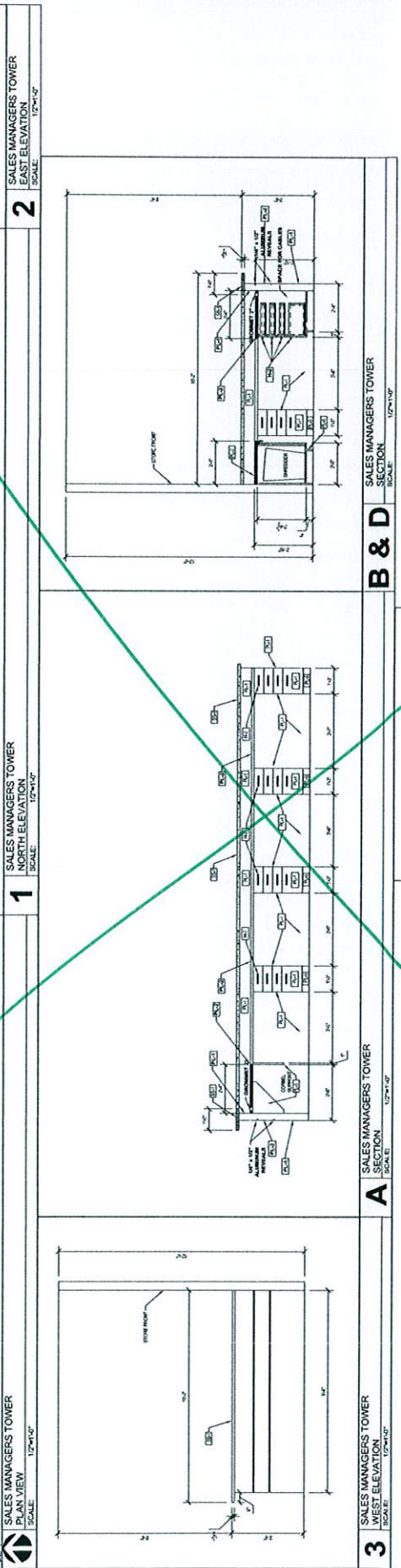
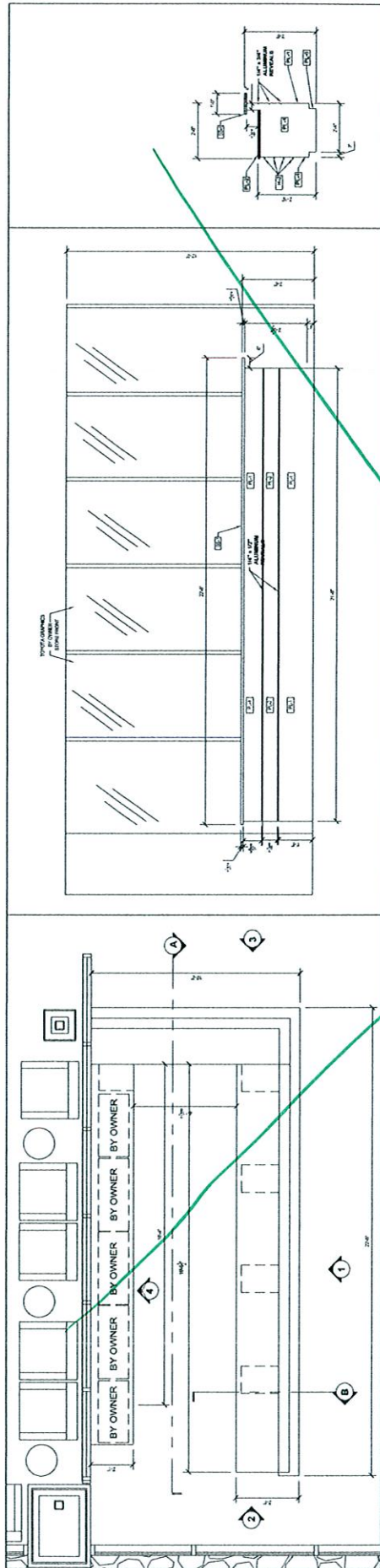
Impresario Unlimited, Inc.
314 S. Downing Street
Denver, CO 80209
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MILLWORK
SALES MANAGERS

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME

PROJECT NO.		
DATE		
DESIGNER		
CHECKER		
APPROVER		
PROJECT START DATE		
PROJECT END DATE		
CLIENT		
LOCATION		
NO. SHEETS		
SHEET NO.		
TITLE		
SCALE		
REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

MILL 1:1



SEE
REVISED
LAYOUT

2 SALES MANAGERS TOWER
EAST ELEVATION
SCALE: 1/2"=1'-0"

1 SALES MANAGERS TOWER
NORTH ELEVATION
SCALE: 1/2"=1'-0"

3 SALES MANAGERS TOWER
WEST ELEVATION
SCALE: 1/2"=1'-0"

B & D SALES MANAGERS TOWER
SECTION
SCALE: 1/2"=1'-0"

A SALES MANAGERS TOWER
SECTION
SCALE: 1/2"=1'-0"

4 SALES MANAGERS TOWER - BACK MILLWORK
NORTH ELEVATION
SCALE: 1/2"=1'-0"

C SALES MANAGERS TOWER - BACK MILLWORK
SECTION
SCALE: 1/2"=1'-0"

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Inpross Unlimited, Inc.
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MILLWORK
 SALES MANAGERS

BERLIN CITY TOYOTA
 191 RIVERSIDE STREET
 PORTLAND, ME

PROJECT LOCATION: _____

PROJECT NAME: _____

DATE: _____

DESIGNER: _____

SCALE: _____

PROJECT START DATE: _____

PROJECT END DATE: _____

OWNER: _____

ARCHITECT: _____

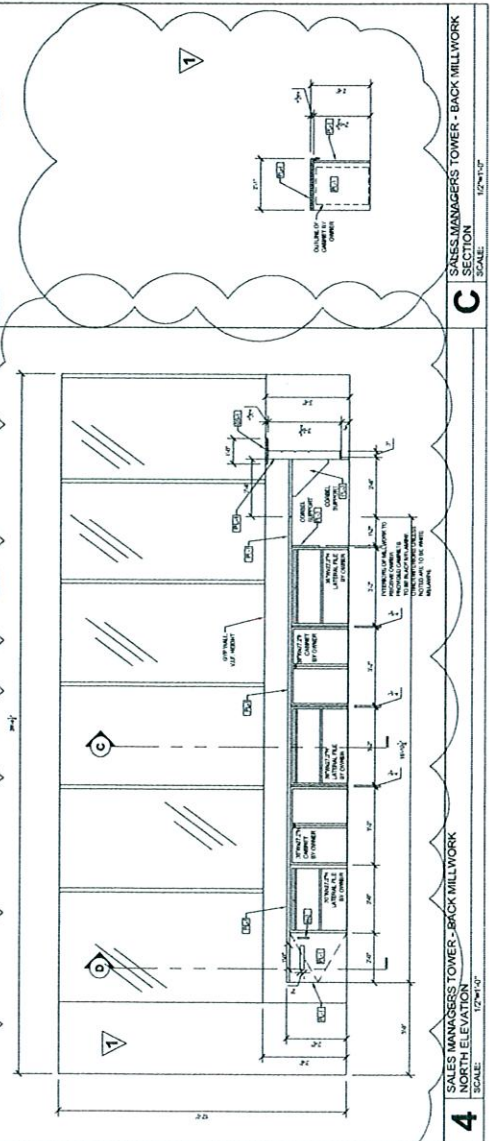
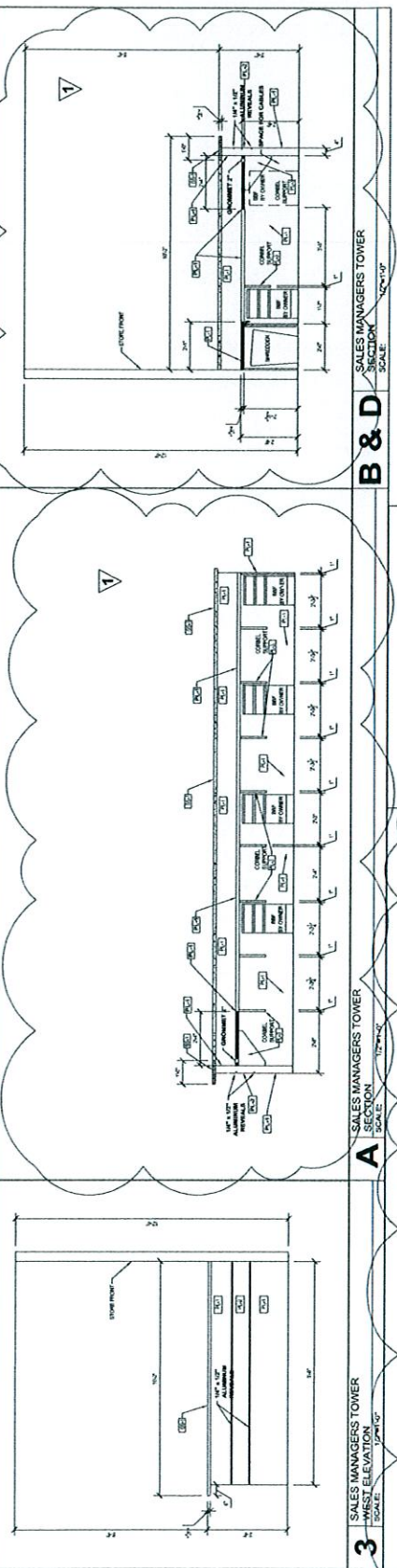
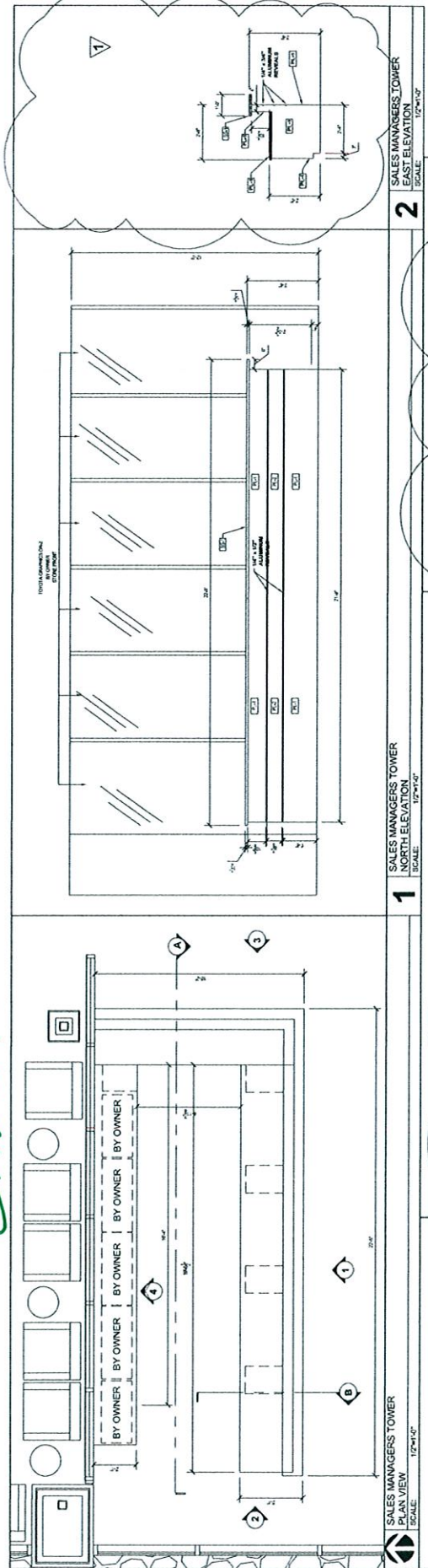
INTERIOR DESIGNER: _____

MANUFACTURER: _____

FINISHES: _____

NOTES: _____

MILL 1:1



FRONT
 SALES MANAGERS
 DESK



Impresario Unlimited, Inc.
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MILLWORK
CAFE, BUSINESS CENTER
& RETAIL PARTS

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME

PROJECT LOCATION

These plans were prepared by the Architect under the authority of the Professional Engineer, the Professional Architect, the Professional Interior Designer, the Professional Landscaper or the Professional Engineer of this jurisdiction.

Project S. Richmond

PROJECT START DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

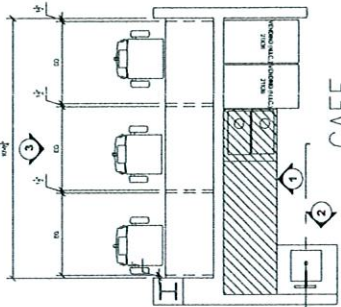
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DATE

DATE

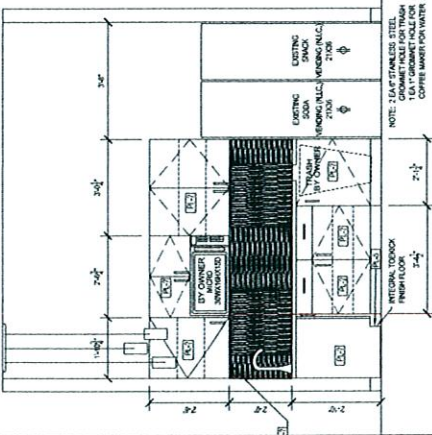
MILL 1.2

BUS. CTR.

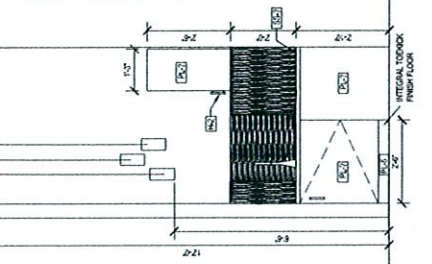


CAFE

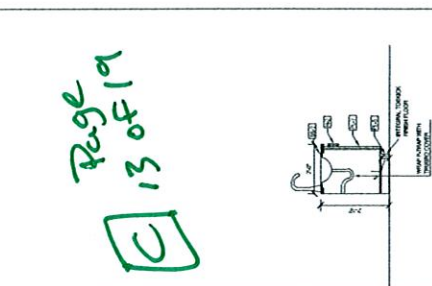
1 CAFE & BUSINESS CENTER
PLAN VIEW
SCALE: 1/2"=1'-0"



1 CAFE
SOUTH ELEVATION
SCALE: 1/2"=1'-0"

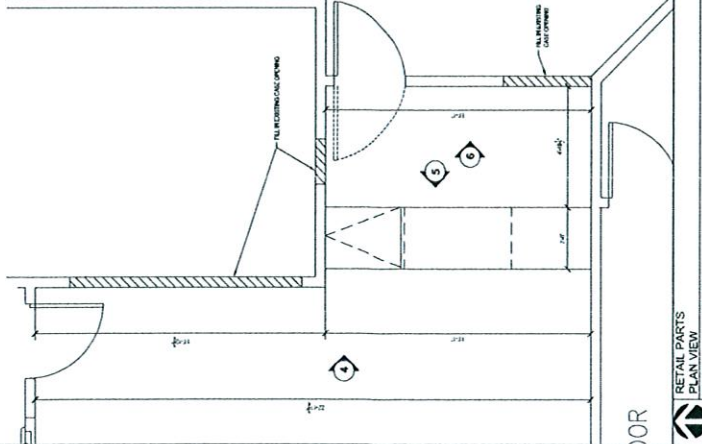


2 CAFE
EAST ELEVATION
SCALE: 1/2"=1'-0"

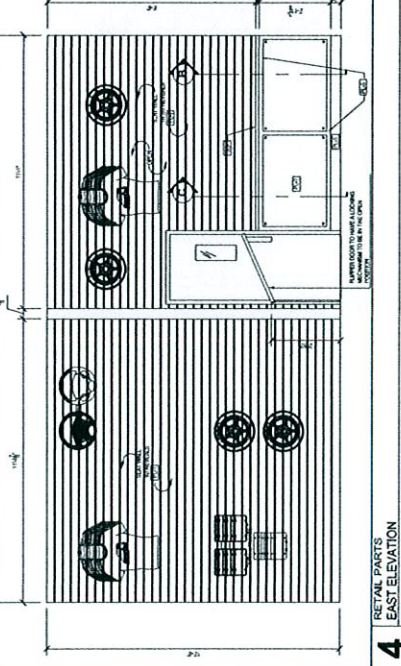


3 BUSINESS CENTER
NORTH ELEVATION
SCALE: 1/2"=1'-0"

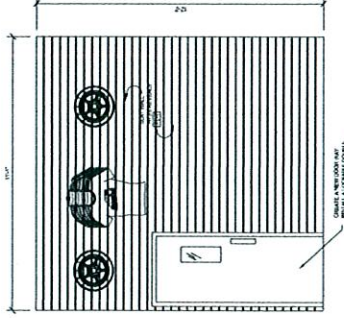
Page 13 of 19



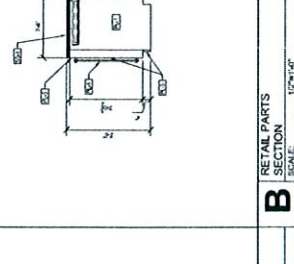
4 RETAIL PARTS
EAST ELEVATION
SCALE: 1/2"=1'-0"



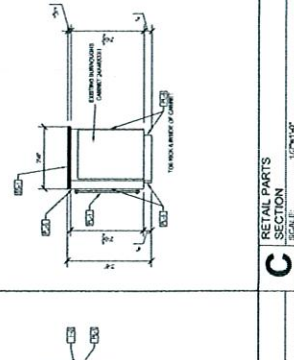
5 RETAIL PARTS
WEST ELEVATION
SCALE: 1/2"=1'-0"



6 RETAIL PARTS
EAST (BACK) ELEVATION
SCALE: 1/2"=1'-0"



B RETAIL PARTS
SECTION
SCALE: 1/2"=1'-0"



C RETAIL PARTS
SECTION
SCALE: 1/2"=1'-0"



5 RETAIL PARTS
WEST ELEVATION
SCALE: 1/2"=1'-0"

C Page 14 of 19



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 FAX: 303.433.7466
 EMAIL: jopson@jopsonmech.com
 www.jopsonmech.com

MILLWORK
BDC

DESCRIPTION

BERLIN CITY TOYOTA

191 RIVERSIDE STREET
 PORTLAND, ME

PROJECT

LOCATION

These plans and specifications shall be read in conjunction with the general conditions of contract and all other documents incorporated by reference.

Prepared by: Jopson Mechanical, Inc.

Checked by: Jopson Mechanical, Inc.

Approved by: Jopson Mechanical, Inc.

PROJECT START DATE:

PROJECT END DATE:

DATE:

SCALE:

NO. SHEETS:

TOTAL SHEETS:

DATE:

SCALE:

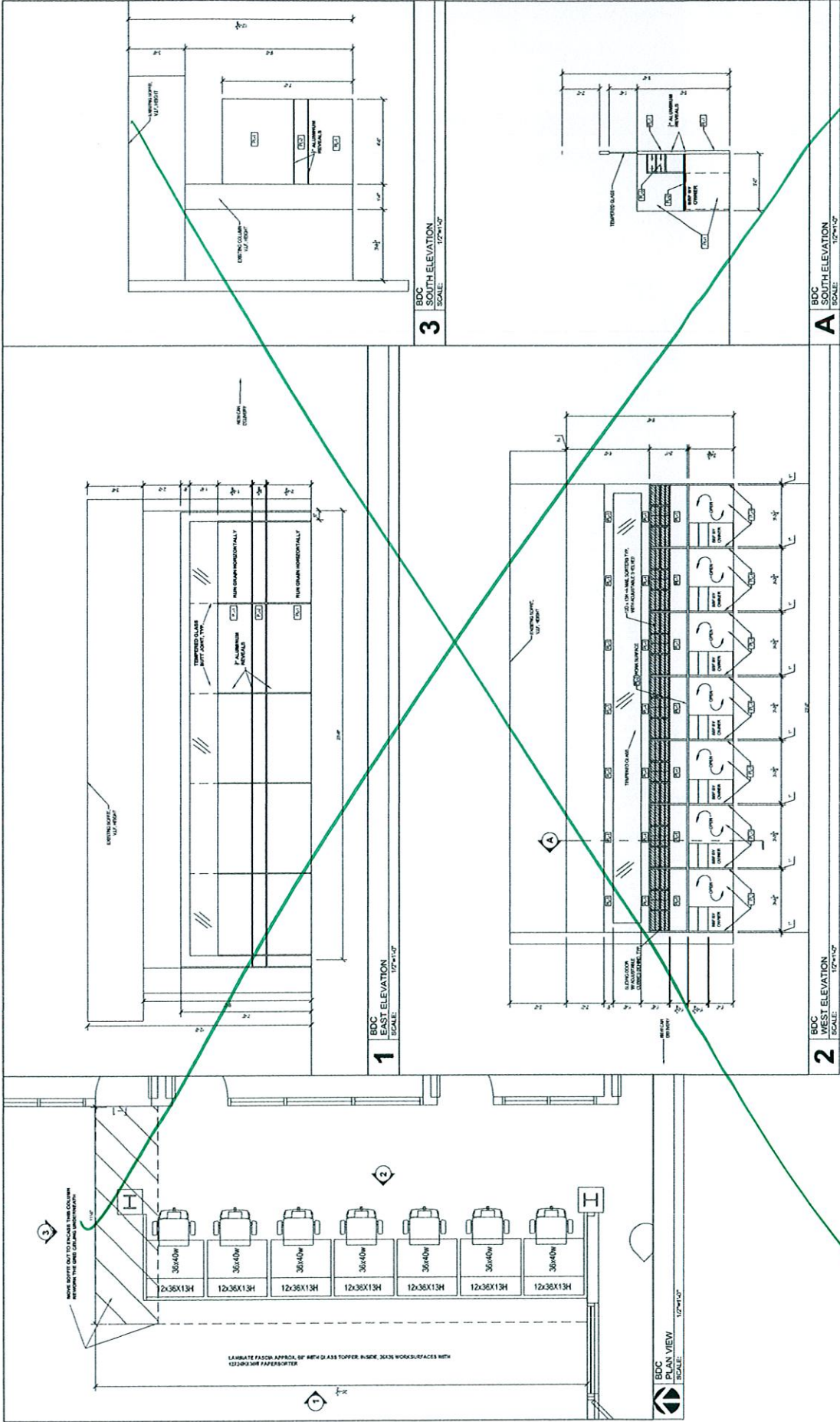
SCALE:

SCALE:

SCALE:

SCALE:

MILL 1.3



SEE REVISED DRAWING

LABORATE FINISH APPROX. 8" BEYOND FACE TOPPER, INSIDE. SEALS WORKSURFACES WITH 1222R303R PAPER-STRIP

BDC PLAN VIEW
 SCALE: 1/8"=1'-0"

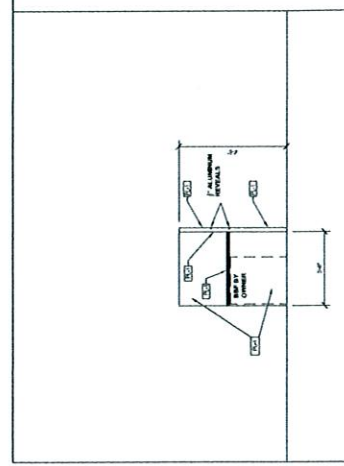
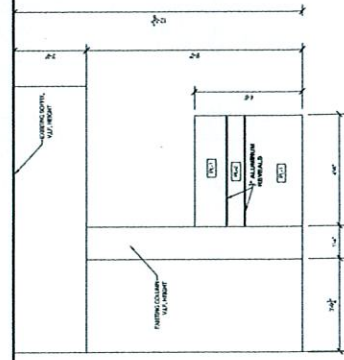
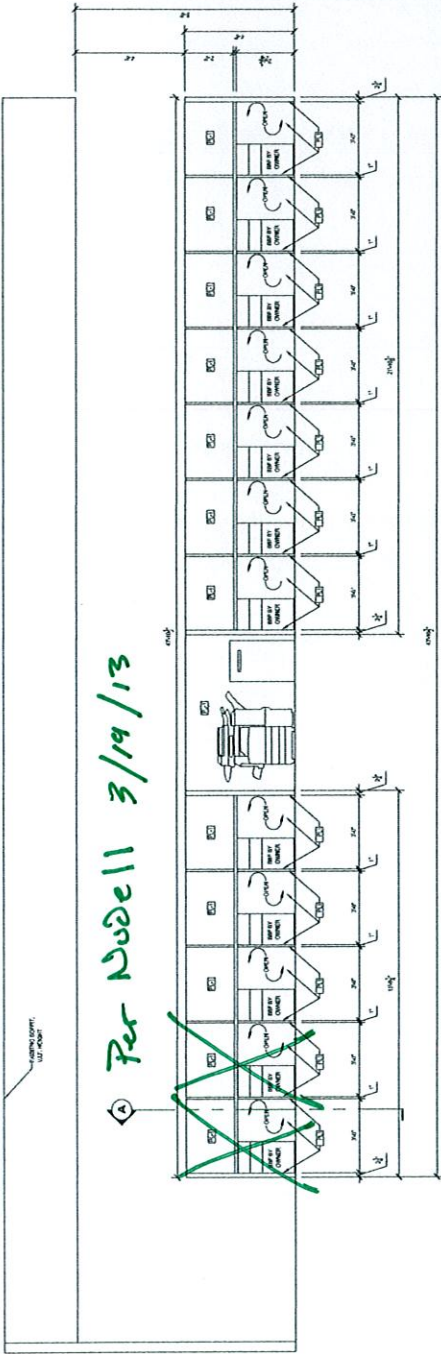
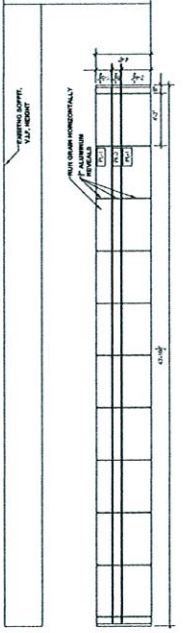
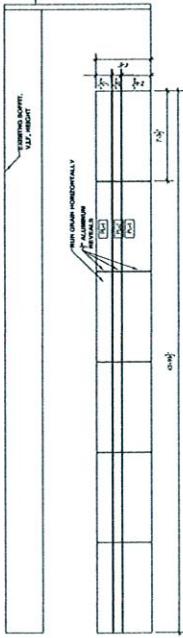
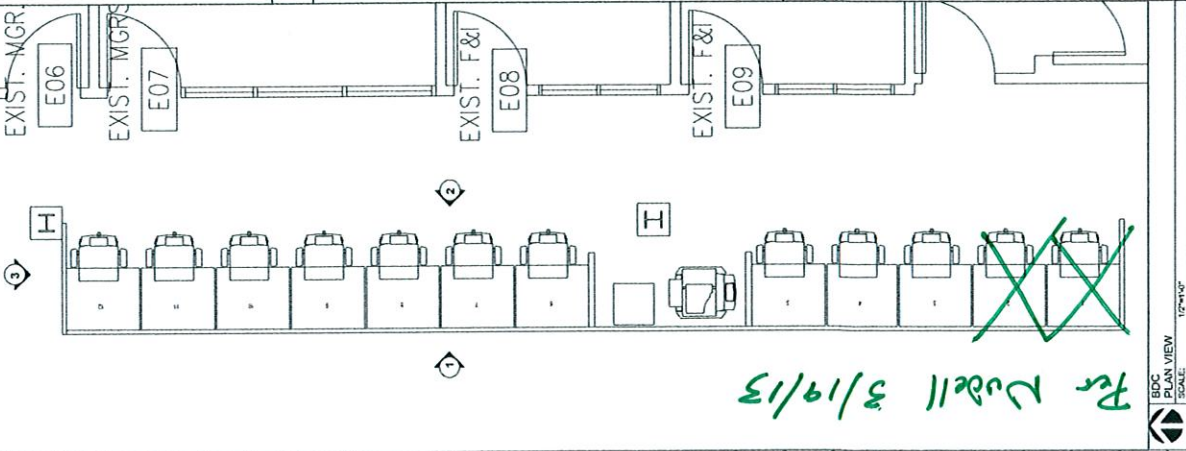
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 SCALE: 1/8"=1'-0"

3 BDC SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

2 BDC WEST ELEVATION
 SCALE: 1/8"=1'-0"

A BDC EAST ELEVATION
 SCALE: 1/8"=1'-0"

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Revised BDC LAYOUT

PROJECT: BERLIN CITY TOYOTA
SHEET: MILLWORK
DATE: 3/19/13
SCALE: 1/2"=1'-0"



Inprova Unlimited, Inc.
334 S. Downing Street
Denver, CO 80209

PHONE: 303.433.7446
FAX: 303.332.9146
www.inprovaunlimited.com

MILLWORK
SERVICE ADVISORS

DESCRIPTION

BERLIN CITY TOYOTA

191 RIVERSIDE STREET
PORTLAND, ME

LOCATION

These plans and sections are to be used for the purpose of providing you with the information necessary to understand the scope and content of the drawings. They are not to be used for any other purpose without the written consent of the designer.

DATE: 08/11/09

PROJECT: TOYOTA SALES

COMPANY:

OWNER:

DESIGNER:

SCALE:

NO. REVISED

BY

DATE

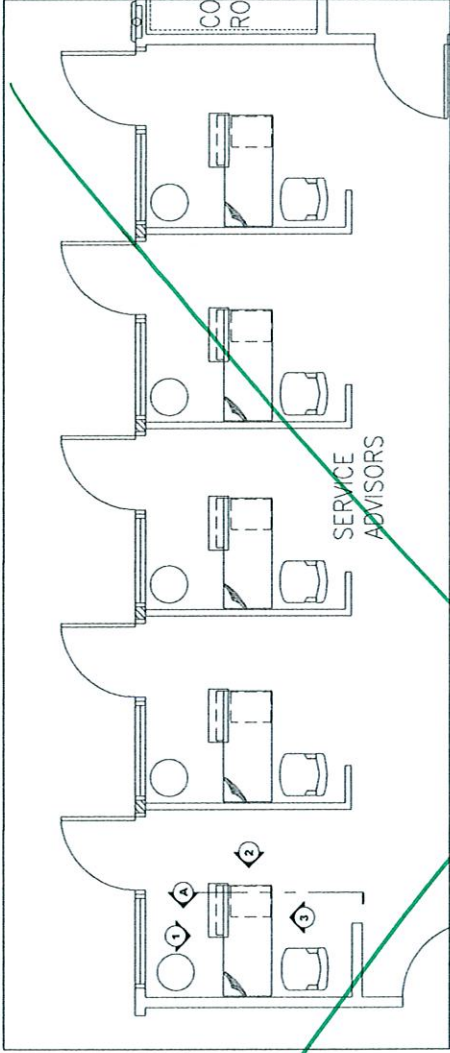
REVISIONS

NO.

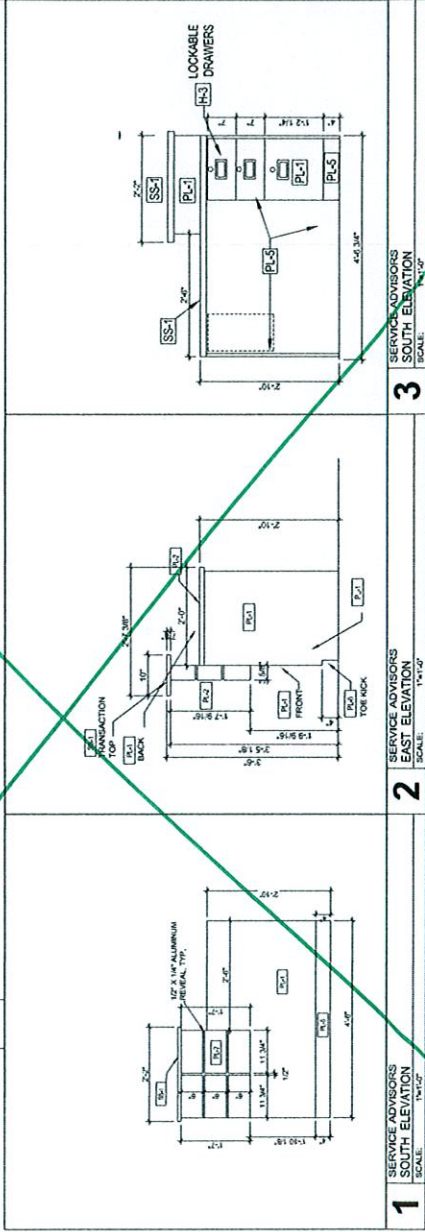
DESCRIPTION

DATE

MILL 1.4



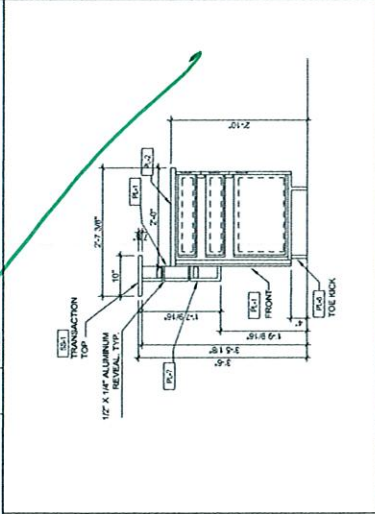
1 SERVICE ADVISORS
PLAN VIEW
SCALE: 1/2"=1'-0"



1 SERVICE ADVISORS
SOUTH ELEVATION
SCALE: 1/4\"/>

2 SERVICE ADVISORS
EAST ELEVATION
SCALE: 1/4\"/>

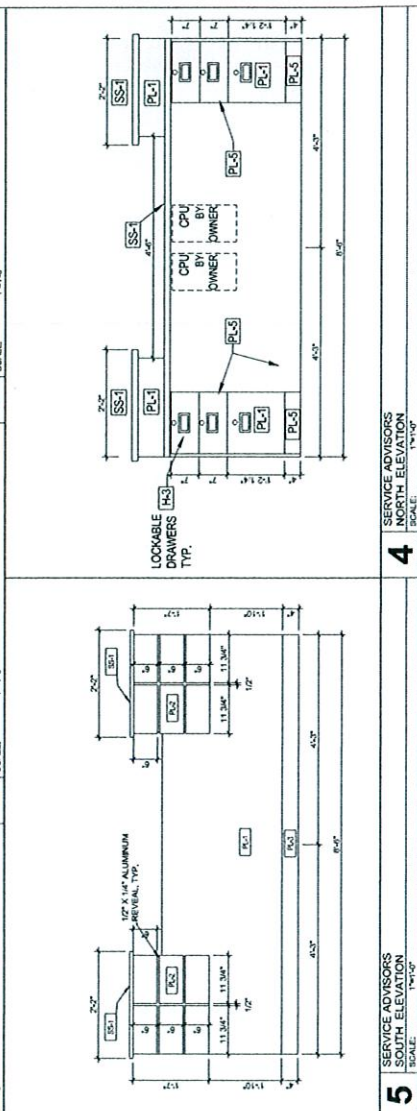
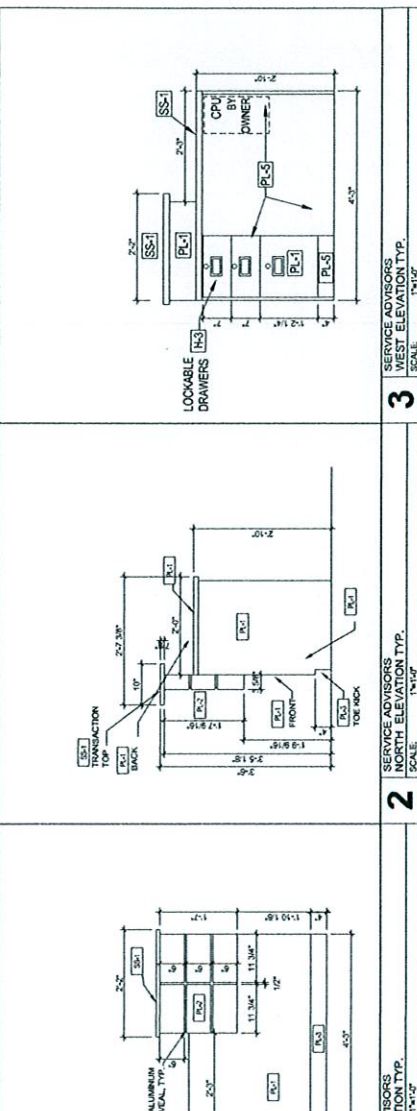
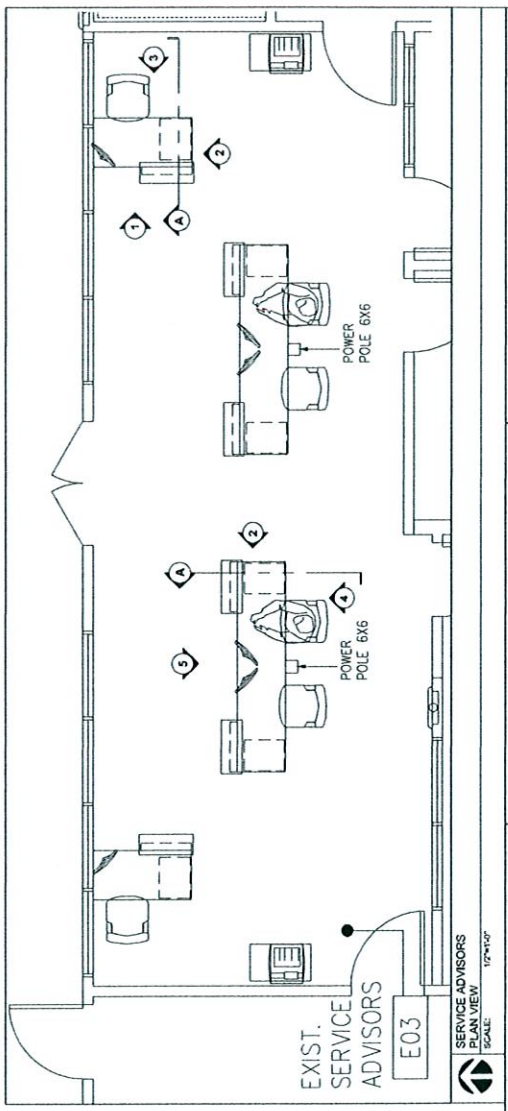
3 SERVICE ADVISORS
SOUTH ELEVATION
SCALE: 1/4\"/>



A SERVICE ADVISORS
SECTION
SCALE: 1/4\"/>

*See Revised Layout
on Page 10*

*Revised
Service Layout
17 Oct 19*



U
Innovative Unlimited, Inc.
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MILLWORK
SERVICE ADVISORS

BERLIN CITY TOYOTA
191 RIVERSIDE STREET
PORTLAND, ME

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PROJECT START DATE: 03.06.13
DRAWN BY: JAMES E. MCNEIL
CHECKED BY: JAMES E. MCNEIL
DATE: 03.06.13

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	03/06/13
2	ISSUED FOR PERMIT	03/06/13
3	ISSUED FOR PERMIT	03/06/13
4	ISSUED FOR PERMIT	03/06/13
5	ISSUED FOR PERMIT	03/06/13

MILL 1-4



Progress Mechanical, Inc.
 301 S. Downing Street
 Denver, CO 80209
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 303.433.7441
 FAX: 303.733.7140
 EMAIL: info@progressmech.com
 www.progressmech.com

SIGNAGE PLAN

BERLIN CITY TOYOTA

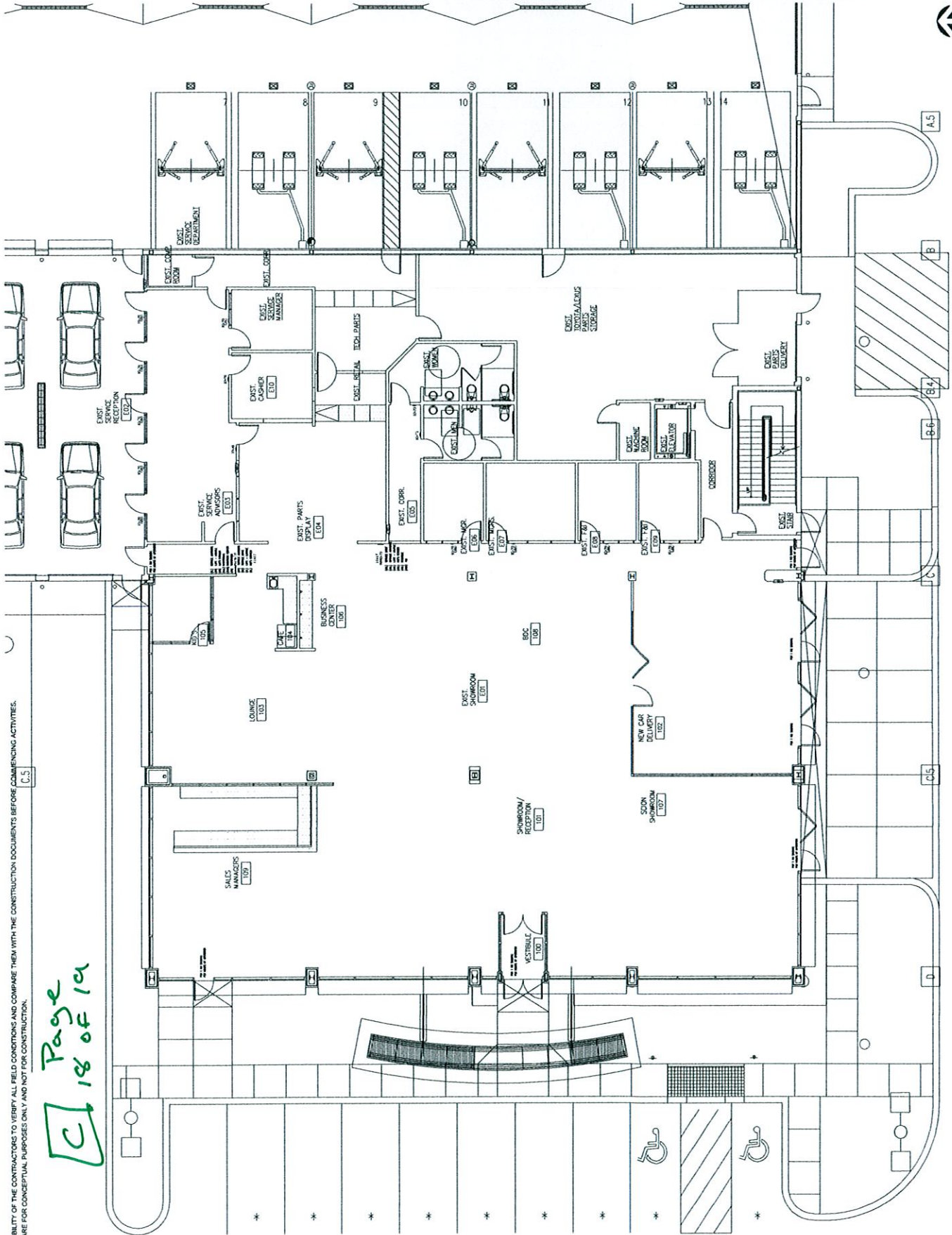
191 RIVERSIDE STREET
PORTLAND, ME 04103

PROJECT:

These plans and specifications
 are prepared for the use of the
 contractor and are not to be
 construed as a contract.
 Progress Mechanical, Inc.
 301 S. Downing Street
 Denver, CO 80209
 www.progressmech.com
 Project No. 01-08-13

DATE:	01/08/13
DESIGNED BY:	JEM
CHECKED BY:	JEM
DATE:	05/28/13

SIGN 1.0



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Handwritten: [C] Page 18 of 19





Enterprise Architectural, Inc.
 204 S. Channing Street
 Denver, CO 80209
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 WWW: 303.292.1740
 EMAIL: info@enterprise.com
 www.enterprise.com

SPECIALTY ITEMS PLAN

BERLIN CITY TOYOTA

191 RIVERSIDE STREET
 PORTLAND, ME 04103

PROJECT:

PROJECT NO. 01.08.13

DATE: 01.08.13

DESIGNER: J. F. McCord

PROJECT MANAGER: J. F. McCord

PROJECT NO. 01.08.13

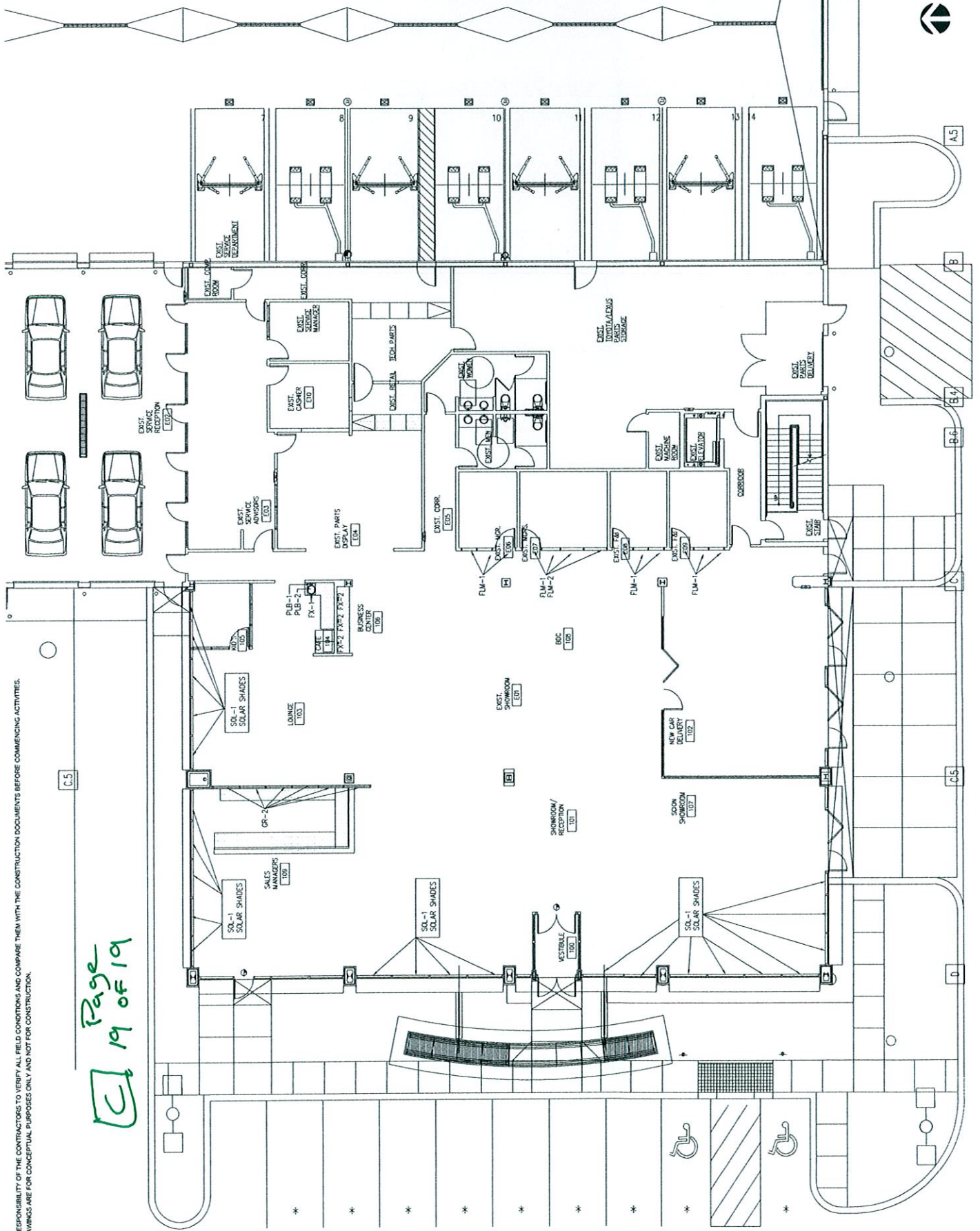
DATE: 01.08.13

DESIGNER: J. F. McCord

PROJECT MANAGER: J. F. McCord

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SPECIALTY ITEMS



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