

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND**BUILDING INSPECTION****PERMIT**

Permit Number: 090238

Please Read
Application And
Notes, If Any,
AttachedThis is to certify that CAR SUM ME RIVER LLC / White Bros, Inc.has permission to Vacant Land - Demolish SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC. FOR FUTURE PARKING LOTAT 191 RIVERSIDE ST

CBL 268 A002001

PERMIT ISSUED

APR - 9 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Lanthier

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Christopher S. MA
Director - Building & Inspection Services

4/9/09

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0238	Issue Date: 4/9/09	CBL: 268 A002001
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Location of Construction: 191 RIVERSIDE ST	Owner Name: CAR SUM ME RIVER LLC	Owner Address: 8270 GREENSBORO DR STE 950	Phone:
Business Name:	Contractor Name: White Bros, Inc.	Contractor Address: 95 Warren Ave. Westbrook	Phone: 2078549173
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Building	Zone: B-A

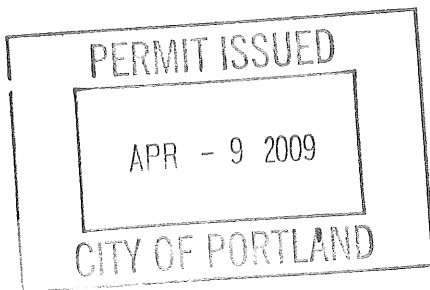
Past Use: SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC.	Proposed Use: Vacant Land - Demolish SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC. FOR FUTURE PARKING LOT	Permit Fee: \$210.00	Cost of Work: \$19,000.00	CEO District: 3
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Proposed Project Description: Vacant Land - Demolish SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC. FOR FUTURE PARKING LOT	<p>FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>INSPECTION: Use Group: R-3 Type: SB "Demo" only IRC-2003</p> <p>Signature: (K6) Signature: CE</p> <p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</p> <p>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied</p> <p>Signature: Date:</p>
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Permit Taken By: Ldobson	Date Applied For: 03/25/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/25/09	Zoning Appeal <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0238	Date Applied For: 03/25/2009	CBL: 268 A002001
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Location of Construction: 191 RIVERSIDE ST	Owner Name: CAR SUM ME RIVER LLC	Owner Address: 8270 GREENSBORO DR STE 950	Phone:
Business Name:	Contractor Name: White Bros, Inc.	Contractor Address: 95 Warren Ave. Westbrook	Phone (207) 854-9173
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Building	

Proposed Use: Vacant Land - Demolish SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC. FOR FUTURE PARKING LOT	Proposed Project Description: Vacant Land - Demolish SINGLE FAMILY HOMES, GARAGES, SHEDS, AUX, ETC. FOR FUTURE PARKING LOT
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/25/2009
Note: **Ok to Issue:** ☒

- 1) Separate permits are required for the new use (parking lot) that replaces the demoed uses. This permit is required PRIOR to work commencing on the new parking lot.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/09/2009
Note: **Ok to Issue:** ☒

- 1) Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period.
- 2) Demo permit only! Construction requires separate permits.

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/26/2009
Note: **Ok to Issue:** ☒

Comments:

3/25/2009-mes: Buildings are being demoed on 268-B-5,6,7,4,13. There are several single family dwellings in the mix. Replacement Housing requirements are being triggered and they will pay toward the fund thru the Planning Division. -

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 4/8/2009 3:55:42 PM
Subject: 191 Riverside Stree, Berlin City

Hi all, this project has met all DRC requirements for the issuance of the building permit. See UI for sign off.

Feel free to contact me with any questions.

Thanks.
Phil

From: Marge Schmuckal
To: Eric Giles
Date: 3/26/2009 9:14:59 AM
Subject: Re: Berlin City parking expansion

Thanks for the update.
Marge

>>> Eric Giles 3/26/2009 9:04:21 AM >>>
Good Morning Marge,

At this point Jeff Tarling has not approved the landscaping plan per Condition #4. The applicant has been notified of Jeff's non approval. A building permit cannot be issued at this time but when Jeff signs off, I will notify you immediatly. I've copied Phil and Barbara on this email as well.

Thanks,

Eric Giles, AICP
Planner
City of Portland
Department of Planning and Urban Development

>>> Marge Schmuckal 3/25/2009 4:05:42 PM >>>

Eric,
I have a permit application that just came in for the demolision of the single families off Campbell Road.
Can we issue the permit? Have you gotten the Housing Replacement \$\$\$ and the Guaranteed fees yet?
Thanks,
Marge

CC: Barbara Barhydt; Philip DiPierro

From: Marge Schmuckal
To: Eric Giles
Date: 3/25/2009 4:05:42 PM
Subject: Berlin City parking expansion

Eric,

I have a permit application that just came in for the demolition of the single families off Campbell Road.

Can we issue the permit? Have you gotten the Housing Replacement \$\$\$ and the Guaranteed fees yet?

Thanks,

Marge



Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Campbell Road Portland # 2, 4, 13, and sheds also garage between #4 & 13</u>			
Total Square Footage of Proposed Structure <u>N/A</u>		Square Footage of Lot: <u>92,034</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>268</u> Block# <u>4B</u> Lot# <u>2</u> <u>4,5,6,7,13</u>		Owner: <u>Berlin City of Portland, Inc.</u>	Telephone: <u>207-774-1429</u>
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone: <u>White Bros. Inc.</u> <u>95 Warren Ave.</u> <u>Westbrook, ME 04092</u>	Cost Of Work: \$ <u>19,100</u> Fee: \$ <u>221-211</u>
Current legal use: (i.e. garage, warehouse) <u>Houses</u> If vacant, what was the previous use? _____ How long has it been vacant? _____ Project description: <u>Demolish houses to clear land for new parking lot expansion.</u>			
Contractor's name, address & telephone: <u>White Bros. Inc. 95 Warren Ave. Westbrook, ME 04092</u>			
Who should we contact when the permit is ready: <u>Josh White</u>			
Mailing address: <u>95 Warren Ave. Westbrook, ME 04092</u> Telephone: <u>207-854-9173</u> <u>207-939-9679</u>			

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3-25-09</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Demolition Call List & Requirements

Site Address: Campbell Rd.

Owner: Berlin City of Portland, Inc.

Structure Type: 3 houses, 1 garage, 6 sheds

Contractor: White Bros. Inc.

Utility Approvals

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	Shannon Tribbet met on site 3-20-09 @ 7:30 AM.
Northern Utilities	797-8002 ext 6241	7:50 AM. Mark Allen 3-24-09
Portland Water District	761-8310	Spoke with T. Whiteman 3-24-09 @ 10:00 AM. left message for Rico Spagnard @ 10:00 AM 3-24-09
Dig Safe	1-888-344-7233	ticket # 20091203510 3/17/09

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	ok, with Lucy Cote 3-24-09 @ 10:20 AM
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	Talked to Carol Merritt 3-24-09 @ 9:30 AM. OK, no city sewer.
Historic Preservation - Scott Hanson OK.	874-8726	left Deb Andrews message 3-24-09 @ 9:30 AM. No call back left Scott Hanson message 3-25-09 @ 8:30 AM. No call back
Fire Dispatcher	874-8576	3-24-09 @ 9:35 AM Jim Richards would like a call the day we start.
DEP - Environmental (Augusta)	287-2651	Sandy Moody 287-7751 3-24-09 @ 11:15 AM

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 - No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 3-25-09

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

ENVIRONMENTAL MANAGEMENT, INC.

P.O. BOX 391 BRUNSWICK, MAINE 04011

(207) 729-7549
FAX (207) 721-0892

March 10, 2009

Chris Ward

Berlin City Auto Group

191 Riverside Street

Portland, Maine 04103

Mr. Ward,

On March 6, 2009 a representative from Environmental Management visited the properties on Campbell Street in Portland Maine for the purpose of conducting a lead and Asbestos demolition survey. EMI project Number 09-8613.

Bulk samples of material suspected of containing Asbestos were retrieved from various locations and were examined by an independent Laboratory using Polarized light Microscopy and utilizing the E.P.A. method #600/ M4-82-020. Analytical data from all the bulk sampling has been included in this report for your review, Current State and Federal regulations consider material to be Asbestos containing if analyzed using Polarized Light Microscopy and are found to contain 1% or greater of Asbestos material.

Samples for Lead were analyzed by the same independent Laboratory using Atomic Absorption Spectroscopy and have been included for your review as well.

The Garage structure consisting of 3 bays was built in 2001 and is of stick built construction with no interior wall coverings, this building was not found to have any suspect materials for lead or Asbestos in its construction, the outbuilding behind this garage was surveyed as well and a sample of the roofing material was taken to rule out possible Asbestos material.

Number 13 Campbell was a former commercial property and was surveyed for Lead and Asbestos

Number 4 Campbell was a residential structure and was suspected of having Asbestos containing floor tiles in both the kitchen and front porch areas

Number 2 Campbell was completely gutted in 1992 according to the homeowner. The visual survey results were consistent with this statement however samples were retrieved from this property as well for confirmation.

Findings:

Asbestos: Twenty one samples were taken from the four buildings of materials thought to be of vintage or composition that would make them liable for Asbestos. Of the samples taken only one showed positive results. The Floor tiles in the Porch area of Number 4 Campbell presented with 7.1 percent Chrysotile, exceeding the previously mentioned 1 percent limit. This falls under a Category 1, non friable material based on the Federal standards for demolition activity: landfill disposal is appropriate under these regulations, but if the debris is intended for incineration then abatement should take place.

Lead: Five samples of paint were taken for Lead analysis. While the HUD standard establishes a .5% lead by weight standard and OSHA has no acceptable occupational exposure limit, the Current State of Maine DEP standards allow for the disposal of demolition material into landfill settings or approved incinerator locations without abatement.

Summary: Your action to pursue is dependent on what the scope of work indicates for disposal avenues for this building material. If a Landfill is being utilized that meets the State of Maine Criteria for acceptance of this material then further abatement will not be required. If incineration is being considered for disposal then additional action may be required based on the receiving facility. The preliminary reports of both Lead and Asbestos have been provided for your review, Final Certificates of Analysis will be forwarded to you on their arrival at our office. We hope that this report has answered any questions you may have as to status of these properties and should you have any further questions please don't hesitate to contact our office at (207) 729-7549.

Respectfully,



John Benoit

Environmental Management

Maine Inspector AL-0556

CERTIFICATE OF ANALYSIS

Client:	Environmental Management Inc. 31 River Rd. PO Box 391 Brunswick ME 04011	Report Date: 3/9/2009 Report Number: 03091781 Project: Berlin City 3/6/09 Project No.:
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LEAD PAINT SAMPLE ANALYSIS SUMMARY

Lab No.	Client No.	Location / Description	Concentration Lead By Weight (%)
3545328	003	13C Door Jambs	0.0076***
3545329	008	13C Exterior Trim	1.2
3545330	012	4C Ceiling Paint	<0.0071***
3545331	016	4C Trim Paint	0.32
3545332	019	2C Banister Paint	12

NATIONAL LEAD LABORATORY ACCREDITATION PROGRAM (NLLAP)

AIHA No. 100188 / NYSDOH-ELAP No. 11021

Analysis Methods: ASTM D3833-85A "Standard Method To Test For Low Concentrations Of Lead In Paint By Atomic Absorption Spectrophotometry"
EPA 846-(7420/7421) "Standard Method To Test For Low Concentrations Of Lead In Soils, Sludges and Sediments By AAS"

Comments: Regulatory limits 0.5% lead by weight (EPA/HUD guidelines). Recommend multiple sampling for all samples less than regulatory limit for confirmation. All results are based on the samples as received at the lab. IATL assumes that appropriate sampling methods have been used and the data upon which these results are based have been accurately supplied by the client. Method Detection Limit (MDL) per EPA Method 40 CFR Part 136 Appendix B. Reporting Limit (RL) based upon Lowest Standard Determined (LSD) in accordance with AIHA-ELAP policies. LSD=0.2 ppm MDL=0.0024% by weight. RL= 0.010% by weight (based upon 100 mg sampled). * Insufficient sample provided to perform QC reanalysis (<200 mg) ** Not enough sample provided to analyze (<50 mg) *** Matrix / substrate interference possible. Sample results are not corrected for contamination by field or analytical blanks. This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAAP, AIHA or any government agency. This report shall not be reproduced except in full, without written approval of the laboratory.

Date Received: 3/9/2009

Date Analyzed: 3/9/2009

Analyst: C. Shaffer

Approved By:

Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
51 River Rd. PO Box 391
Brunswick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8513

BULK SAMPLE ANALYSIS SUMMARY

Lab No.:	3545365	Description / Location:	Black Roof Material Roof, Out Building In Garage	
Client No.:	001			
% Asbestos	Type	% Non-Asbestos Fibrous Material	Type	% Non-Fibrous Material
None Detected	None Detected	15	Cellulose	85

Lab No.:	3545366	Description / Location:	Tan Mastic 13C Wall Material	
Client No.:	002			
% Asbestos	Type	% Non-Asbestos Fibrous Material	Type	% Non-Fibrous Material
None Detected	None Detected	1	Cellulose	99

Lab No.:	3545367	Description / Location:	Lt. Tan Sheetrock 13C Mastic	
Client No.:	004			
% Asbestos	Type	% Non-Asbestos Fibrous Material	Type	% Non-Fibrous Material
None Detected	None Detected	20	Cellulose	80

Lab No.:	3545368	Description / Location:	Tan Ceiling Tile 13C Closet	
Client No.:	005			
% Asbestos	Type	% Non-Asbestos Fibrous Material	Type	% Non-Fibrous Material
None Detected	None Detected	100	Cellulose	None Detected

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

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Analysis Method: EPA 600/R-93/116

Confirmation: (PC) Indicates Stratified Point Count Method performed. Method not performed unless stated. Quantification at <0.25% by volume is possible with this method. (PC-Trace) represents this limit of quantitation. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis involves all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analyst Performed By: E. Smith

Approved By:

Frank E. Ehrenfeld, III
Laboratory Director

Date: 3/9/2009

Page 1 of 6

CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
31 River Rd. PO Box 391
Brunswick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8613

BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 3545372	Description / Location: LL Tan Floor Tile; 9x9			
Client No.: 010	4C			
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	10	Cellulose	90

Lab No.: 3545373	Description / Location: Tan/Black Fibrous			
Client No.: 011	4C Underlayment			
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	99	Cellulose	1

Lab No.: 3545374	Description / Location: Tan Ceiling Tile			
Client No.: 013	4C			
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	100	Cellulose	None Detected

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

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Analysis Method: EPA 600/7-93/016

Comments: (PC) Indicates Simplified Point Count Method performed. Method not performed unless stated. Quantification at <0.25% by volume is possible with this method. (PC-Trace) represents this limit of quantification. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analysis Performed By: E. Smith

Date: 3/9/2009

Page 3 of 6

CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
51 River Rd. PO Box 391
Brunswick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8613

BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 3545375	Description / Location:	Off-White Vinyl Sheet Flooring		
Client No.: 014		4C Bathroom		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	3	Fibrous Glass	97

Lab No.: 3545375	Description / Location:	Tan Mastic		
Client No.: 014		4C Bathroom		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	None Detected	None Detected	100

Lab No.: 3545376	Description / Location:	Tan Plaster		
Client No.: 015		4C		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	Trace	Cellulose	100

Lab No.: 3545376	Description / Location:	White Plaster		
Client No.: 015		4C		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	None Detected	None Detected	100

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

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Analysis Method: EPA 600/R-99/116

Comments: (PC) Indicates Stratified Point Count Method performed. Method not performed unless stated. Quantification at <0.25% by volume is possible with this method. (PC-Trace) represents this limit of quantification. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analysis Performed By: E. Smith

Date: 3/9/2009

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CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
51 River Rd. PO Box 391
Brunswick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8613

BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 3545377	Description / Location: Grey Fibrous Furnace Putty 4C	
Client No.: 017		
<u>% Asbestos</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>% Non-Fibrous Material</u>
None Detected	30	70
Type: None Detected	Fibrous Glass	

Lab No.: 3545377	Description / Location: Grey Non Fibrous Furnace Putty 4C	Layer No.: 2
Client No.: 017		
<u>% Asbestos</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	100
Type: None Detected	None Detected	

Lab No.: 3545378	Description / Location: Red/Black Shingle 2C Shed Siding	
Client No.: 018		
<u>% Asbestos</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>% Non-Fibrous Material</u>
None Detected	15	85
Type: None Detected	Cellulose	

Lab No.: 3545379	Description / Location: Grey Putty 2C Furnace	
Client No.: 020		
<u>% Asbestos</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>% Non-Fibrous Material</u>
None Detected	Trace	100
Type: None Detected	Fibrous Glass	

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

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Analysis Method: EPA 600/R-93/116

Comments: (PC) Indicates Stratified Point Count Method performed. Method not performed unless stated. Quantification at <0.25% by volume is possible with this method. (PC-Trace) represents this limit of quantitation. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analyst Performed By: E. Smith

Date: 3/9/2009

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International Asbestos
Testing Laboratories

9009 Commerce Parkway Suite B Mt. Laurel, NJ 08054
Telephone: 856-231-9449 Fax: 856-231-9818

CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
51 River Rd. PO Box 391
Brunswick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8613

BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 3545380	Description / Location: Lt. Tan Sheetrock			
Client No.: 021	2C			
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>	<u>% Non-Fibrous Material</u>
None Detected	None Detected	5	Cellulose	95

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

*This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAP, AIHA or any agency of the U.S. government.
This report shall not be reproduced except in full, without written approval of the laboratory.*

Analysis Method: EPA 600/R-93/116

Comment: (PC) Indicates Stratified Point Count Method performed. Method not performed unless stated. Quantification at 0.25% by volume is possible with this method. (PC-Traces) represents this limit of quantitation. (PC-Traces) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analysis Performed By: E. Smith

Date: 3/9/2009

Page 6 of 6

Transaction Report

Send

Transaction(s) completed

No.	TX	Date/Time	Destination	Duration	P. #	Result	Mode
895	MAR-24	14:40	2072876220	0'01'	14" 002	OK	N ECM

White Bros. Inc.

95 Warren Avenue

Westbrook, Maine 04092

Telephone: (207) 854-9173

FAX: (207) 854-3809

FAX TRANSMITTALDATE: 3.24.09TO: MDEP 287-6220ATTN: SandyFROM: Josh WhitePAGES (To include this cover sheet): 2

COMMENTS:

Here is the notification sheet
you and I talked about earlier today.
Hopefully this will be satisfactory.
I am unsure of an exact start date,
I will let you know when ~~I~~ get it
nailed down. Any questions please call.

ThanksJosh



ASBESTOS BUILDING DEMOLITION NOTIFICATION

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION

Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, Maine 04333



Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.maine.gov for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were regulated asbestos-containing building materials found? ☒ yes ☐ no

very minor, we discussed on the phone.

property address: <i>Campbell Rd. Portland, ME</i>	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: <i>Single family homes - 3 Garage - 1 sheds - 6</i>
asbestos survey/inspection performed by: (name & address) <i>Environmental Management, Inc.</i>	asbestos abatement contractor <i>N/A we discussed over the phone</i>
telephone: <i>207-729-7549</i>	telephone:
property owner: (name & address) <i>Barlincity of Portland, Inc. 191 Riverside St. Portland, ME 04103</i>	demolition contractor: (name & address) <i>White Bros, Inc. 95 Warren Ave. Westbrook, ME 04092</i>
telephone: <i>207-774-1429</i>	telephone: <i>207-854-9173</i>
demolition start date: <i>hopefully 3-30-03</i>	demolition end date: <i>1 week from start</i>

This demolition notification does not take the place of the Asbestos Project Notification if applicable

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT

<i>Joshua D. White</i> Print Name: Owner/Agent	<i>Project Manager</i> Title	<i>[Signature]</i> Signature
<i>207-854-9173</i> Telephone #	<i>207-854-3809</i> FAX #	<i>3-24-03</i> Date

White Bros. Inc.

95 WARREN AVENUE, WESTBROOK, MAINE 04092

Telephone 854-9173 Fax 854-3809

March 23, 2009

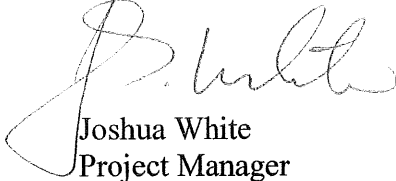
Evergreen Credit Union
225 Riverside Street
Portland ME 04103

Re: Berlin City of Portland Toyota, Scion, Lexus Site Improvements

To Whom It May Concern:

The intent of this letter is to inform you that there will be demolition taking place on a parcel of land that abuts yours. There are currently three houses, one garage, and six sheds that will be demolished. This land was purchased by Berlin City of Portland. The purpose of this demolition is to clear the land for two new inventory storage areas. As the contractor that will be performing this work I am required to make you aware of this work. If you have any questions about this I can be reached at 207-854-9173.

Sincerely,



Joshua White
Project Manager

Hand-delivered 3-24-09

White Bros. Inc.

95 WARREN AVENUE, WESTBROOK, MAINE 04092

Telephone 854-9173 Fax 854-3809

March 23, 2009

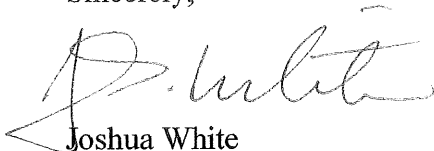
Home Depot
245 Riverside Street
Portland ME 04103

Re: Berlin City of Portland Toyota, Scion, Lexus Site Improvements

To Whom It May Concern:

The intent of this letter is to inform you that there will be demolition taking place on a parcel of land that abuts yours. There are currently three houses, one garage, and six sheds that will be demolished. This land was purchased by Berlin City of Portland. The purpose of this demolition is to clear the land for two new inventory storage areas. As the contractor that will be performing this work I am required to make you aware of this work. If you have any questions about this I can be reached at 207-854-9173.

Sincerely,



Joshua White
Project Manager

Hand delivered 3-24-09

White Bros. Inc.

95 WARREN AVENUE, WESTBROOK, MAINE 04092

Telephone 854-9173 Fax 854-3809

March 23, 2009

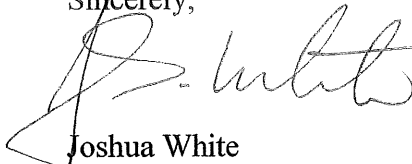
Thuy Phan
Campbell Road
Portland ME 04102

Re: Berlin City of Portland Toyota, Scion, Lexus Site Improvements

Dear Thuy Phan:

The intent of this letter is to inform you that there will be demolition taking place on a parcel of land that abuts yours. There are currently three houses, one garage, and six sheds that will be demolished. This land was purchased by Berlin City of Portland. The purpose of this demolition is to clear the land for two new inventory storage areas. As the contractor that will be performing this work I am required to make you aware of this work. If you have any questions about this I can be reached at 207-854-9173.

Sincerely,



Joshua White
Project Manager

Hand delivered 3.24.09

White Bros. Inc.

95 WARREN AVENUE, WESTBROOK, MAINE 04092

Telephone 854-9173 Fax 854-3809

March 23, 2009

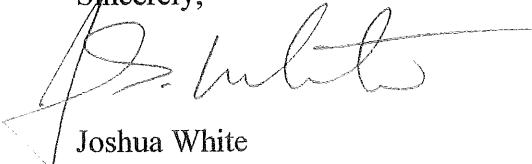
Maine Turnpike Authority
430 Riverside Street
Portland ME 04103

Re: Berlin City of Portland Toyota, Scion, Lexus Site Improvements

To Whom It May Concern:

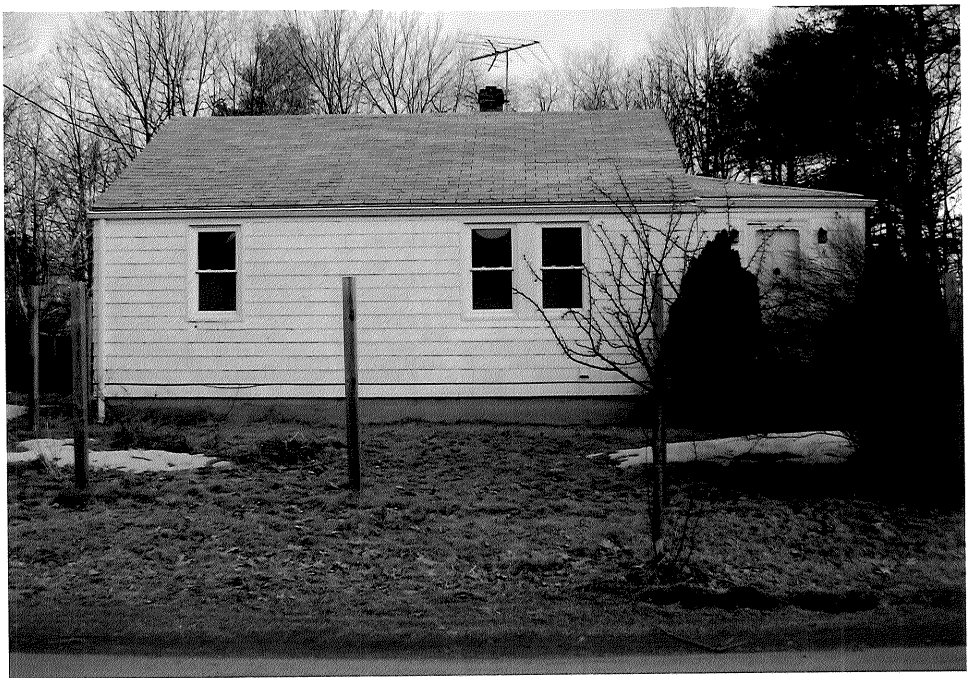
The intent of this letter is to inform you that there will be demolition taking place on a parcel of land that abuts yours. There are currently three houses, one garage, and six sheds that will be demolished. This land was purchased by Berlin City of Portland. The purpose of this demolition is to clear the land for two new inventory storage areas. As the contractor that will be performing this work I am required to make you aware of this work. If you have any questions about this I can be reached at 207-854-9173.

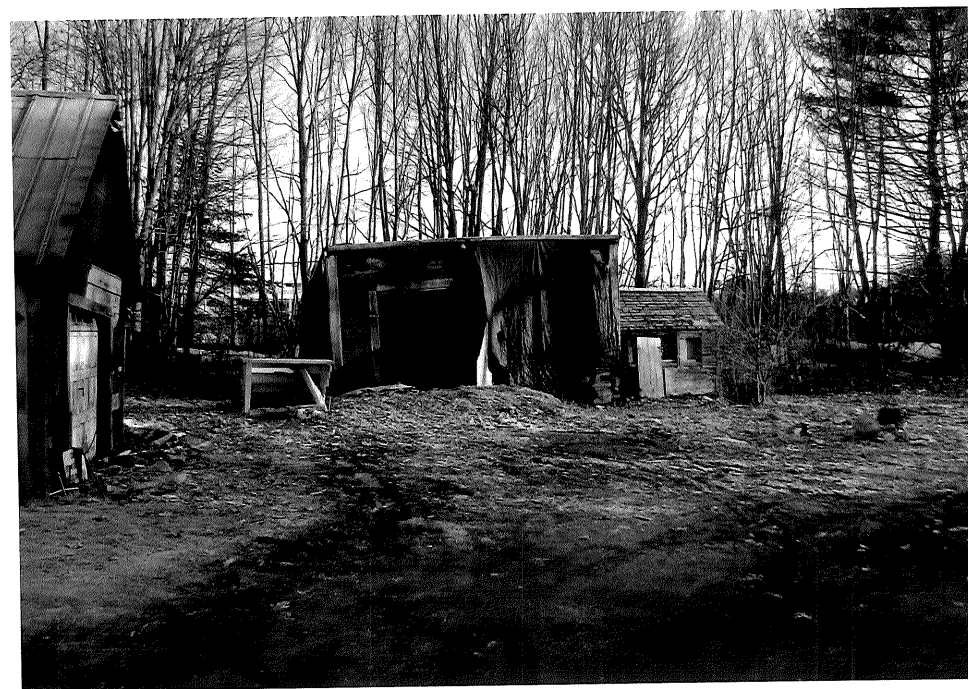
Sincerely,

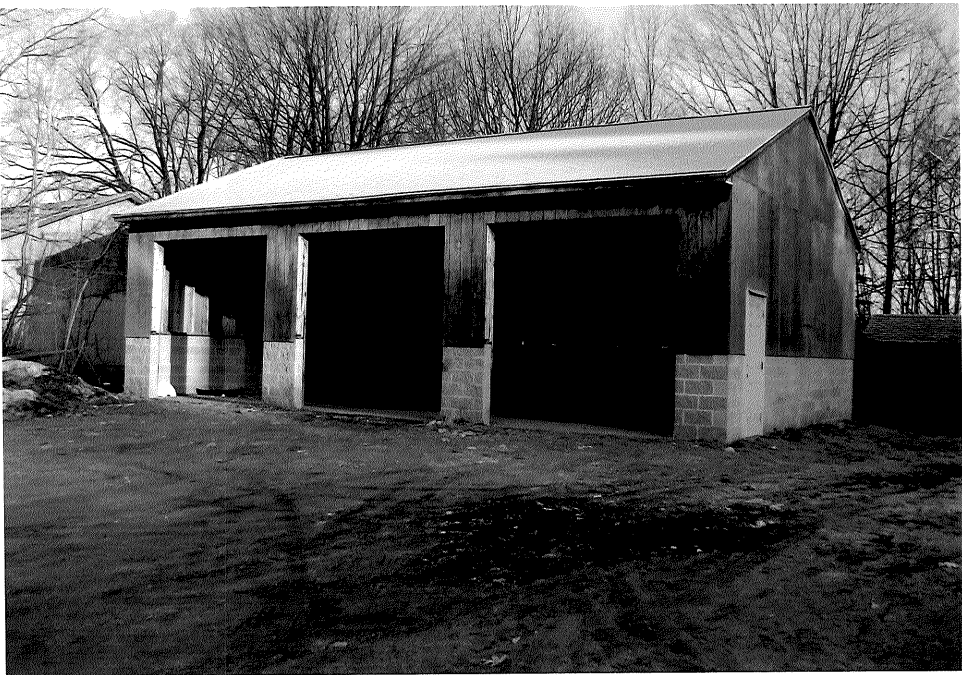


Joshua White
Project Manager

Hand delivered 3-24-09







CERTIFICATE OF ANALYSIS

Client: Environmental Management Inc.
51 River Rd. PO Box 391
Brungwick ME 04011

Report Date: 3/10/2009
Project: Berlin City
Project No.: 09-8613

BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 3545369	Description / Location: Tan Ceiling Tile		
Client No.: 006	13C Basement		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>
None Detected	None Detected	97	Cellulose
			3

Lab No.: 3545370	Description / Location: Lt. Tan Sheetrock		
Client No.: 007	13C Basement		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>
None Detected	None Detected	30	Cellulose
			70

Lab No.: 3545370	Description / Location: Lt. Green Paint		Layer No.: 2
Client No.: 007	13C Basement		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>
None Detected	None Detected	None Detected	None Detected
			100

Lab No.: 3545371	Description / Location: Lt. Green Floor Tile; 9x9		
Client No.: 009	4C		
<u>% Asbestos</u>	<u>Type</u>	<u>% Non-Asbestos Fibrous Material</u>	<u>Type</u>
PC 7.1	Chrysotile	None Detected	None Detected
			PC 92.9

NIST-NVLAP No. 101165-0

NY-DOH No. 11021

AIHA Lab No. 100188

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Analysis Method: EPA 600/R-93/116

Comments: (PC) Indicates Simplified Point Count Method performed. Method not performed unless stated. Quantification at <0.25% by volume is possible with this method. (PC-Trace) represents the limit of quantification. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed. Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, negative PLM results cannot be guaranteed. Electron Microscopy can be used as a confirming technique. Regulatory Limit is based upon the sample matrix.

Analysis Performed By: E. Smith

Date: 3/9/2009

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