

# The EGG & I

## Breakfast & Lunch

### 155 Riverside Street Portland, ME 04103

#### PROJECT TEAM

**ARCHITECT:**  
ICON ARCHITECTURE  
JAKE SCHOPP  
1511 WESTPORT RD.  
KANSAAS CITY, MO 64111  
P: 816-221-0250  
F: 816-221-0251

**MEP ENGINEER:**  
BOB CURRY ENGINEERS  
ERIK KNUDSEN  
5720 REEDER RD.  
SHAWNEE, KS 66203  
P: 913-262-1772  
F: 913-262-1773

**CONSTRUCTION MGR.:**  
M2 DEVELOPMENT SERVICES  
MIKE MICHAELS  
2508 WHITE SANDS DR.  
GREAT BEND, KS 67530  
P: 913-642-9300  
F: 866-403-2689

**OWNER:**  
HJ ASSOCIATES LTD  
155 RIVERSIDE ST  
PORTLAND, ME 04103

#### CODE INFORMATION

**LOCAL CODES:**  
2009 INTERNATIONAL BUILDING CODE  
2009 INTERNATIONAL MECHANICAL CODE  
2009 UNIFORM PLUMBING CODE  
2011 NATIONAL ELECTRIC CODE  
2009 INTERNATIONAL FUEL GAS CODE  
2009 INTERNATIONAL ENERGY CONSERVATION CODE

**OCCUPANCY GROUP:** A-2, ASSEMBLY

**TYPE OF CONSTRUCTION:** 2B, Sprinklered

**TENANT AREA:** 4934 sf

#### OCCUPANT LOAD:

DESCRIPTION:	AREA:	O.L. FACTOR	LOAD
DINING AREA FLOOR:	= 2544 sf	1/5gross	=170
RESTROOMS	= 288 sf	N.A.	= 0
KITCHEN AREA:	= 1758 sf	200/gross	= 9
<b>TOTAL OCCUPANT LOAD</b>			<b>=179</b>

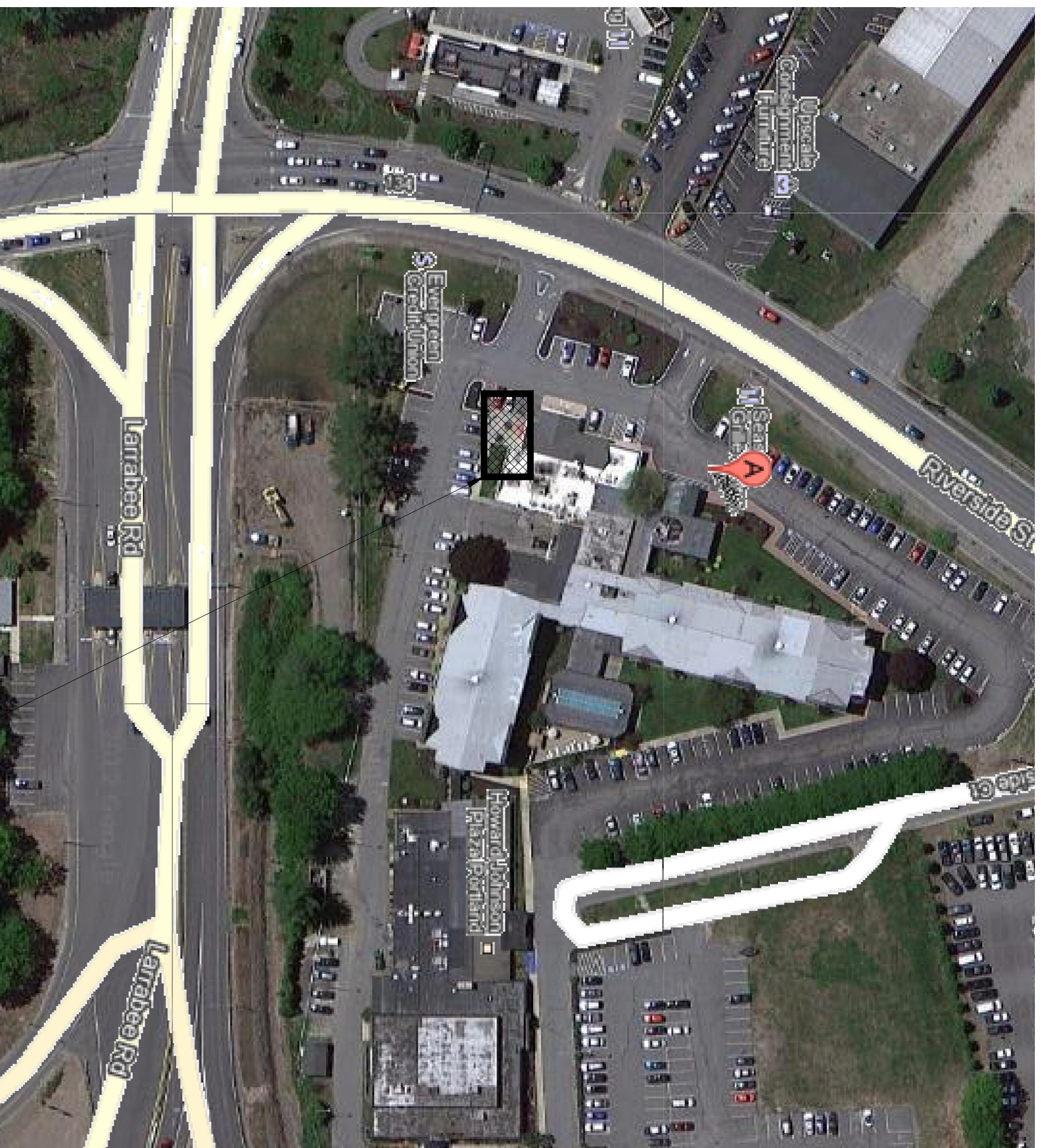
#### PLUMBING FIXTURES:

PUBLIC TOILET FACILITIES HAVE BEEN PROVIDED WITHIN THIS TENANT SPACE AS DERIVED BY THE ABOVE OCCUPANCY OF 179.

DESCRIPTION:	MEN	WOMEN
WATER CLOSETS	2/1	2/2
LAVATORIES	1/1	1/2
URINALS	1/1	0/0

1 SERVICE SINK IS REQUIRED AND HAS BEEN PROVIDED

#### KEY PLAN not to scale



#### LIST OF DRAWINGS

DWG. NO.	DRAWING DESCRIPTION	ADD. / DATE
T1	TITLE SHEET	11/2/12
D1.0	DEMOLITION PLAN	11/2/12
A1.0	PROJECT INFORMATION	11/2/12
A1.1	DIMENSIONED FLOOR PLAN	11/2/12
A1.2	FURNITURE & EQUIPMENT PLAN	11/2/12
A6.1	INTERIOR ELEVATIONS	11/2/12
A6.2	INTERIOR ELEVATIONS	11/2/12
A6.3	INTERIOR ELEVATIONS	11/2/12
A7.1	REFLECTED CEILING PLAN	11/2/12
A8.1	INTERIOR DETAILS	11/2/12
A9.1	SCHEDULES & FLOOR FINISHES	11/2/12
A9.2	DOOR & HARDWARE SCHEDULE	11/2/12
ME1	MECHANICAL SPECIFICATIONS	11/2/12
ME2	MECHANICAL SPECIFICATIONS	11/2/12
M1	MECHANICAL FLOOR PLAN	11/2/12
M2	MECHANICAL SCHEDULES & DETAILS	11/2/12
M3	MECHANICAL HOODS	11/2/12
M4	MECHANICAL HOODS	11/2/12
E1	LIGHTING FLOOR PLAN	11/2/12
E2	ELECTRICAL FLOOR PLAN	11/2/12
E3	ELECTRICAL DETAILS	11/2/12
E4	ELECTRICAL DETAILS	11/2/12
P1	PLUMBING FLOOR PLAN	11/2/12
P2	WATER & GAS PIPING FLOOR PLAN	11/2/12
P3	PLUMBING RISERS & DETAILS	11/2/12

#### PROJECT NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ANY PERMITS, TAP OR UTILITY FEES RELATED TO THEIR FIELD OF WORK. THESE FEES ARE TO BE IDENTIFIED IN ALL SUBCONTRACTOR PROPOSALS.
- PROVIDE FIRE STOPPING AT ALL PENETRATIONS IN RATED WALLS.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE FIRE TREATED PLYWOOD BLOCKING IN WALLS WHERE REQUIRED TO SUPPORT OR HANG ALL DEVICES, TOILET ACCESSORIES, ETC. REFER TO ELEVATIONS FOR ACTUAL LOCATIONS.
- LEAD TIMES ON ALL MATERIALS TO BE IDENTIFIED BY CONTRACTOR AND ALL PROBLEMS IDENTIFIED PRIOR TO COMMENCEMENT.
- CONTRACTOR TO PROVIDE SUBMITTALS AND/OR SHOP DRAWINGS FOR THE FOLLOWING:
  - ALL FINISHES
  - ALL CASEWORK/RUNNELL WORK INCLUDING HARDWARE AND FINISH SAMPLES
  - ALL PLUMBING ELECTRICAL AND MECHANICAL EQUIPMENT AND ARE TO BE PER PLANS & SPECIFICATIONS, (NO SUBSTITUTIONS,
  - ALL CASWORK/RUNNELL WORK INCLUDING HARDWARE AND FINISH SAMPLES
- ALL MATERIALS USED IN CONCEALED SPACES ARE TO BE NON-COMBUSTIBLE. ALL WOOD USED IN FRAMING OR SHEATHING TO BE FIRE TREATED.
- (3) 15B AIC AND (2) TYPE "K" FIRE EXTINGUISHERS ARE TO BE PROVIDED AND LOCATED AS DESIGNATED BY THE FIRE INSPECTOR PER LOCAL REQUIREMENTS.

#### SYMBOL LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN		KEY NOTE TAG		REVISION SYMBOL		PROVIDE PRICING AS AN ALTERNATE
	EXISTING WALL CONSTRUCTION TO BE DEMO'D		FINISH TAG		ELEVATION HEIGHT		NORTH ARROW
	NEW WALL CONSTRUCTION		CENTERLINE OF ...		ELEVATION DRAWING LOCATION		EQUIPMENT TAG
	EXISTING DOOR TO REMAIN		SECTION DRAWING LOCATION		ENLARGED DETAIL CALL-OUT		
	NEW DOOR AND FRAME		ROOM NAME AND NUMBER				
	EXISTING DOOR TO BE DEMO'D		DOOR NUMBER				
	ROOM NAME AND NUMBER		WINDOW TYPE				

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**icon:**  
ARCHITECTURE

1511 Westport Road  
Kansas City, MO 64111  
p:816.221.0250 f:816.221.0251

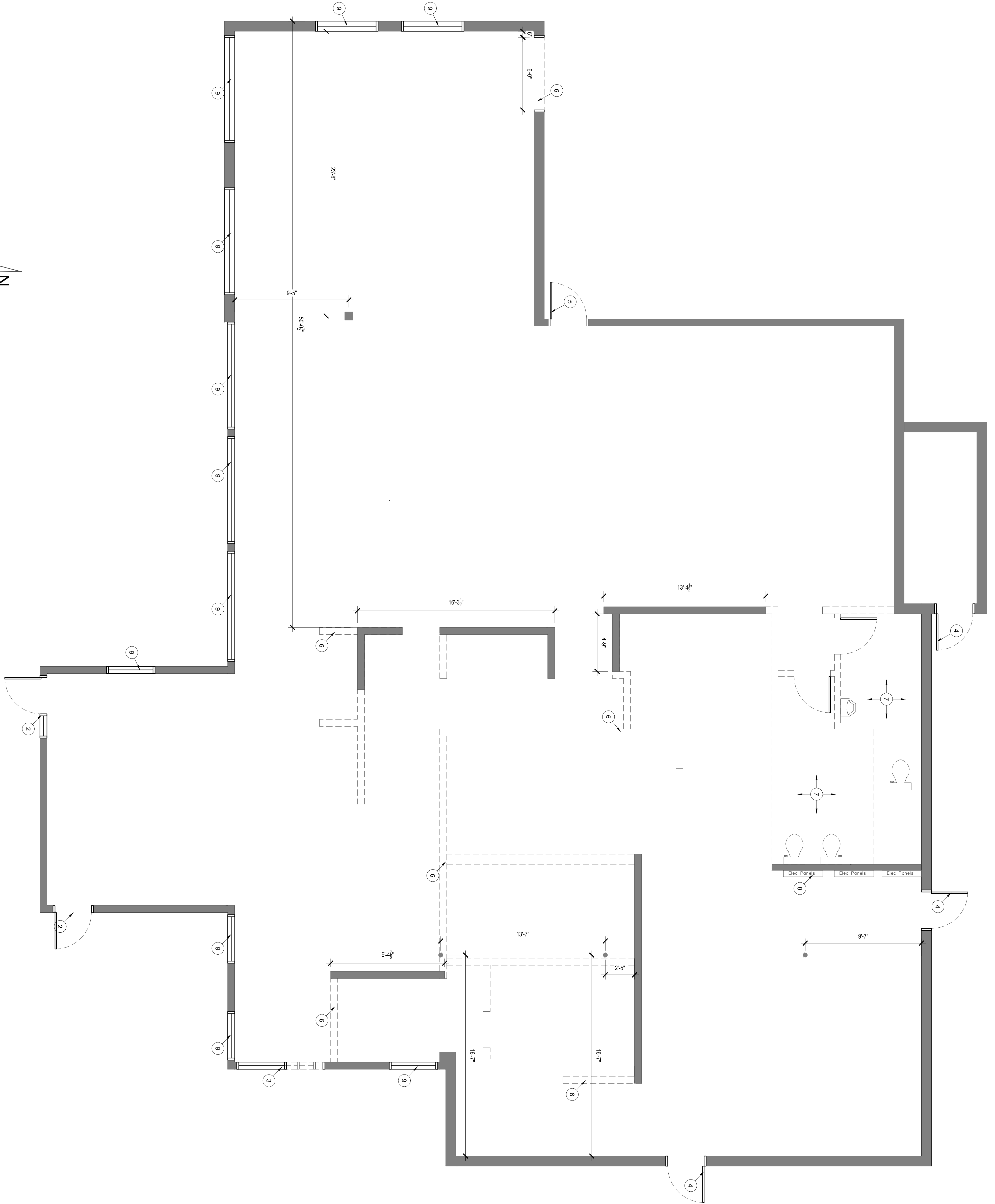
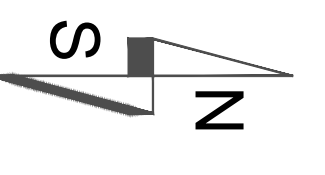
REVISIONS

ISSUE DATE	11/2/12
PROJECT NUMBER	2012-42
SHEET NUMBER	T1

**COVER SHEET**

# 1 DEMOLITION PLAN

1/4"=1'-0"



- DEMOLITION PLAN NOTES:**
1. EXISTING STOREFRONT DOOR - PERMANENTLY CLOSED. REMOVE HARDWARE.
  2. EXISTING STOREFRONT & GLAZING TO REMAIN.
  3. DEMO EXISTING DRIVE-THRU WINDOWS.
  4. EXISTING DOOR TO REMAIN.
  5. DEMO EXISTING DOOR.
  6. DEMO EXISTING INTERIOR WALLS AS SHOWN.
  7. DEMO EXISTING RESTROOM WALLS, DOORS, AND PLUMBING FIXTURES.
  8. EXISTING ELECTRICAL PANELS TO REMAIN.
  9. EXISTING WINDOWS TO REMAIN.
- EXISTING WALLS TO REMAIN ARE HATCHED SOLID.

**GENERAL NOTES:**

1. EXISTING WINDOWS ARE SHOWN FOR GRAPHIC PURPOSE ONLY. G.C. TO FIELD VERIFY SIZE AND LOCATION OF EXISTING WINDOWS. G.C. TO PROVIDE FIELD INFORMATION TO CONSTRUCTION MANAGER PRIOR TO INSTALLATION OF NEW DOORS.
2. EXISTING WALLS TO REMAIN ARE SHADED.
3. G.C. TO FIELD VERIFY LOCATIONS OF EXISTING COLUMNS AND WALLS AND COORDINATE WITH NEW CONSTRUCTION. IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND DRAWINGS, PROVIDE INFORMATION TO CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION.

REVISIONS	

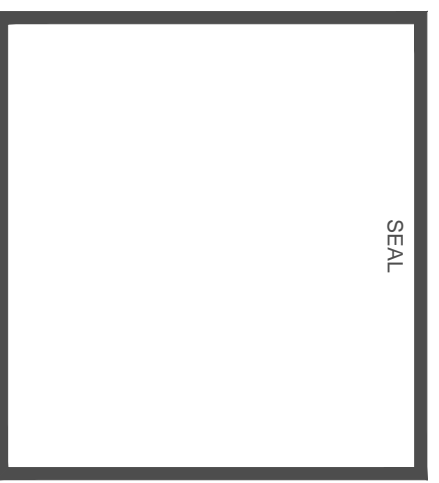
ISSUE DATE	11/2/12
PROJECT NUMBER	2012-42
SHEET NUMBER	D1.0

**DEMOLITION PLAN**

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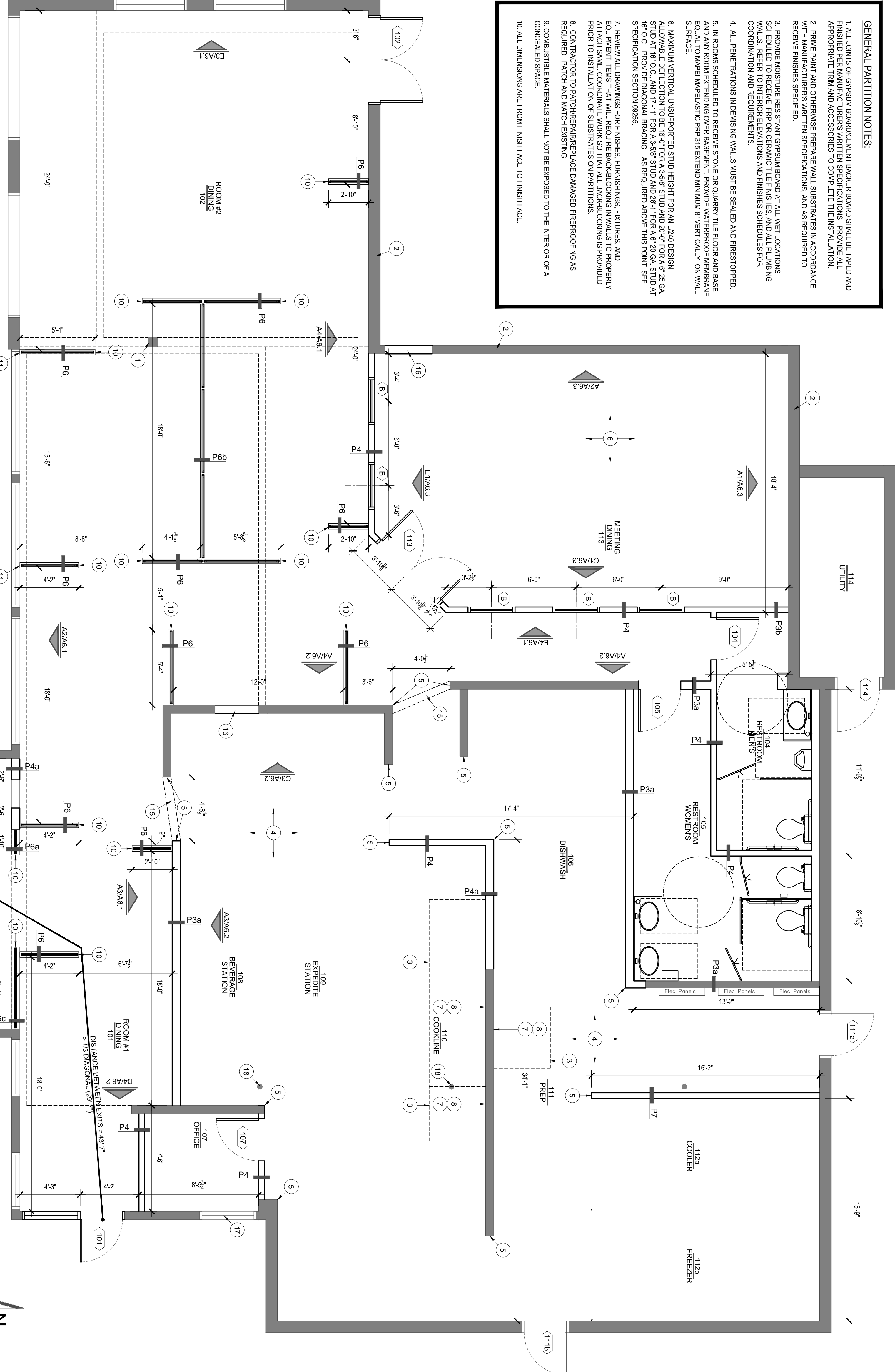
155 Riverside Street  
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**GENERAL PARTITION NOTES:**

1. ALL JOINTS OF GYPSUM BOARD/MENT BACKER BOARD SHALL BE TAPED AND FINISHED WITH FINISH PAINT.
2. PRIME PAINT AND OTHERWISE PREPARE WALL SUBSTRATES IN ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS, AND AS REQUIRED TO RECEIVE FINISHES SPECIFIED.
3. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD AT ALL VERTICAL LOCATIONS SCHEDULED TO RECEIVE FIRE OR CERAMIC TILE FINISHES, AND ALL PLUMBING WALLS. REFER TO INTERIOR ELEVATIONS AND FINISHES SCHEDULES FOR COORDINATION AND REQUIREMENTS.
4. ALL PENETRATIONS IN DEMISING WALLS MUST BE SEALED AND FIRESTOPPED.
5. IN ROOMS SCHEDULED TO RECEIVE STONE OR QUARRY TILE FLOOR AND BASE AND ANY ROOM EXTENDING OVER BASEMENT, PROVIDE WATERPROOF MEMBRANE EQUAL TO MAPEI MAPELASTIC PFP 315 EXTEND MINIMUM 8" VERTICALLY ON WALL SURFACE.
6. MAXIMUM VERTICAL UNSUPPORTED STUD HEIGHT FOR AN I/20 DESIGN ALLOWABLE DEFLECTION TO BE 1/6" FOR A 3/8" STUD AND 20" FOR A 6" 25 GA STUD AT 16' O.C. AND 17" FOR A 3/8" STUD AND 26" FOR A 20 GA STUD AT 16' O.C. PROVIDE DIAGONAL BRACING AS REQUIRED ABOVE THIS POINT. SEE SPECIFICATION SECTION 09255.
7. REVIEW ALL DRAWINGS FOR RISERS, FINISHINGS, FIXTURES, AND EQUIPMENT ITEMS THAT WILL REQUIRE BACKLOGGING IN WALLS TO PROPERLY ATTACH SAME. COORDINATE WORK SO THAT ALL BACKLOGGING IS PROVIDED PRIOR TO INSTALLATION OF SUBSTRATES ON PARTITIONS.
8. CONTRACTOR TO PATCH/REPLACE DAMAGED FIREPROOFING AS REQUIRED. PATCH AND MATCH EXISTING.
9. COMBUSTIBLE MATERIALS SHALL NOT BE EXPOSED TO THE INTERIOR OF A CONCEALED SPACE.
10. ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE.

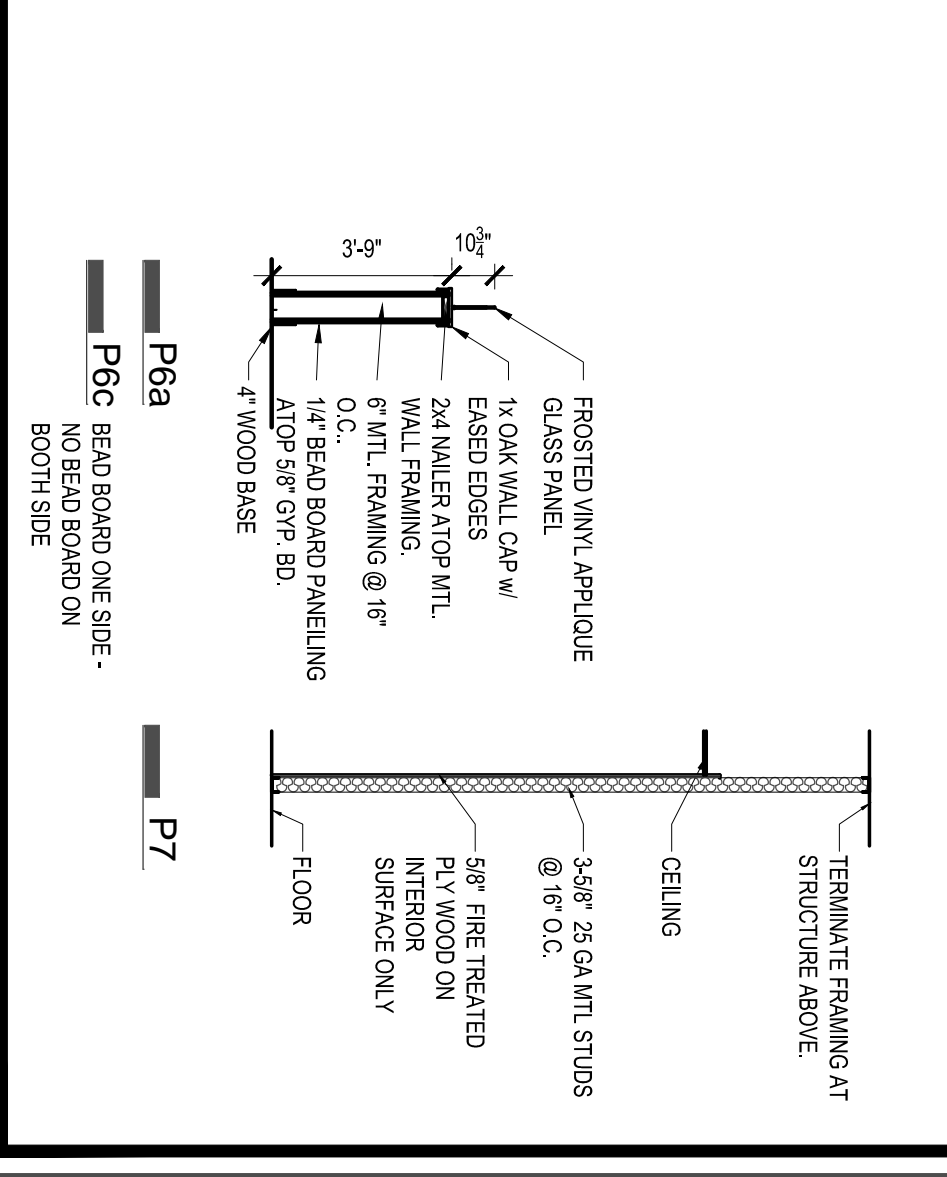
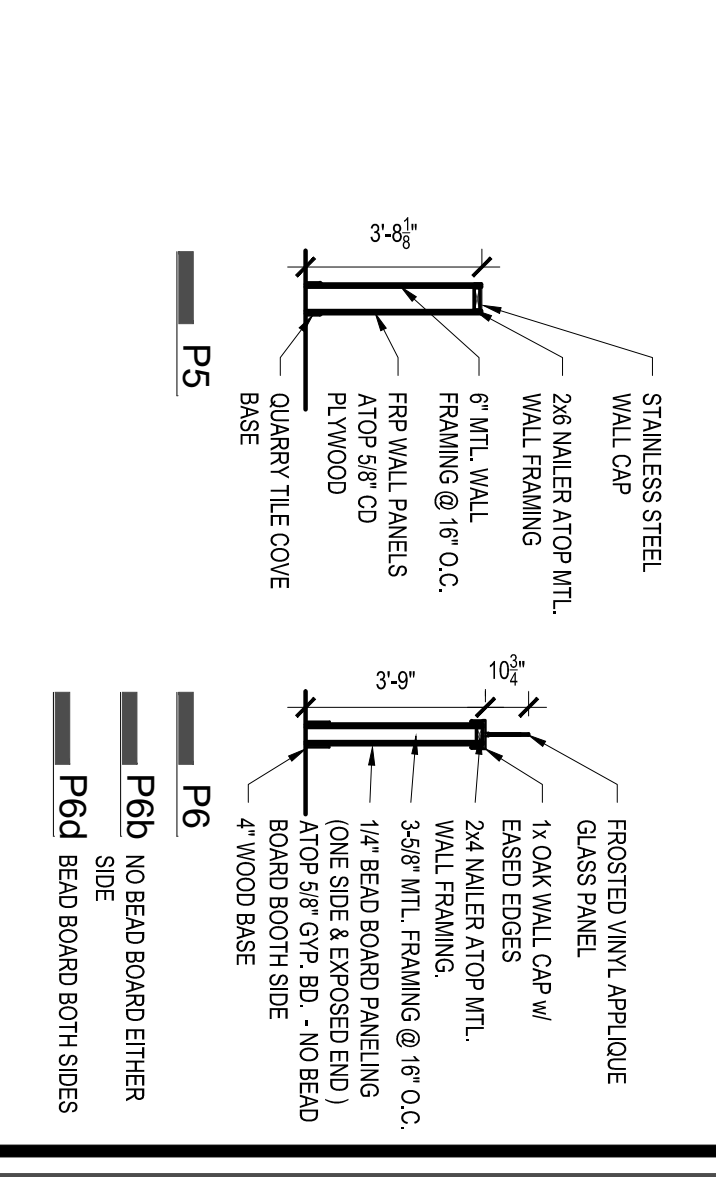
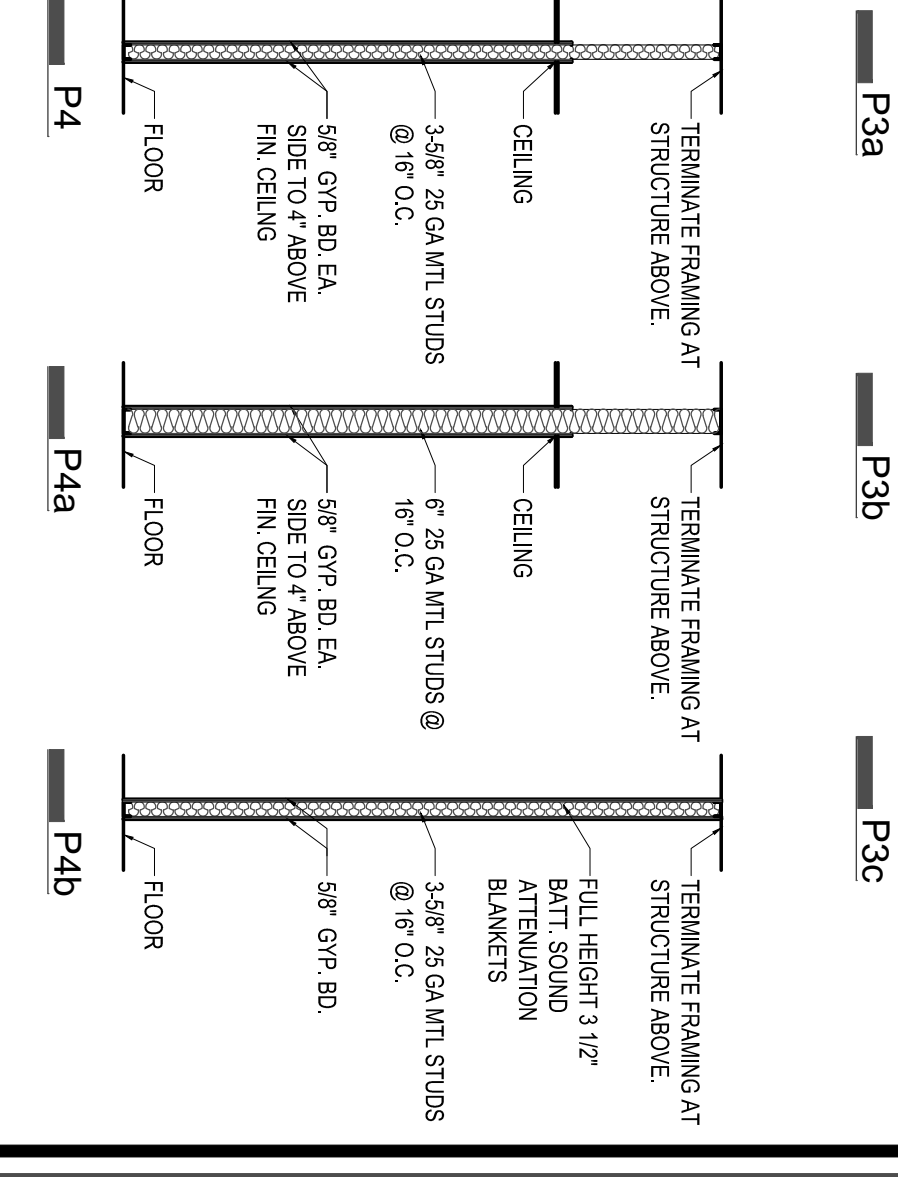
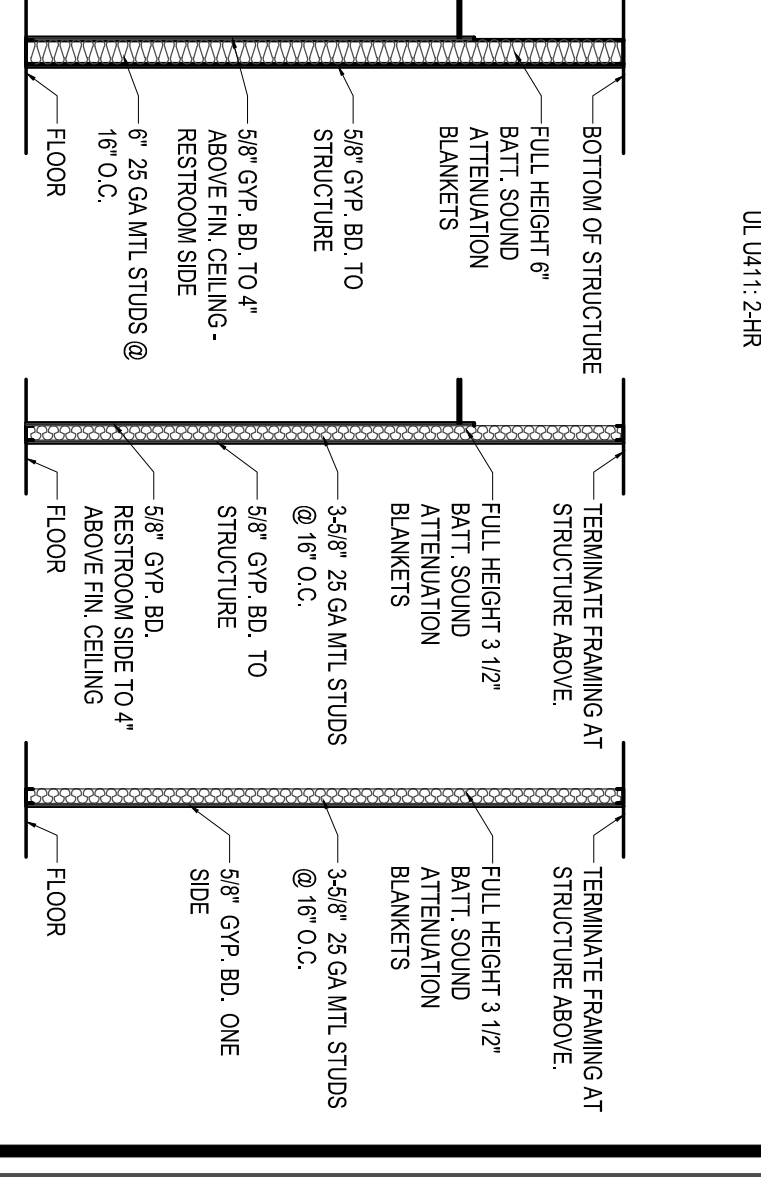
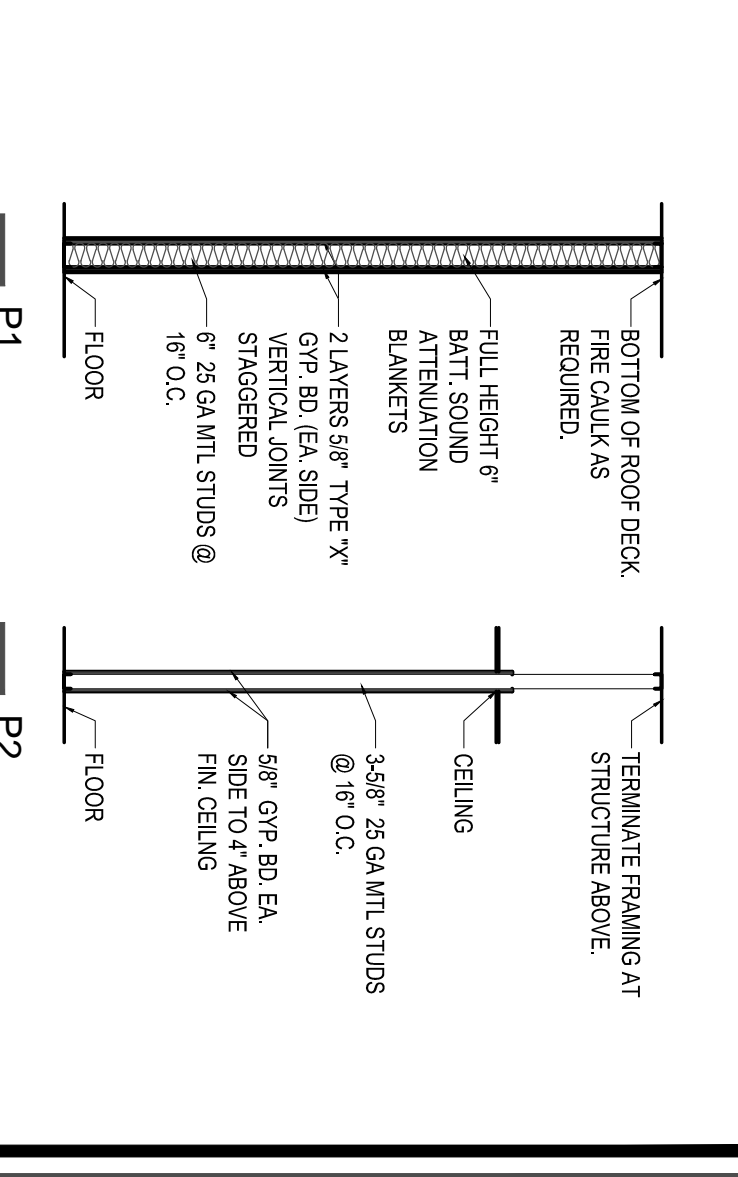


**1 DIMENSIONED FLOOR PLAN**  
1/4"=1'-0"

- PLAN NOTES:**
1. EXISTING COLUMN TO BE FURRED OUT AS SHOWN.
  2. EXISTING 6" 2-HOUR RATED DEMISING WALL PROVIDED BY LANDLORD. ALL PENETRATIONS TO BE REQUALIFIED TO MAINTAIN THE 2 HOUR RATING.
  3. OUTLINE OF HOOD ABOVE.
  4. PROVIDE 1/2" FIRE TREATED CD PLYWOOD IN LIEU OF GYPSUM BOARD SHEATHING THROUGHOUT KITCHEN AND OFFICE TO PROVIDE BOTTOM OF WALL.
  5. PROVIDE 2"x2"x4" STAINLESS STEEL CORNER GUARDS OR END CAP AT ALL OUTSIDE CORNERS IN KITCHEN. MOUNT ABOVE TILE BASE.
  6. PROVIDE CHAIR RAIL ALONG WALL SURFACE INDICATED. RE: 19A8.1.
  7. STAINLESS STEEL WALL PANELS TO EXTEND FROM BOT. OF HOOD TO TOP OF FLOOR BASE AND 18" PAST EDGE OF HOOD EACH SIDE TO TOP OF CEILING. PROVIDE DURROCK WALL SHEATHING IN LIEU OF PLYWOOD BEHIND WALL PANELS.
  8. A HIGH 18ga STEEL WALL PANEL BLOCKING INSTALLED @ 62" AFF ALONG ENTIRE LENGTH OF HOOD.
  9. FIRE EXTINGUISHER. RE: COVER SHEET NOTES.
  10. PROVIDE (2) MIDWALL 3/8"x3/4" PARTIAL WALL BASE CONNECTOR AT LAST TWO STUDS INSIDE WALL CAVITY. (17" AT ALL LOW WALLS).
  11. PROVIDE BREAK METAL END CAP THE ENTIRE HEIGHT OF WALL TO MATCH THE EXISTING STOREFRONT SYSTEM.
  12. PROVIDE INFILL STOREFRONT TO REPLACE EXISTING BRINE/THRU WINDOWS STOREFRONT.
  13. VERIFY LOCATION OF OPENING WITH COOLER MFG.
  14. FURR ALL EXTERIOR WALLS TO ROOF STRUCTURE W/ 3/8" METAL STUDS. FULL HEIGHT 4" BATT INSULATION. SHEATH W/ 5/8" BOARD UNLESS OTHERWISE NOTED.
  15. OUTLINE OF SOFFIT ABOVE.
  16. PROVIDE WALL INFILL TO MATCH EXISTING.
  17. OWNER TO PROVIDE WINDOW TREATMENT FOR OFFICE WINDOW.
  18. EXISTING COLUMN TO BE PAINTED WITH CLEANABLE, BACTERIA RESISTANT PAINT.

**GENERAL NOTES:**

1. EXISTING WINDOWS ARE SHOWN FOR GRAPHIC PURPOSE ONLY. G.C. TO FIELD VERIFY SIZE AND LOCATION OF EXISTING WINDOWS. G.C. TO PROVIDE FIELD INFORMATION TO CONSTRUCTION MANAGER PRIOR TO INS. FALLDOWN OF NEW DOORS.
2. EXISTING WALLS TO REMAIN ARE SHADED.
3. G.C. TO FIELD VERIFY LOCATIONS OF EXISTING COLUMNS AND WALLS AND COORDINATE WITH NEW CONSTRUCTION. IF DISCREPANCIES EXIST BETWEEN EXISTING AND NEW CONSTRUCTION, FIELD INFORMATION TO CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION.



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ARCHITECTURE

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Howard Johnson Plaza Hotel

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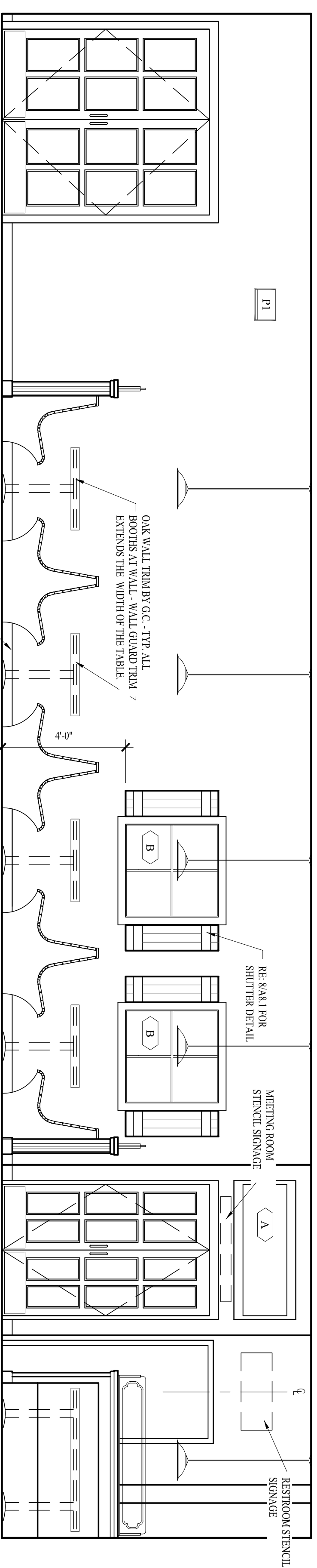

ISSUE DATE: 11/2/12

PROJECT NUMBER: 2012-42

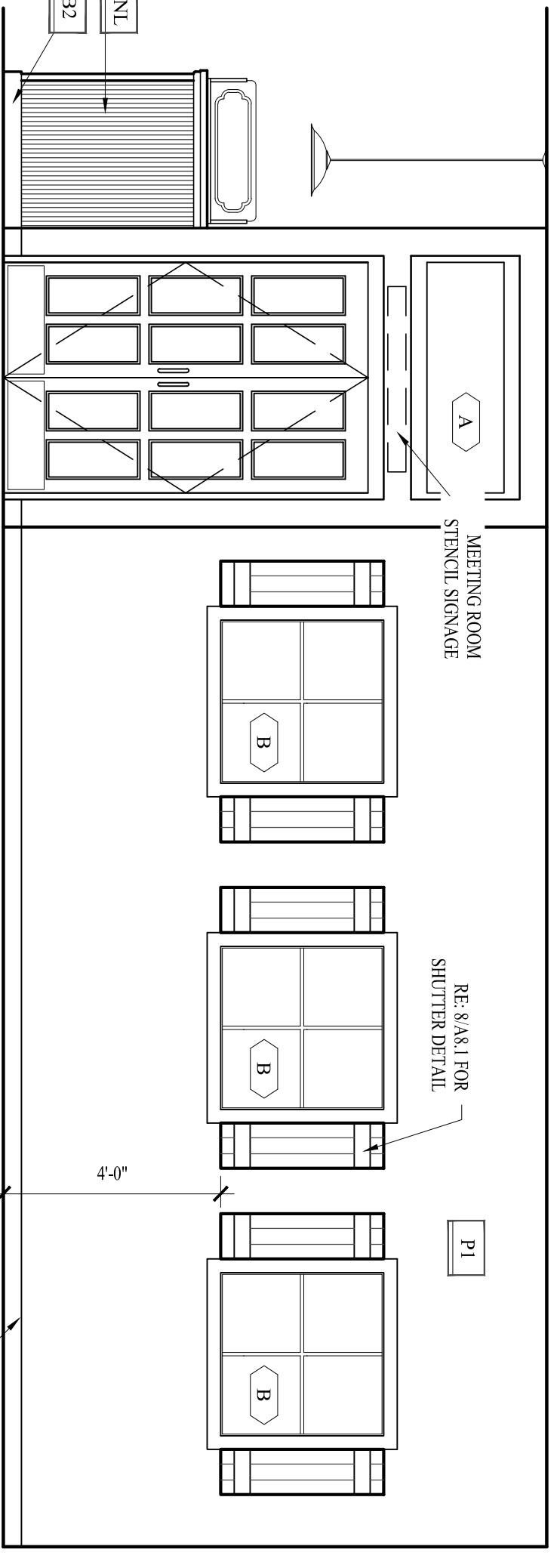
SHEET NUMBER: A1.1

**DIMENSIONED PLAN**

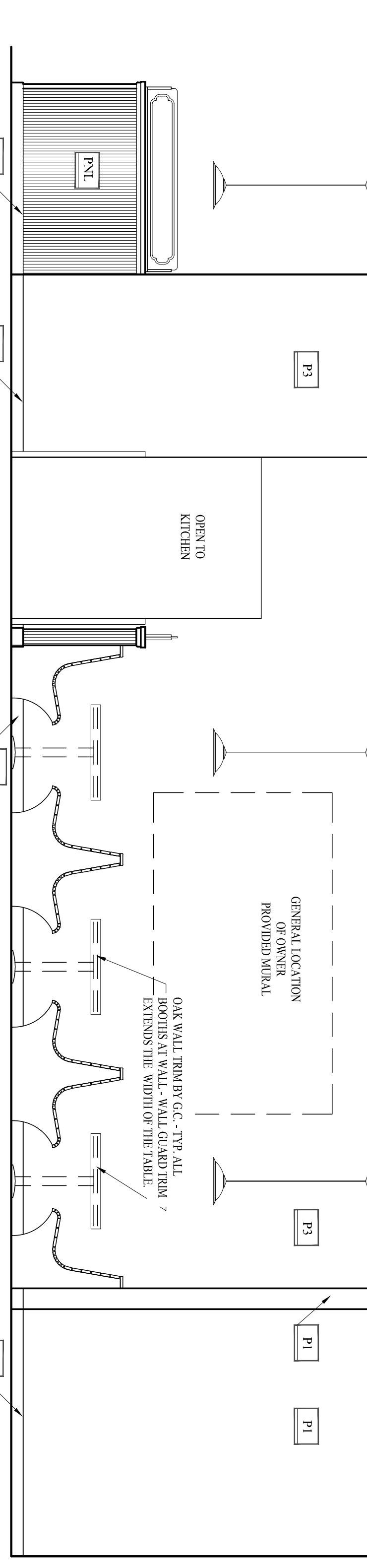




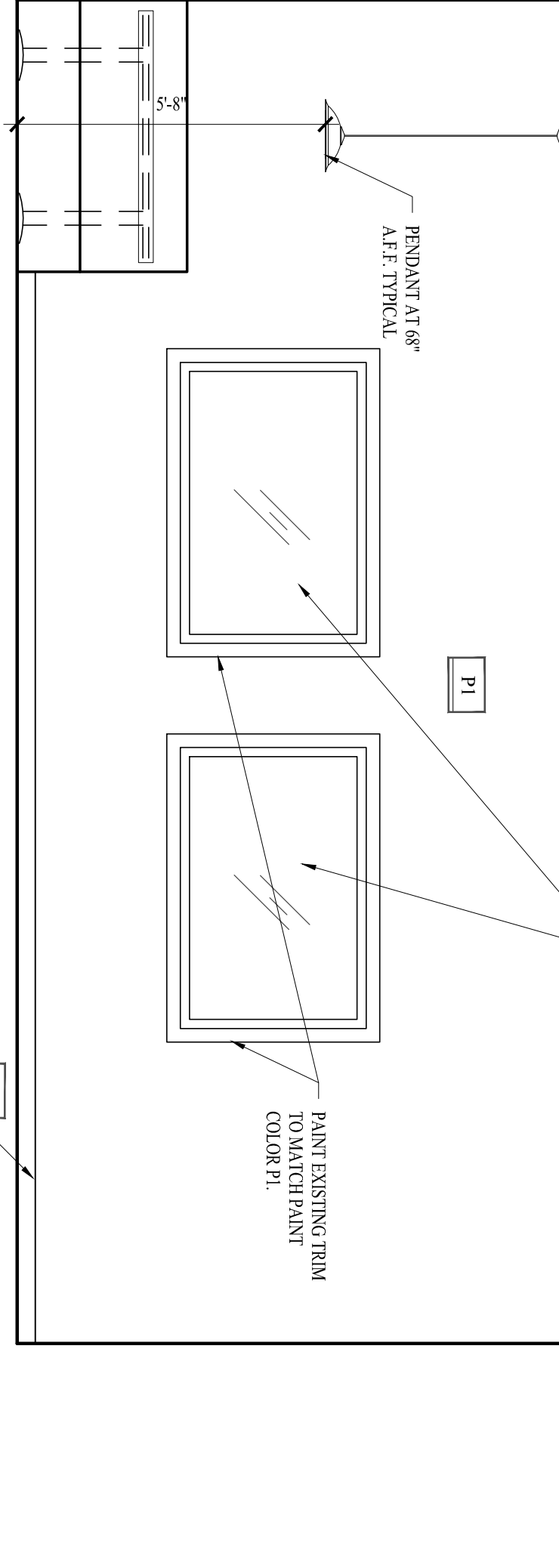
**A4 NORTH DINING ELEV.**  
3/8"=1'-0"



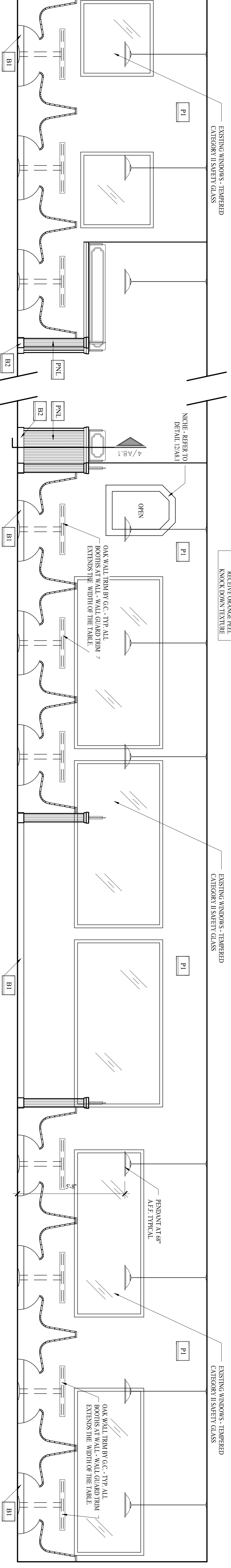
**E4 WEST DINING ELEV.**  
3/8"=1'-0"



**A3 NORTH DINING ELEV.**  
3/8"=1'-0"



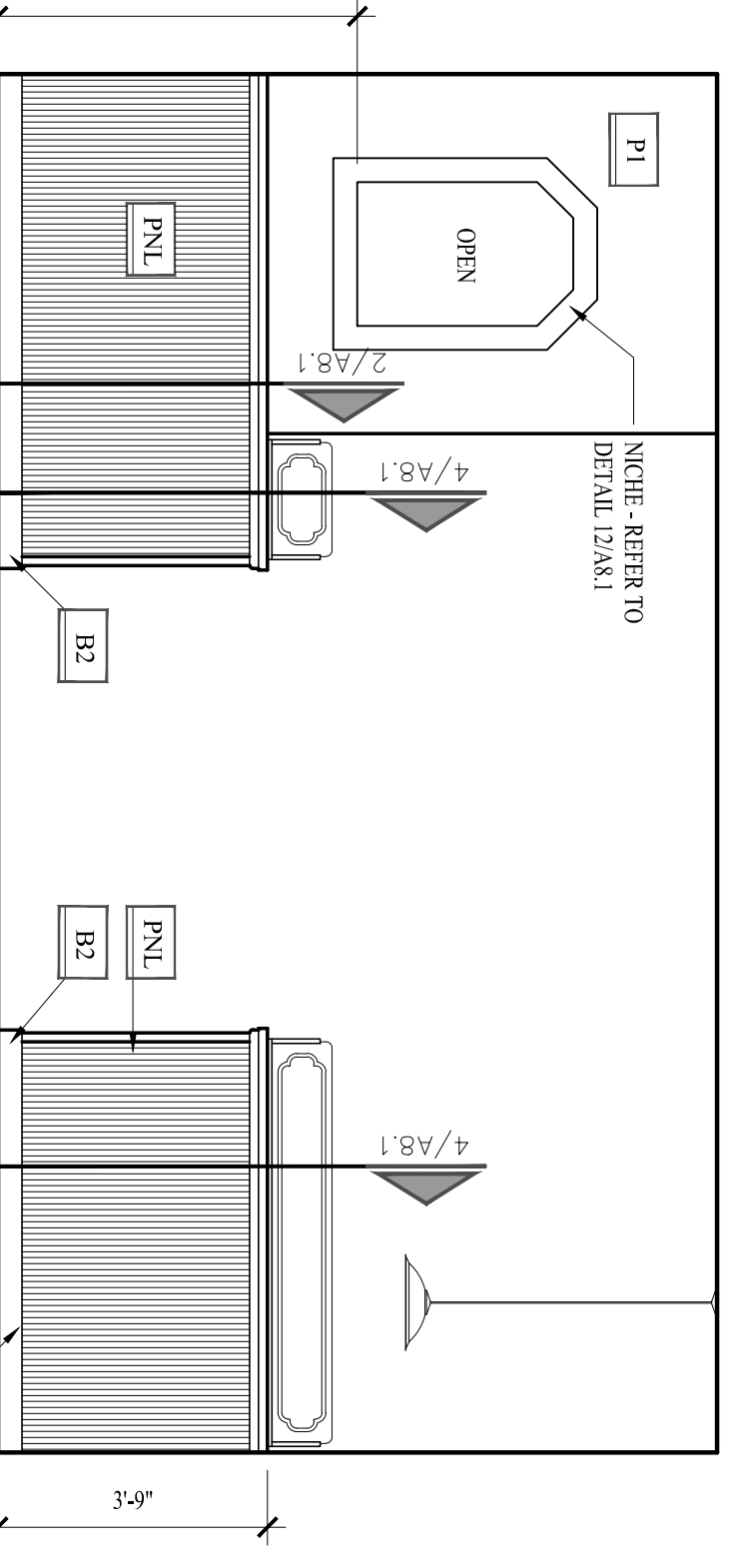
**E3 WEST DINING ELEV.**  
3/8"=1'-0"



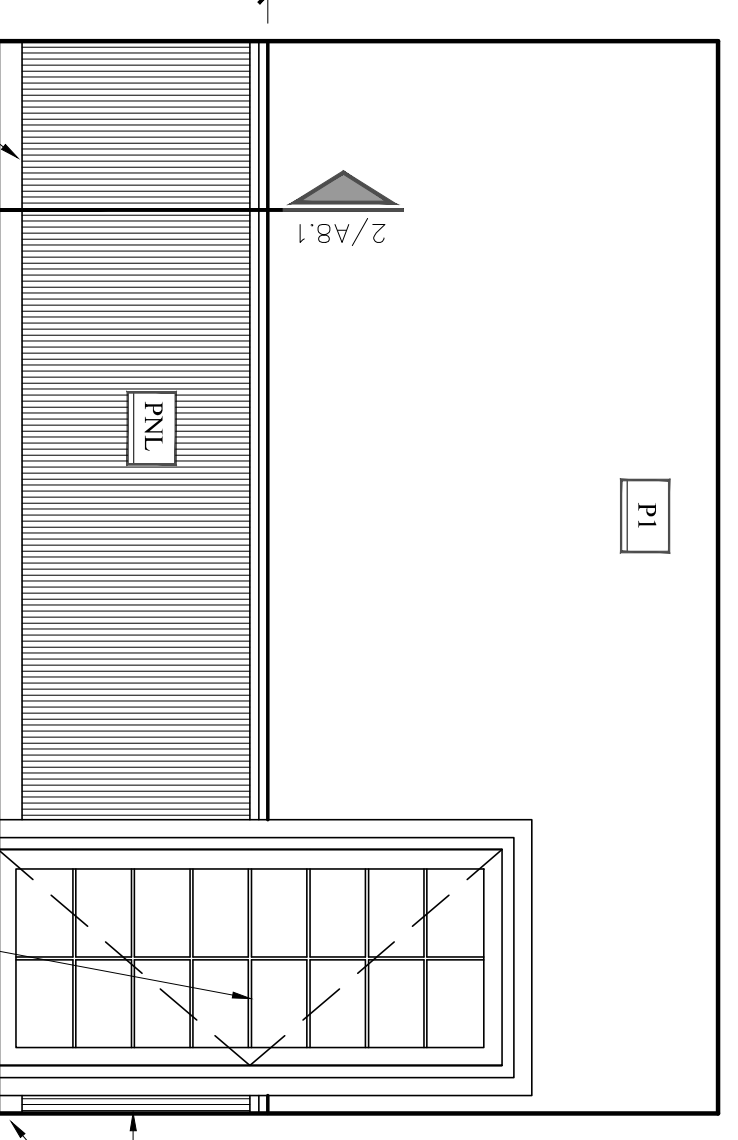
**A2 SOUTH DINING ELEV.**  
3/8"=1'-0"



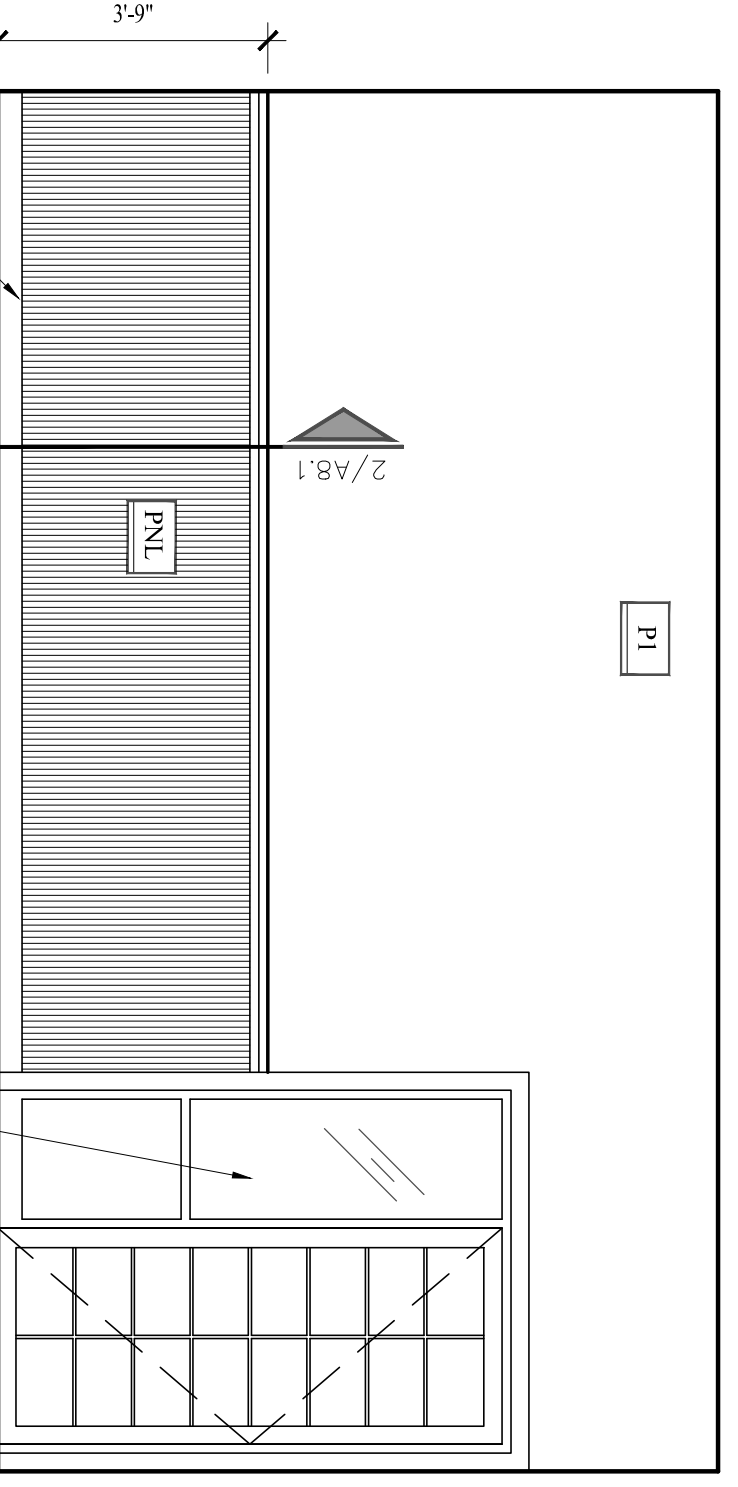
**E1 WEST DINING ELEV.**  
3/8"=1'-0"



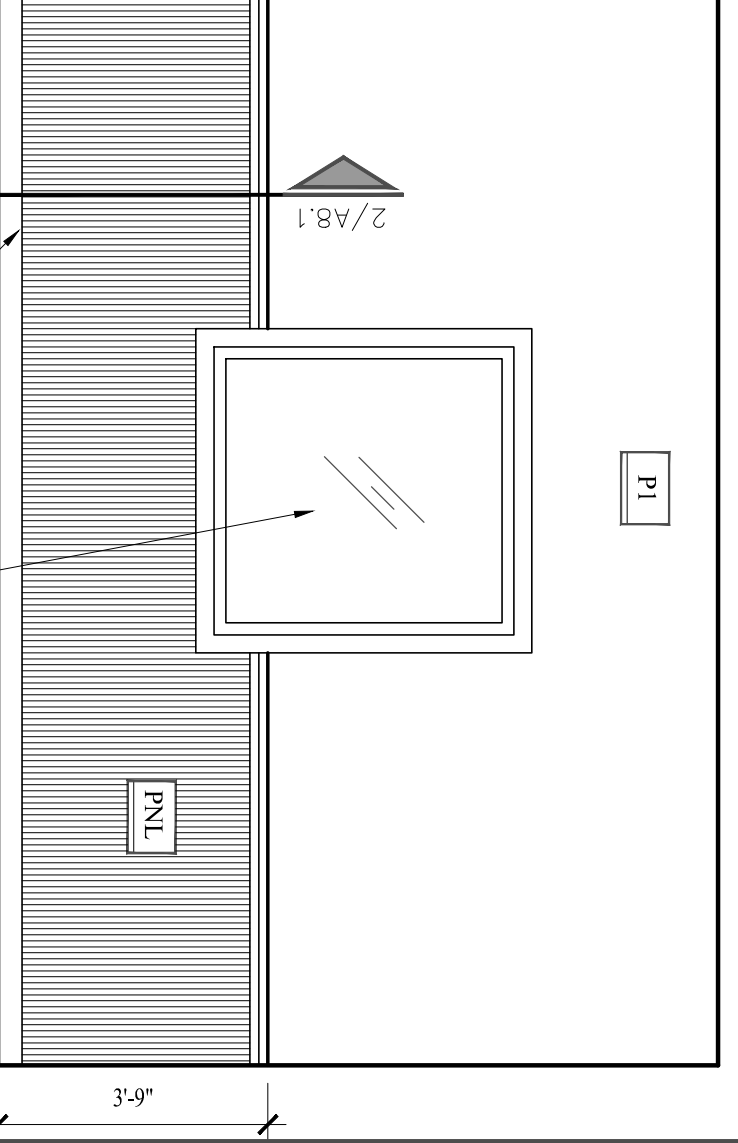
**A1 NORTH DINING ELEV.**  
3/8"=1'-0"



**B1 EAST DINING ELEV.**  
3/8"=1'-0"



**D1 SOUTH DINING ELEV.**  
3/8"=1'-0"



**E1 WEST DINING ELEV.**  
3/8"=1'-0"

ALL DR/WALL SURFACES TO RECEIVE ORANGE PEEL KNOCK DOWN TEXTURE

ALL DR/WALL SURFACES TO RECEIVE ORANGE PEEL KNOCK DOWN TEXTURE

ALL DR/WALL SURFACES TO RECEIVE ORANGE PEEL KNOCK DOWN TEXTURE

REVISIONS

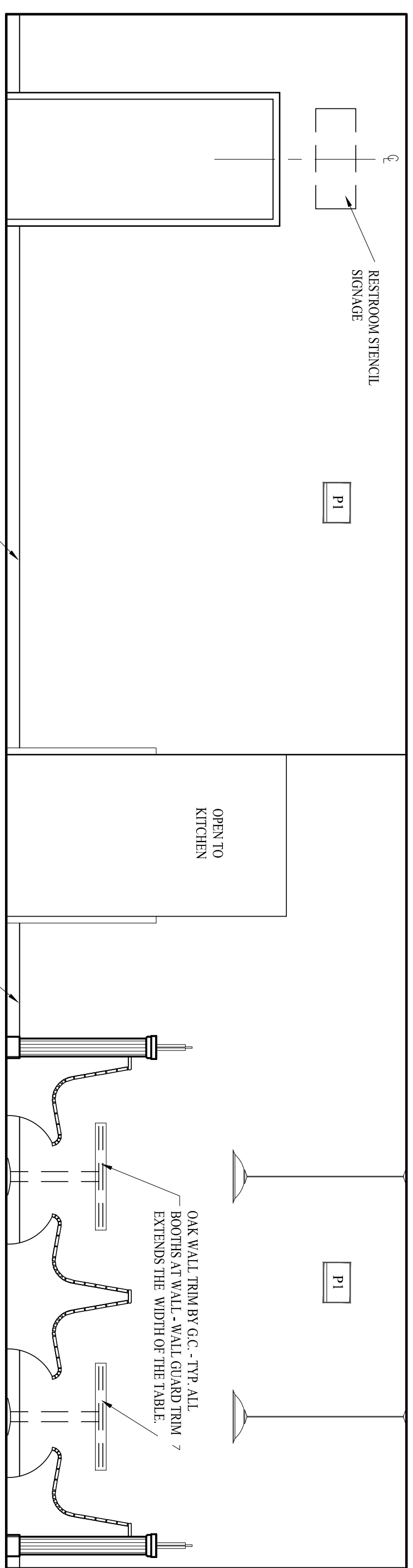
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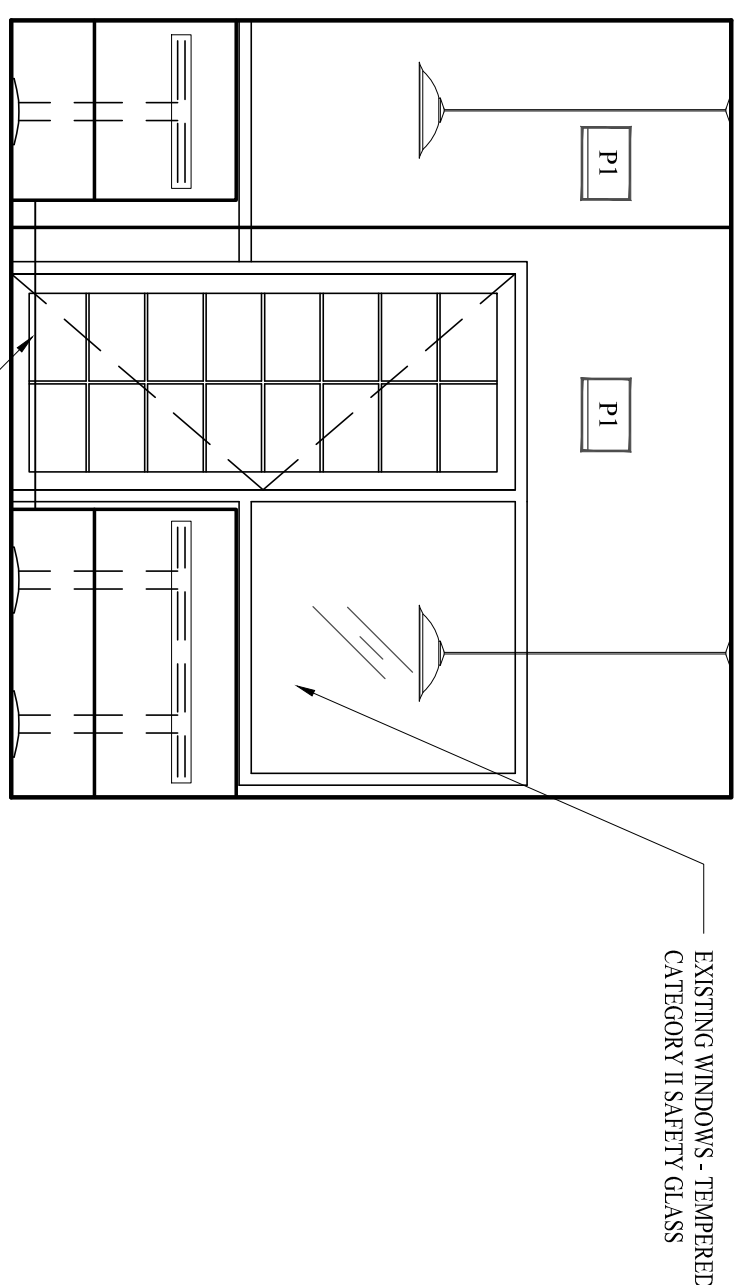
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ISSUE DATE	11/2/12
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INTERIOR ELEVATIONS	



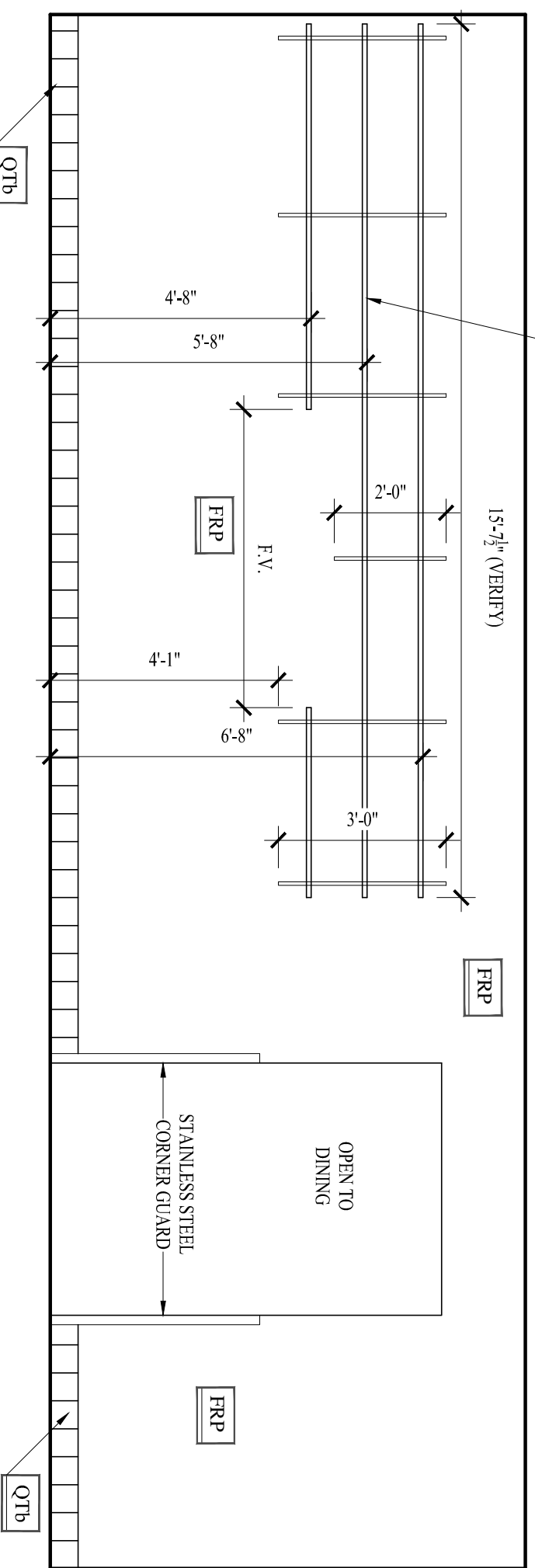
**A4 EAST DINING ELEV.**  
3/8"=1'-0"

**D4 EAST DINING ELEV.**  
3/8"=1'-0"

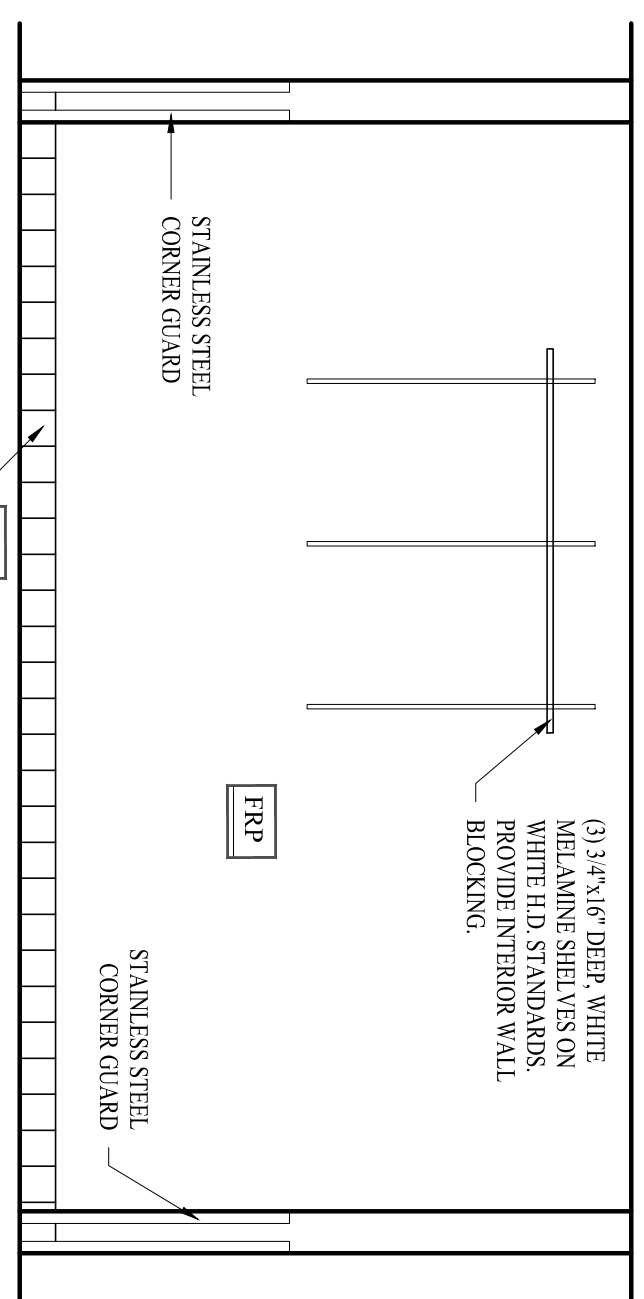


(1) 3/4" DEEP, WHITE PLAIN SHELVES ON WHITE HD STANDARDS. PROVIDE INTERIOR WALL BLOCKING.

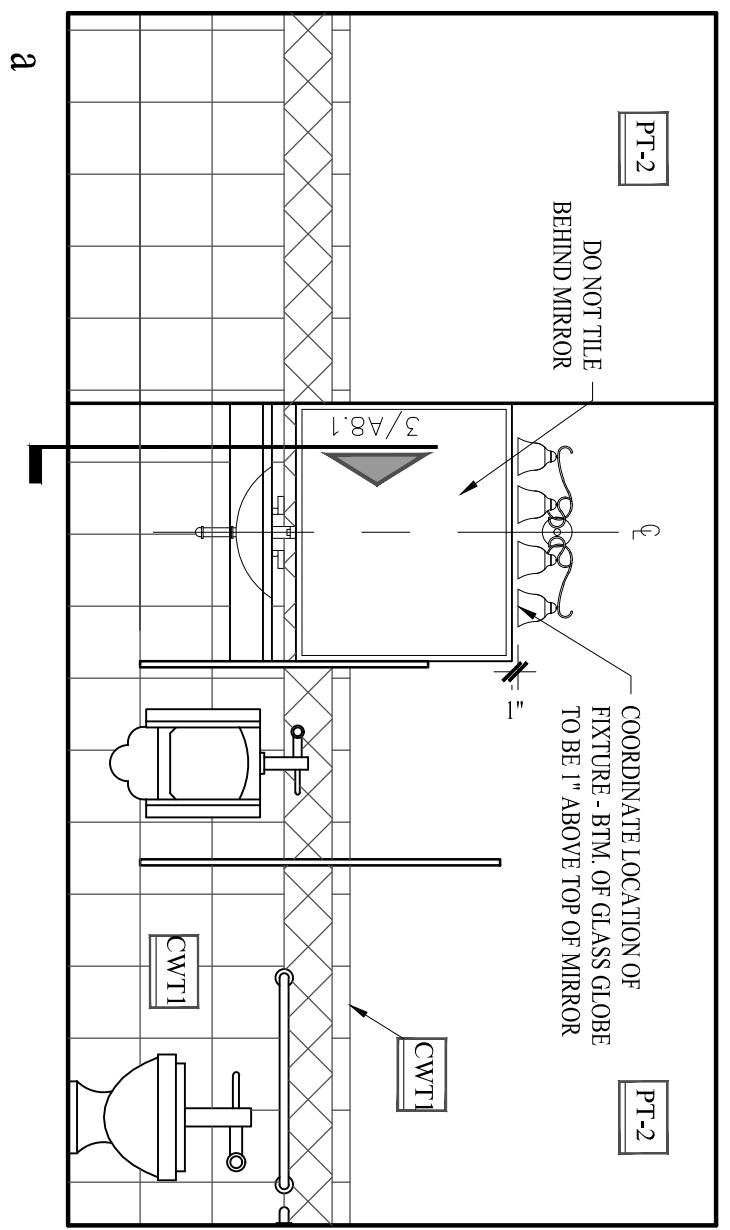
ALL TRIM WALL SURFACES TO RECEIVE ORANGE BEEL KNOCK-DOWN TEXTURE



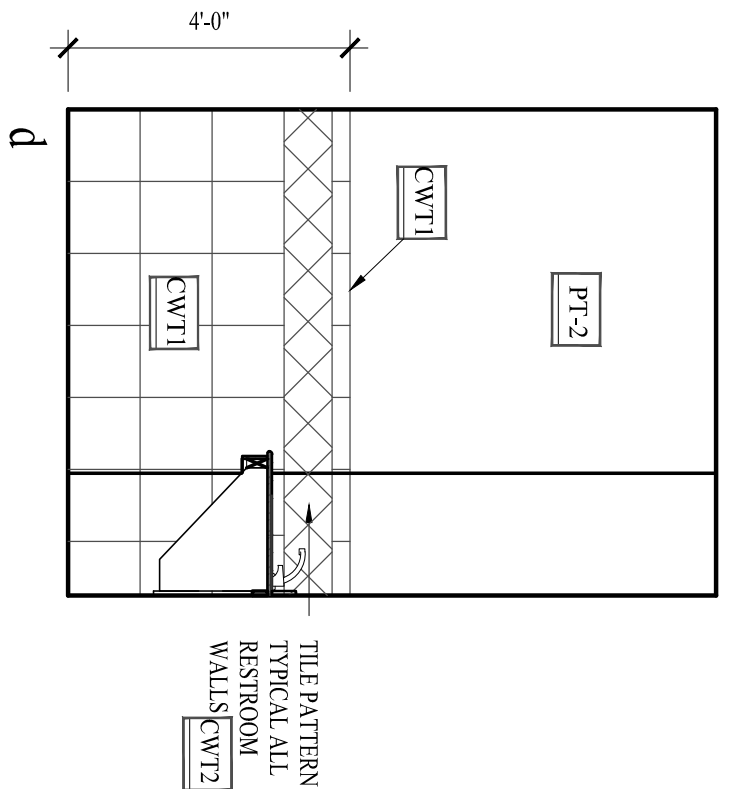
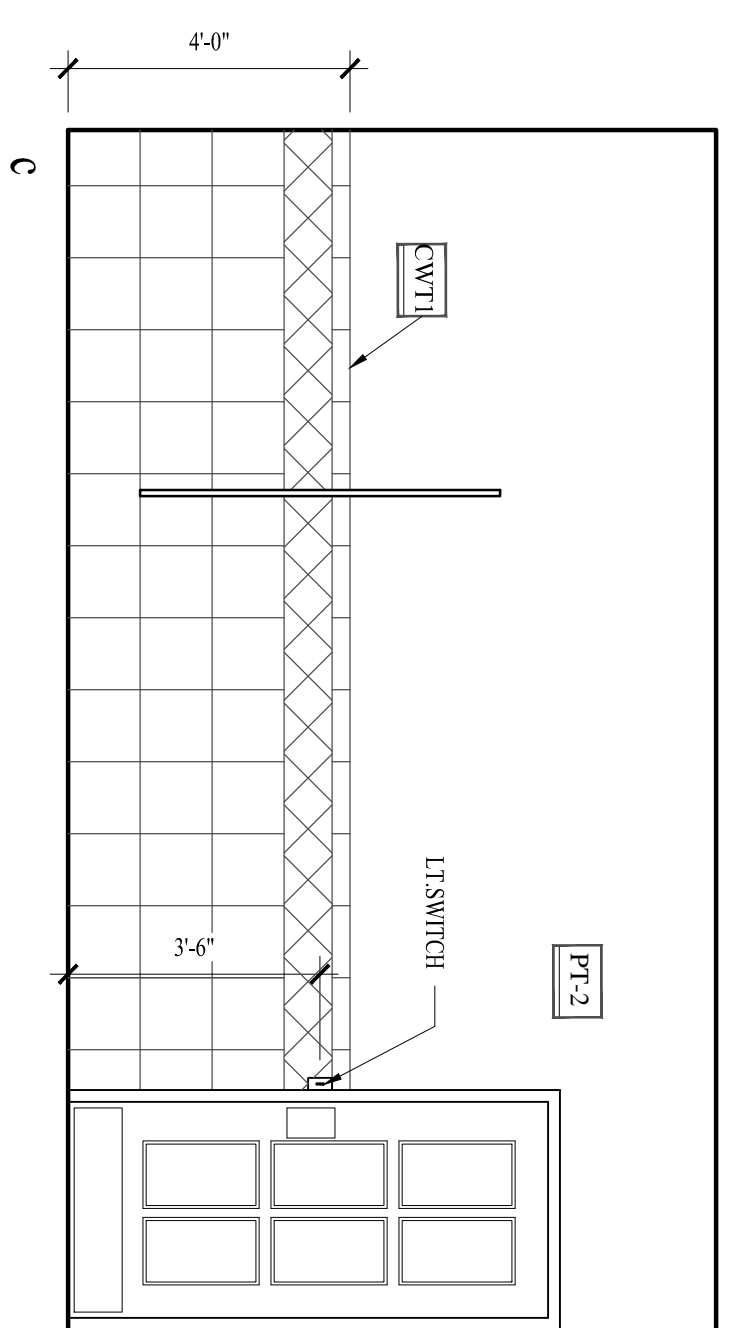
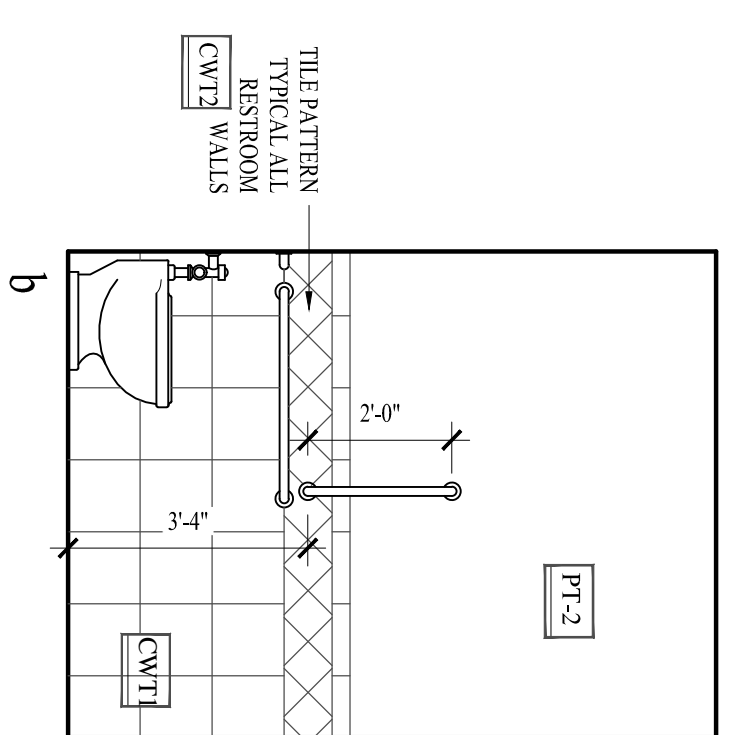
**A3 BEVERAGE STATION**  
3/8"=1'-0"



**C3 EXPEDITE STATION**  
3/8"=1'-0"

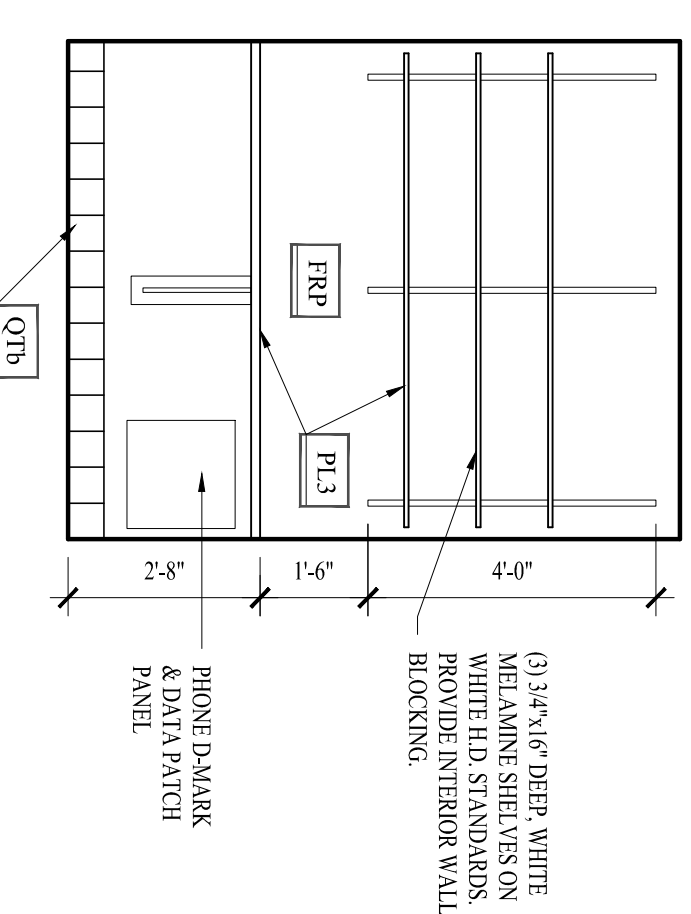


**A2 MEN'S RESTROOM**  
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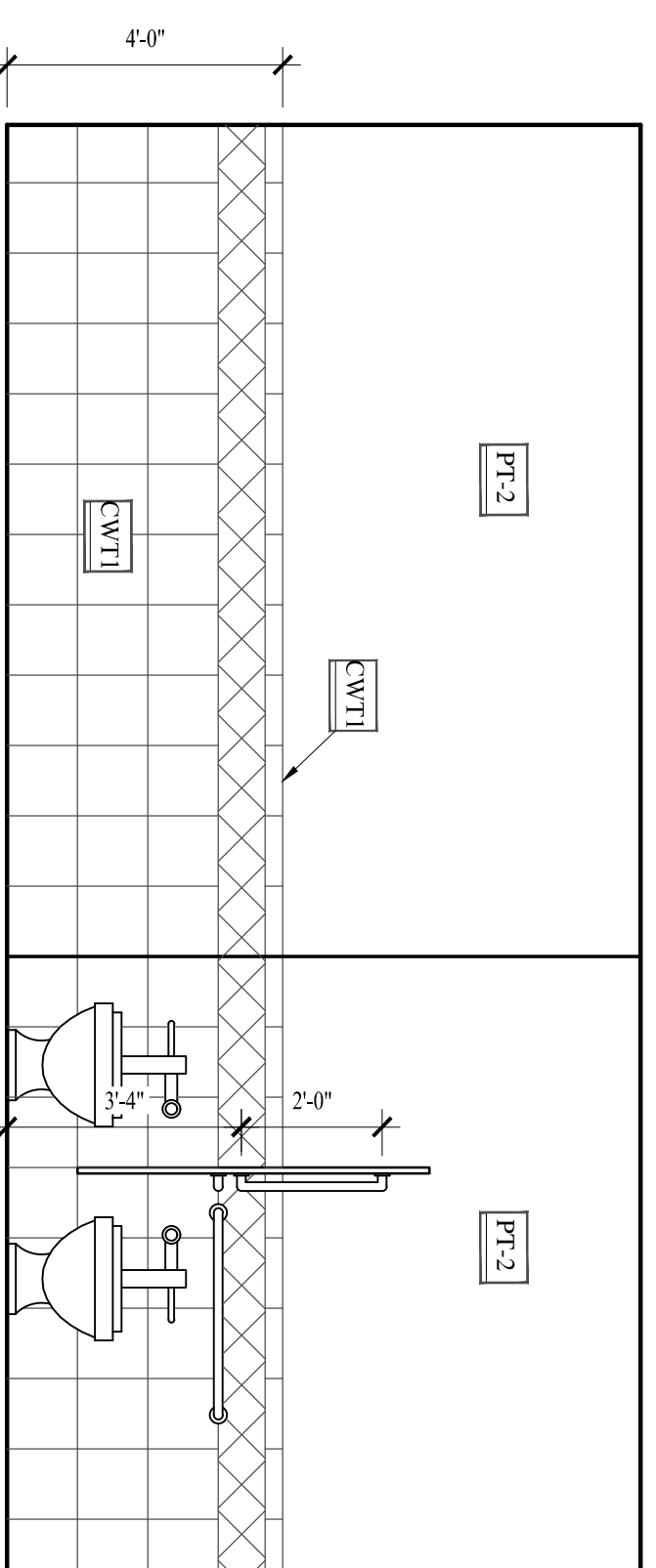


NOTE: PROVIDE WATER RESISTANT BACKER BOARD BEHIND ALL TILED SURFACES.

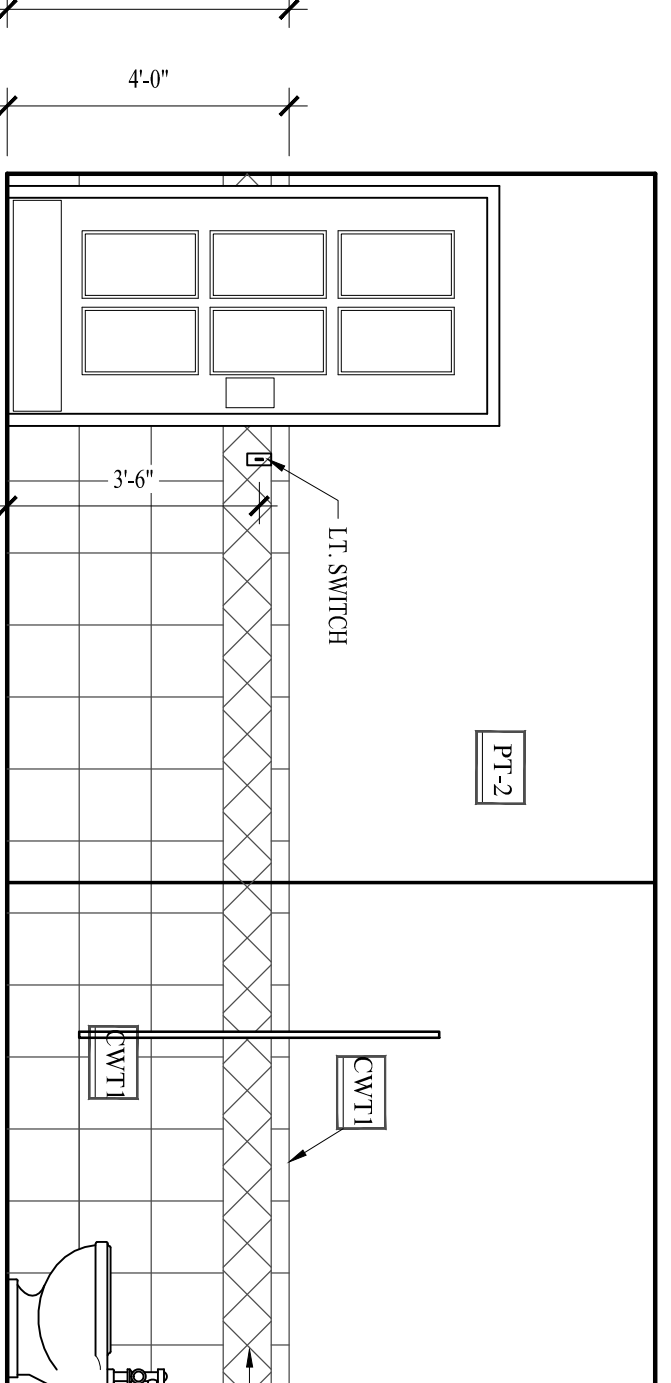
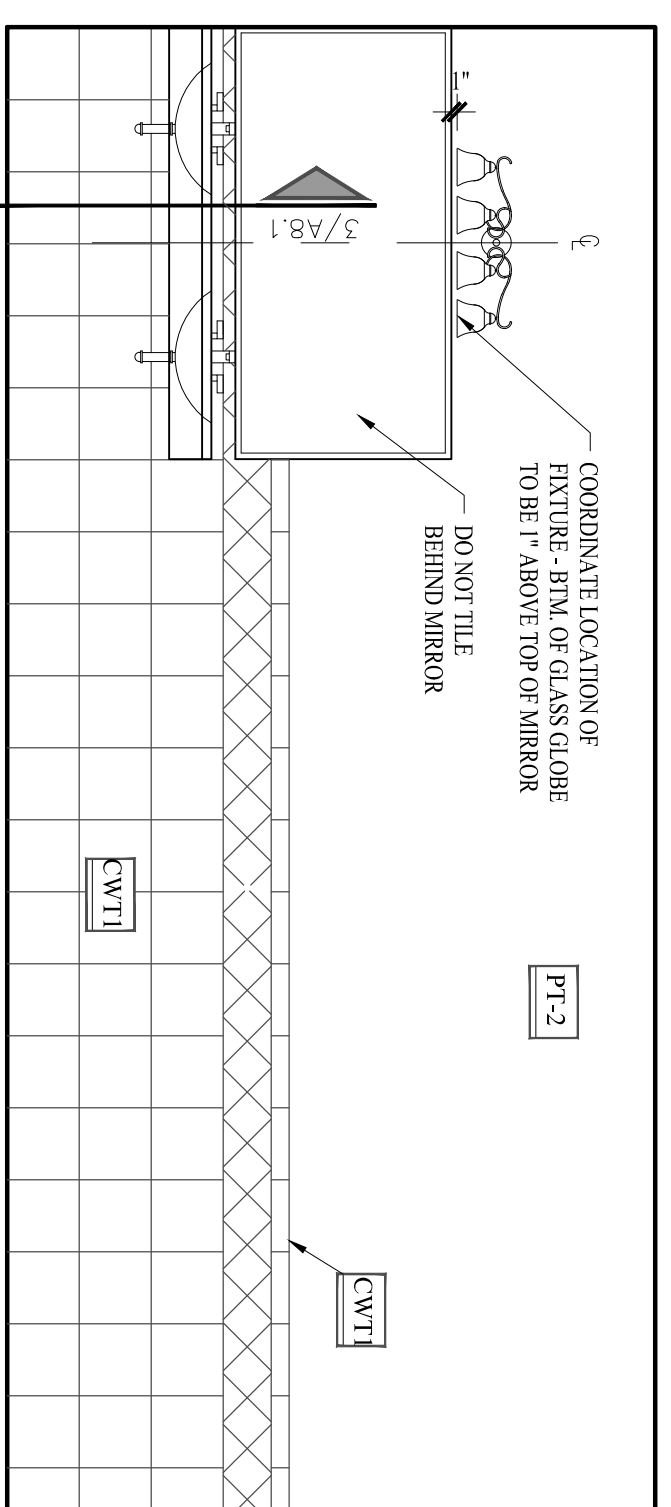
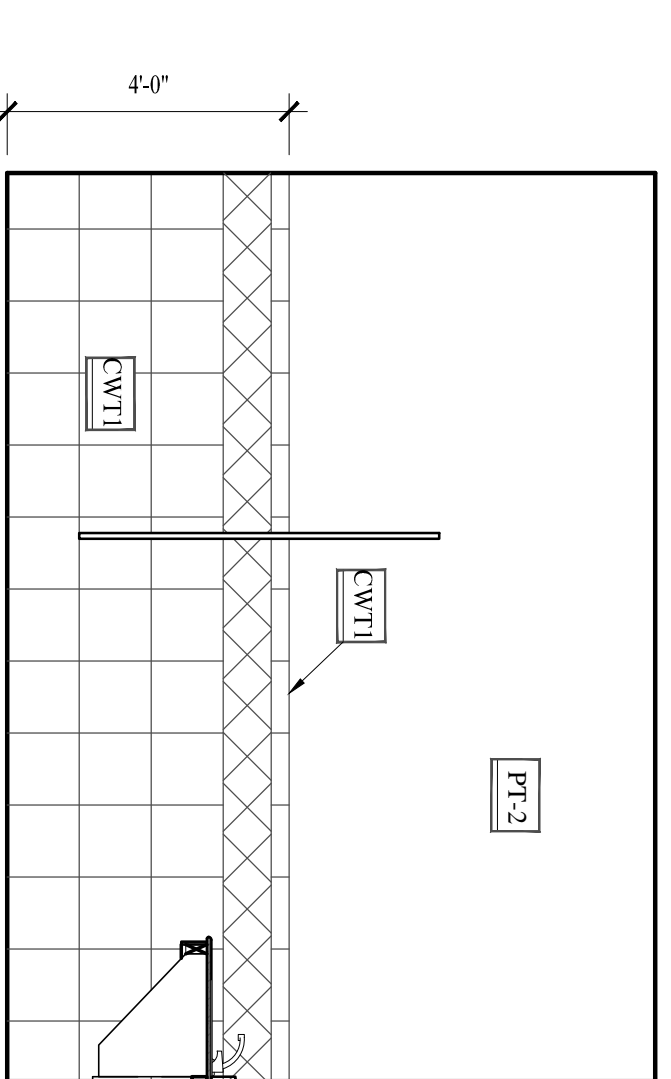
ALL TRIM WALL SURFACES TO RECEIVE ORANGE BEEL KNOCK-DOWN TEXTURE



**E2 SOUTH OFFICE ELEV**  
3/8"=1'-0"



**A1 WOMEN'S RESTROOM**  
3/8"=1'-0"



NOTE: PROVIDE WATER RESISTANT BACKER BOARD BEHIND ALL TILED SURFACES.

REVISIONS

ISSUE DATE	11/2/12
PROJECT NUMBER	2012-42
SHEET NUMBER	A6.2

INTERIOR ELEVATIONS

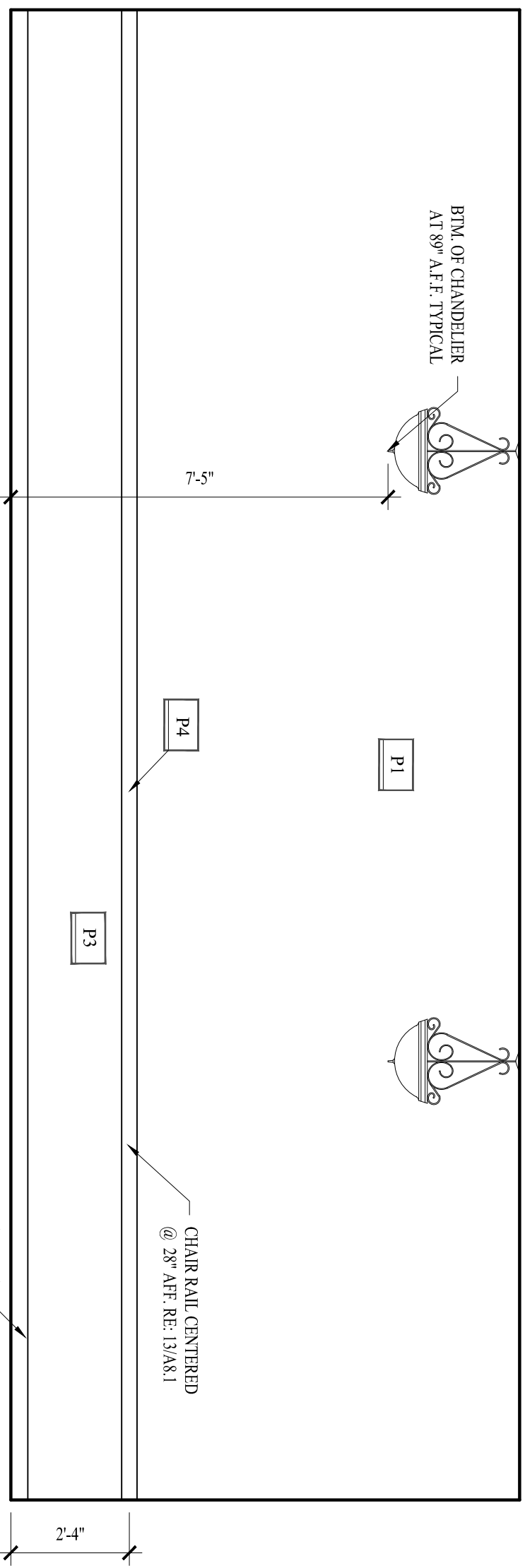
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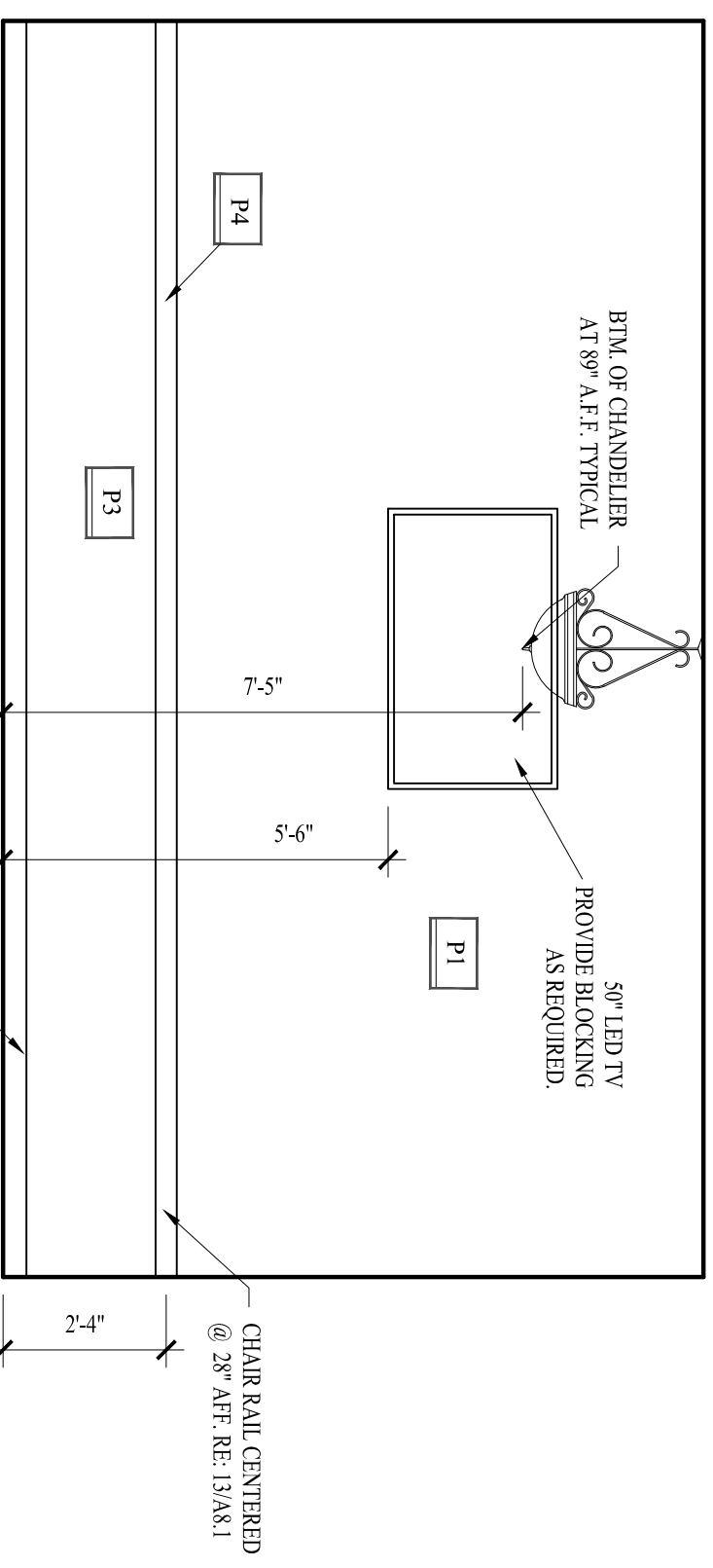
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SEAL

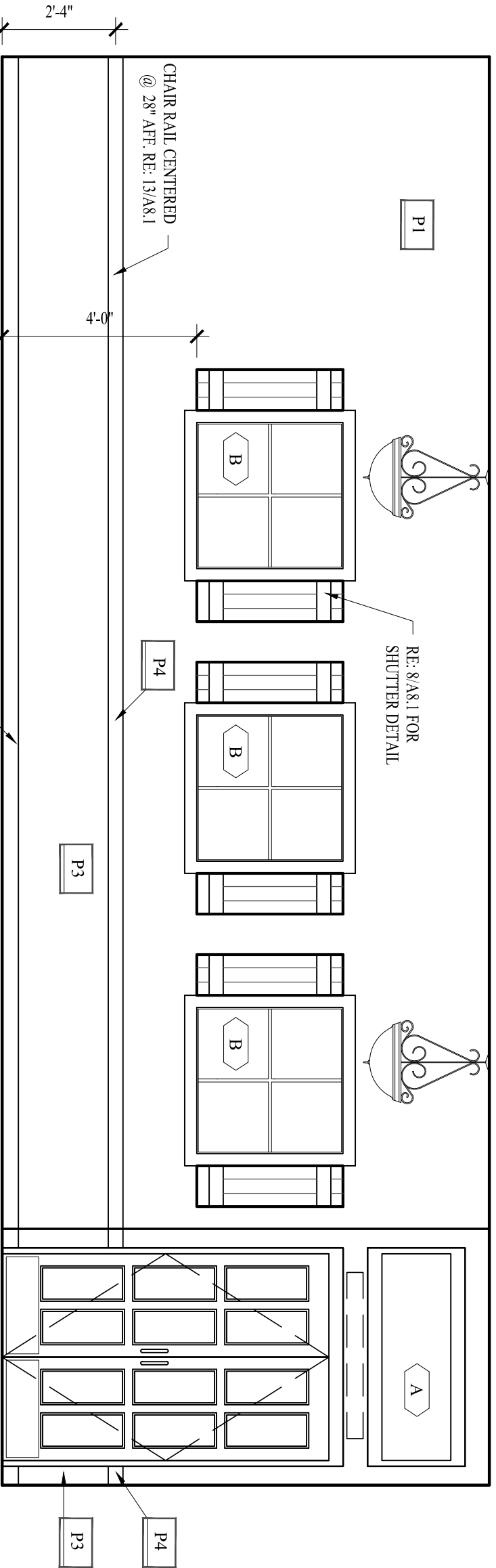


**A2 WEST MEETING ROOM ELEV.**  
3/8"=1'-0"

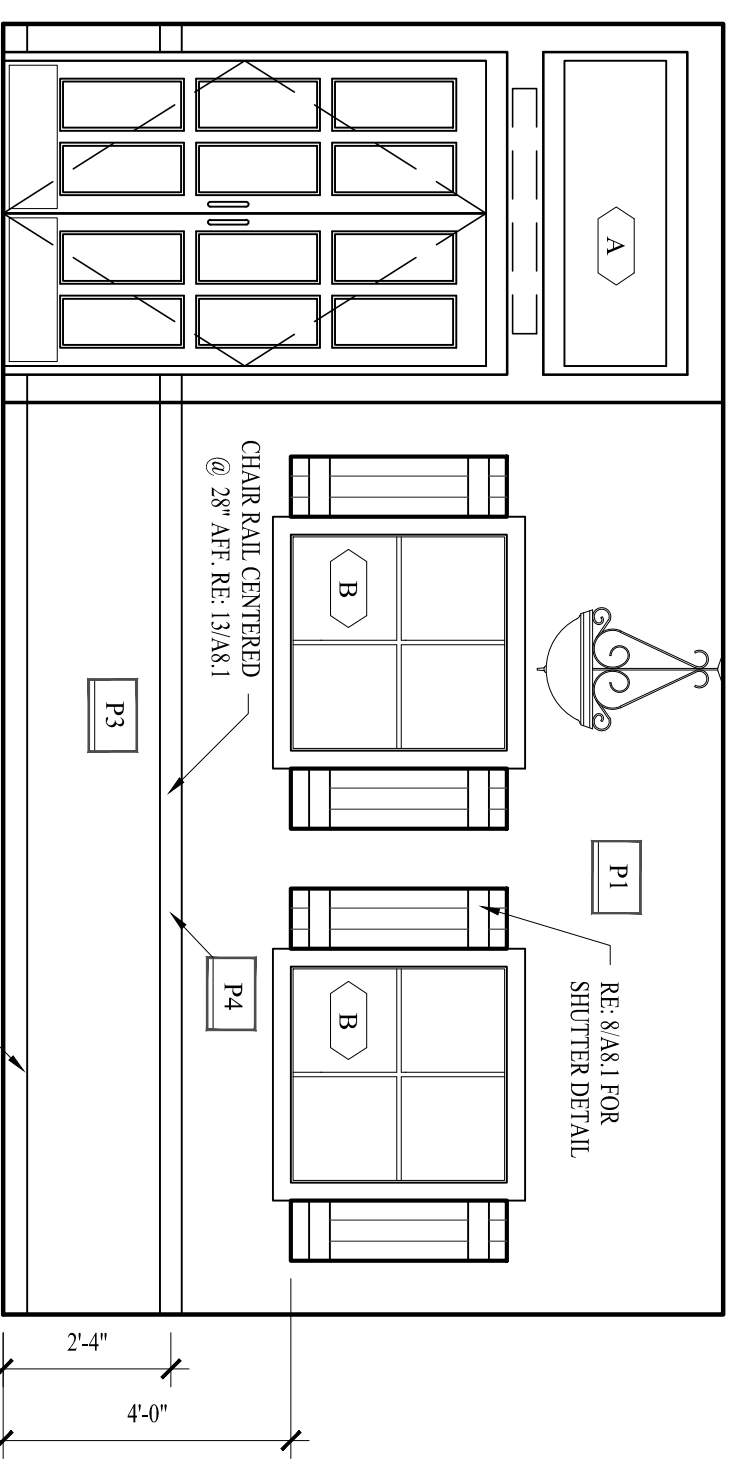
ALL BR WALL SURFACES TO  
KNOCK DOWN TEXTURE



**A1 NORTH MEETING ROOM ELEV.**  
3/8"=1'-0"



**C1 EAST MEETING ROOM ELEV.**  
3/8"=1'-0"



**E1 SOUTH MEETING ROOM ELEV.**  
3/8"=1'-0"

SCALE

**The EGG & I**  
Breakfast & Lunch  
**Howard Johnson Plaza Hotel**

155 Riverside Street  
Portland, Maine 04103

**icon**  
ARCHITECTURE

1511 Westport Road  
Kansas City, MO 64111  
p:816.221.0250 f:816.221.0251

REVISIONS	
ISSUE DATE	11/2/12
PROJECT NUMBER	2012-42
SHEET NUMBER	A6.3
<b>INTERIOR ELEVATIONS</b>	

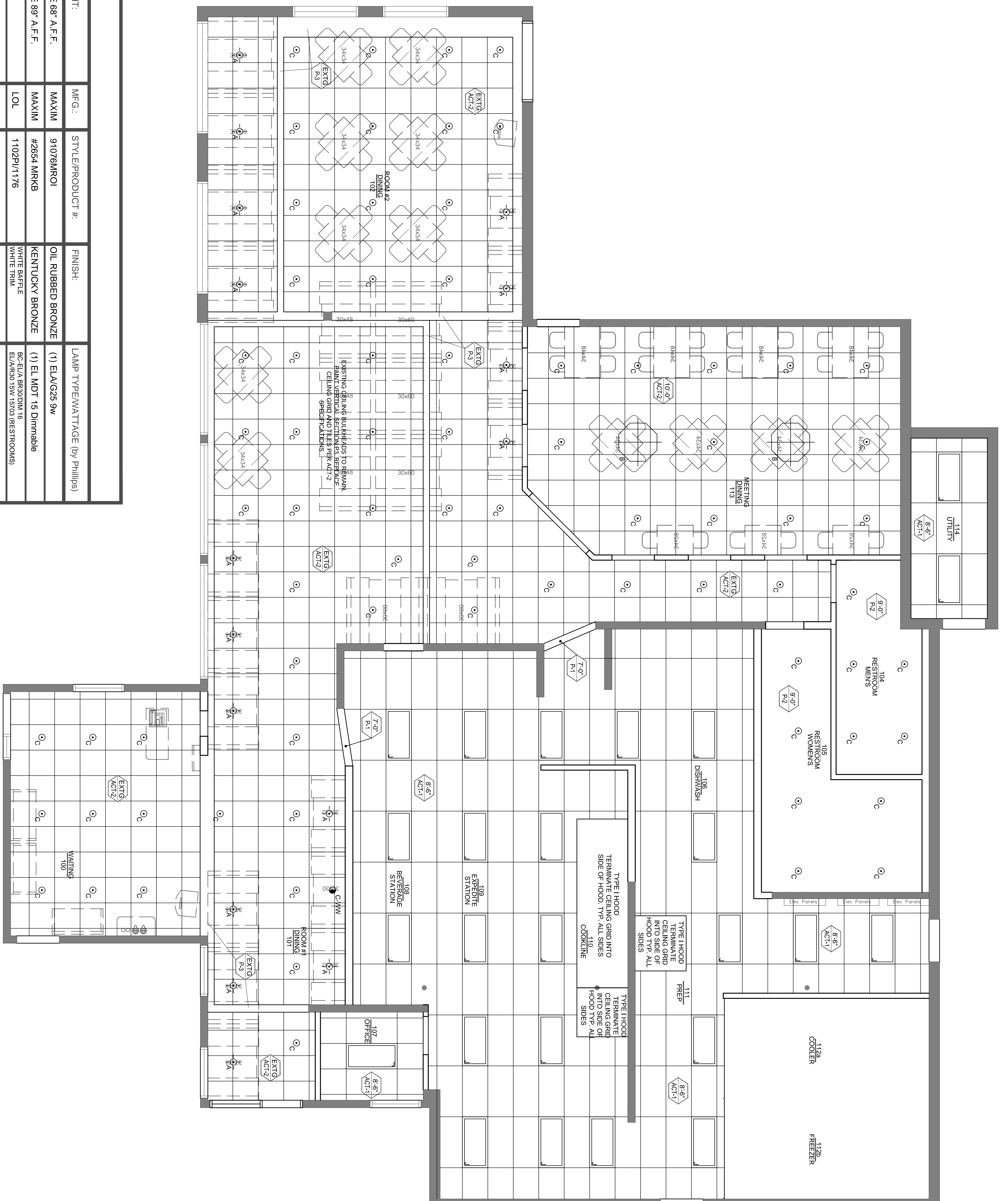


**GENERAL NOTES:**

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A SPRINKLER HEAD LAYOUT TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO PERMITTING & INSTALLATION. ALL ROUTING OF PIPE AND HEAD LOCATIONS TO BE COORDINATED WITH FIELD CONDITIONS PRIOR TO SUBMITTAL.
2. REFER TO ELECTRICAL PLANS FOR ALL ALLIAN NOTIFICATION DEVICES.
3. COORDINATE ALL FIXTURES WITH ELECTRICAL PLANS.
4. CENTER ALL TYPE FIXTURES ABOVE TABLES BELOW.
5. ALL LAMP TYPES ABOVE TO BE PHILLIPS.

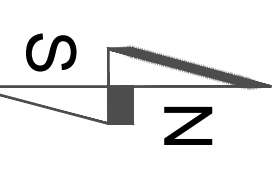
**LIGHT FIXTURE SCHEDULE:**

ID:	TYPE:	MOUNTING HEIGHT:	MFG.:	STYLE/PRODUCT #:	FINISH:	LAMP TYPE/WATTAGE (by Phillips)
A	16" dia. PENDANT	BTM. OF FIXTURE 68" A.F.F.	MAXIM	91076MR01	OIL RUBBED BRONZE	(1) ELA/G25 9W
B	20-1/2" x 28-1/2" PENDANT	BTM. OF FIXTURE 89" A.F.F.	MAXIM	#2654 MRKB	KENTUCKY BRONZE	(1) EL. MDT 15 Dimmable
C	RECESSED DOWNLIGHT		LOL	1102PI/1176	WHITE BARFLE WHITE TRIM	BC-ELA 8520 DIM 16 ELANR90 15W 15703 (RESTROOMS)
G	4 LAMP BATH VANITY STRIP	BTM. OF GLOBE 1" ABOVE MIRROR	MAXIM	118110CBK	BLACK w/ ICE GLASS SHADE	EL/A 9W-FAN
H	EMERGENCY LIGHT		HARDI	EMR16-2W-2-HD	WHITE	
I	COOLER LIGHT/14 RECESSED FLOURESCENT		LOL		WHITE	PHLFR327R/UL7356AL1037883
J	2x4 RECESSED FLOURESCENT		LOL	XP2GVAA32LUV4GJQL	WHITE	(3) FR32W 18, TL735PLUS
X	EXIT SIGN		HARDI	PCX-MR16-RW	GREEN ON WHITE	LED



**1 REFLECTED CEILING PLAN**

1/4"=1'-0"



REVISIONS	

PROJECT NUMBER: 2012-42  
SHEET NUMBER: A7.1

REFLECTED CEILING PLAN

**ICON ARCHITECTURE**  
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Kansas City, MO 64111  
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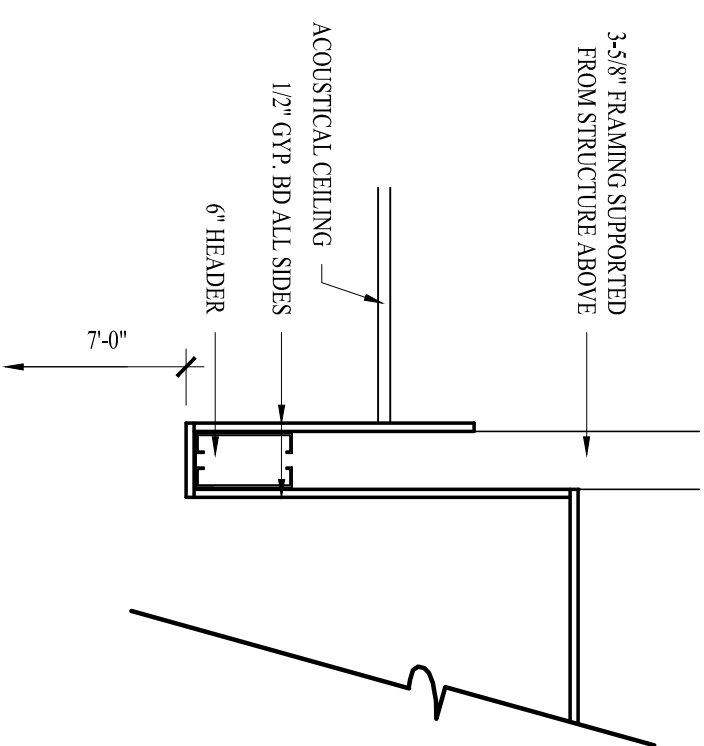
Howard Johnson Plaza Hotel

155 Riverside Street  
Portland, Maine 04103

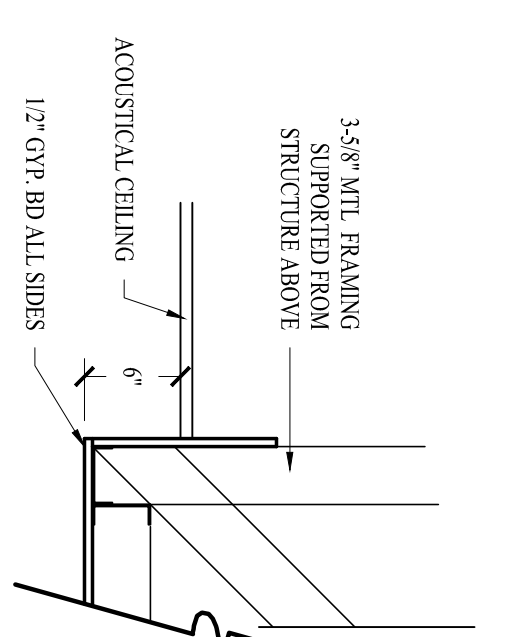
SEAL

**TOILET ACCESSORIES:**

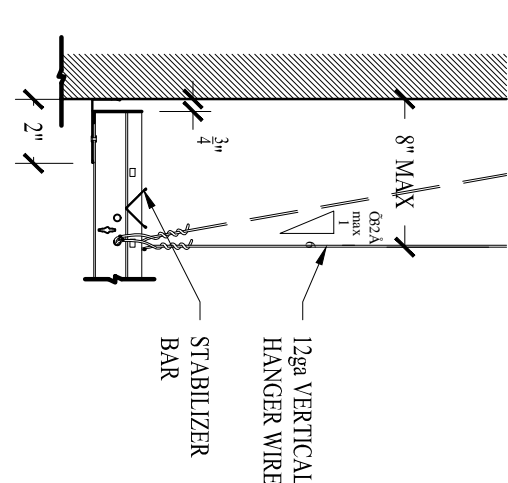
ID:	TYPE:	MFG.:	MODEL/FINISH	NOTES:
1	42"x1-1/2" dia. HORIZONTAL S.S. GRAB BAR	BOBRICK	B-6806.99 L	PREENED GRIP, SNAP FLANGE OR EQ.
2	36"x1-1/2" dia. HORIZONTAL S.S. GRAB BAR	BOBRICK	B-6806.99 L	PREENED GRIP, SNAP FLANGE OR EQ.
3	9" JUMBO BATH DISPENSER w/ STUB ROLL	GEORGIA PACIFIC	#58150	BY OWNER
4	ANGLE FRAME MIRROR			LEAVE OUT TILE BEHIND MIRROR CUT MIRROR TO FIT.
5	SOAP DISPENSER	BY OWNER	MATRIX B-5050	
6	ROLL PAPER TOWEL DISPENSER	EM-ACTION or EQ.	#59482	BY OWNER
7	BABY CHANGING STATION	CONTINENT	COMFORT OASIS/KOALA	
8	RESTROOM PARTONS	GLOBAL or EQ.	ALMOND PWDR CT. #2103	
9	24"x1-1/2" VERTICAL S.S. GRAB BAR	BOBRICK	B-6806.99 L	PREENED GRIP, SNAP FLANGE OR EQ.
10	RESTROOM SIGNAGE			SEE DETAIL 7/A8.1



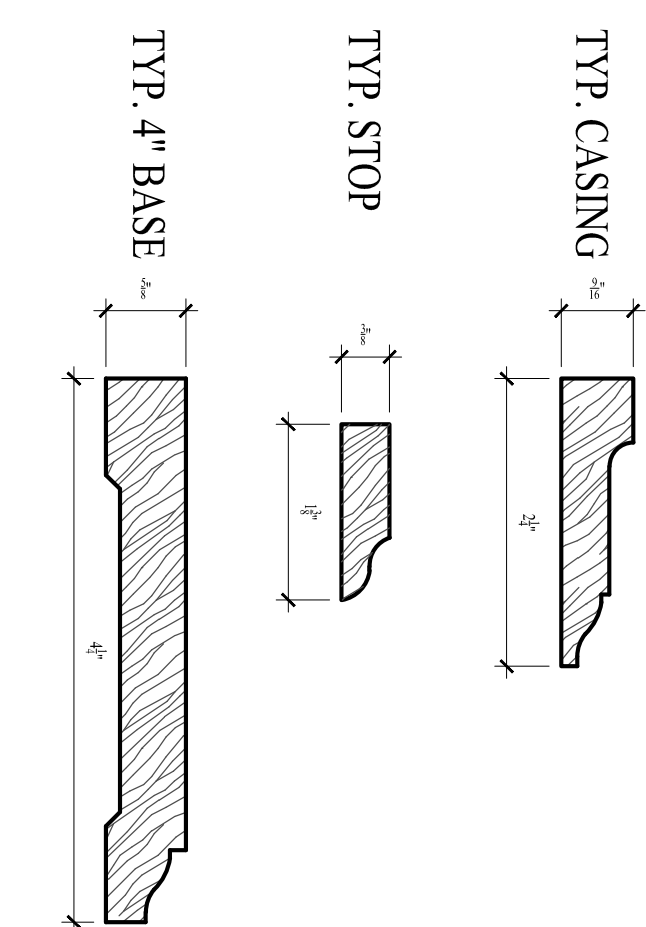
**9 HEADER DETAIL**  
1"=1'-0"



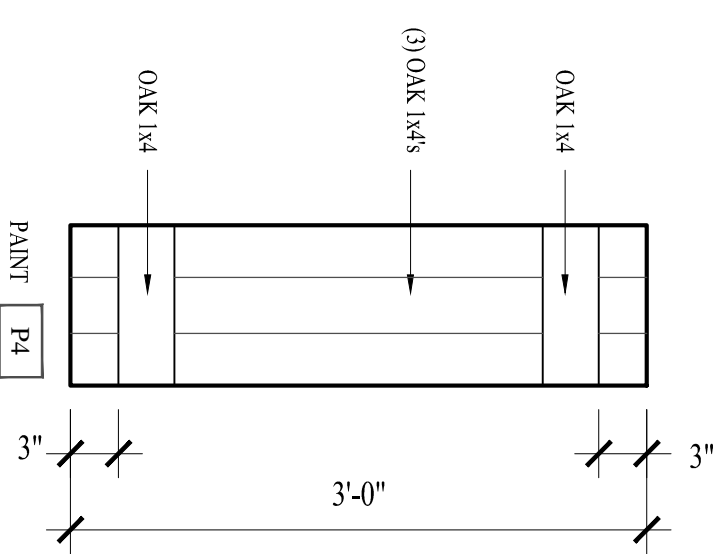
**10 SOFFIT DETAIL**  
1"=1'-0"



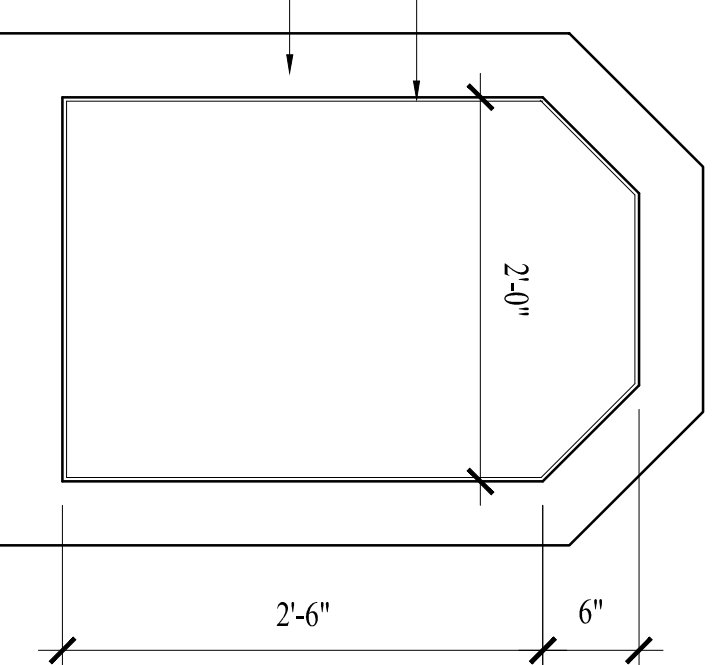
**11 ACOUSTICAL CEILING DETAIL**  
NTS



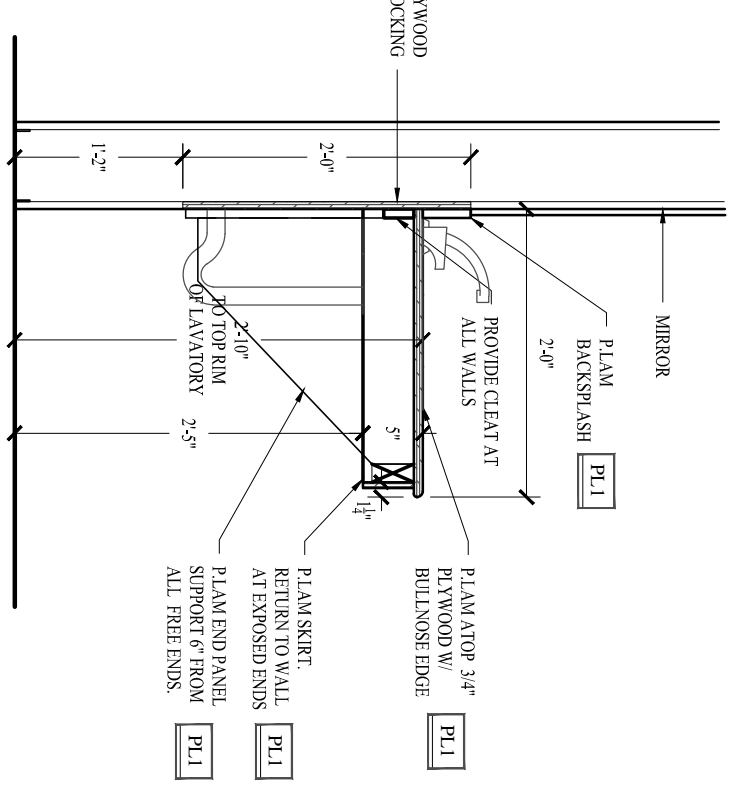
**6 TRIM PROFILES**  
NTS



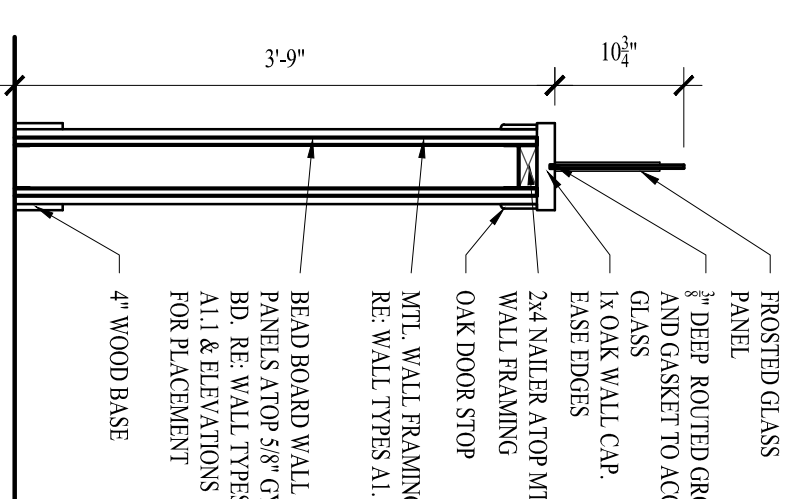
**8 SHUTTER DETAIL**  
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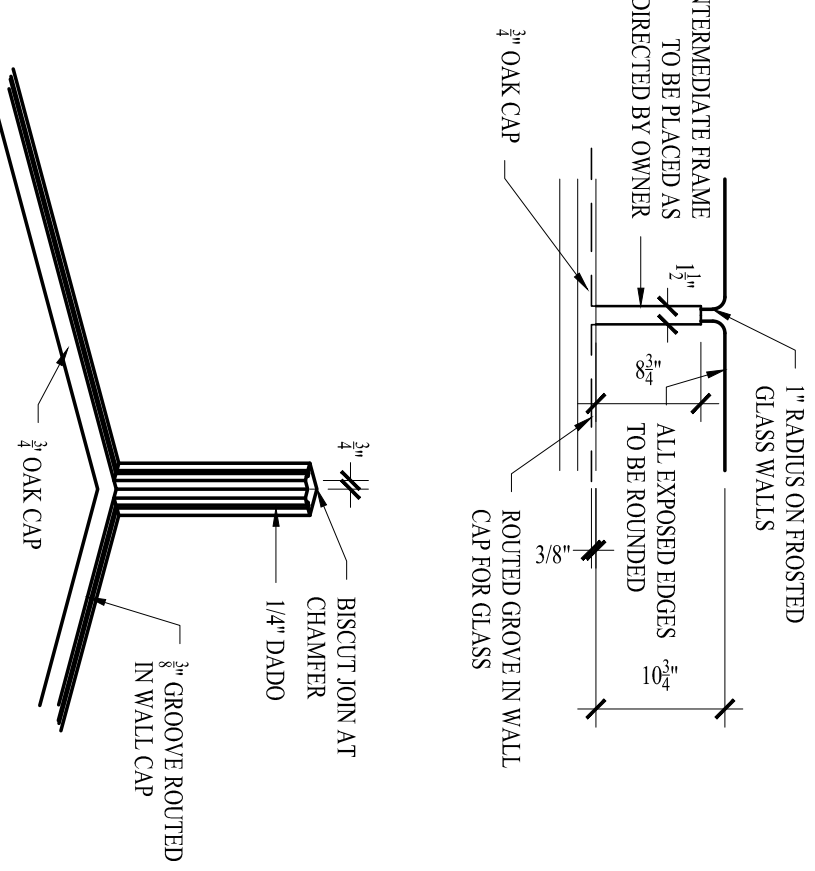
**12 NICHE DETAIL**  
NTS



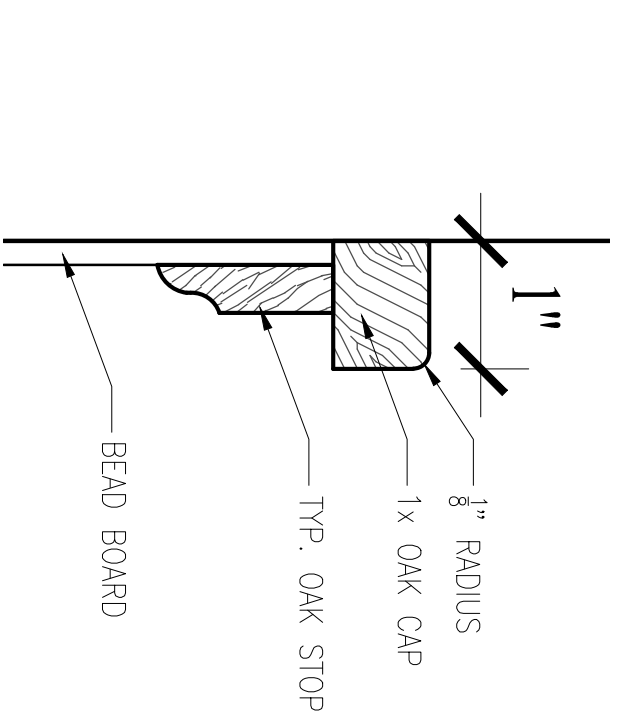
**3 LAVATORY**  
1"=1'-0"



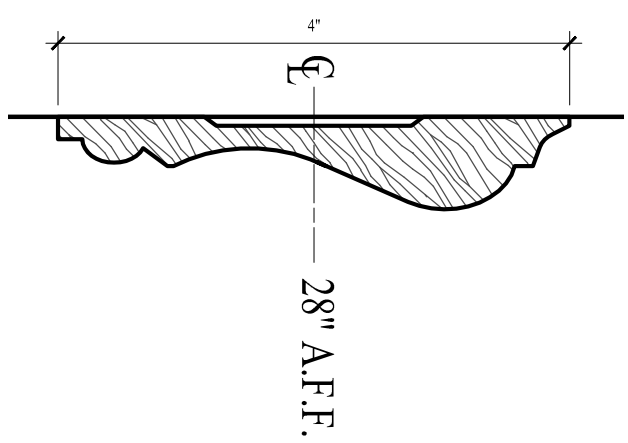
**4 DINING LOW WALL**  
1"=1'-0"



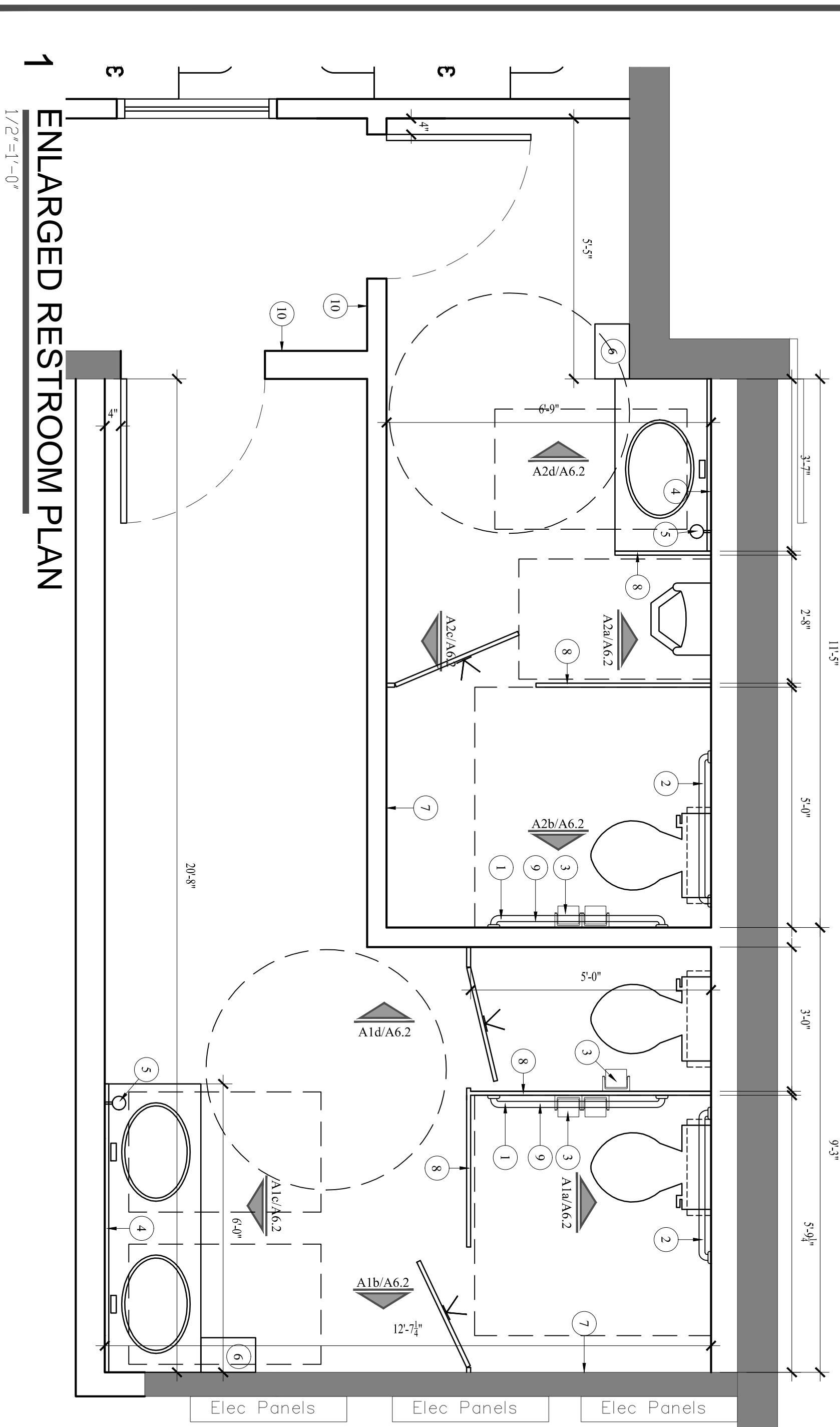
**5 GLASS FRAME DETAILS**  
1"=1'-0"



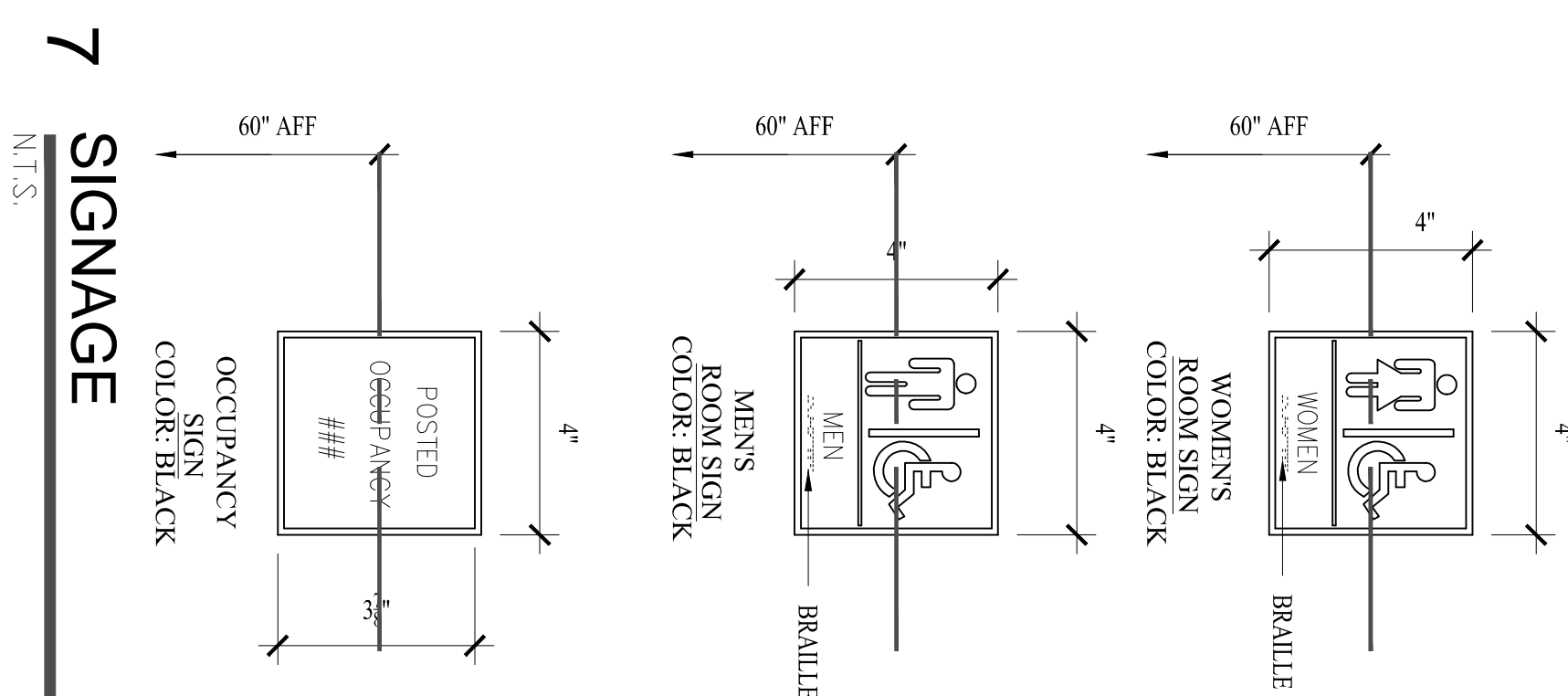
**2 TYP. WAINSCOT**  
NTS



**13 TYP. CHAIR RAIL**  
NTS

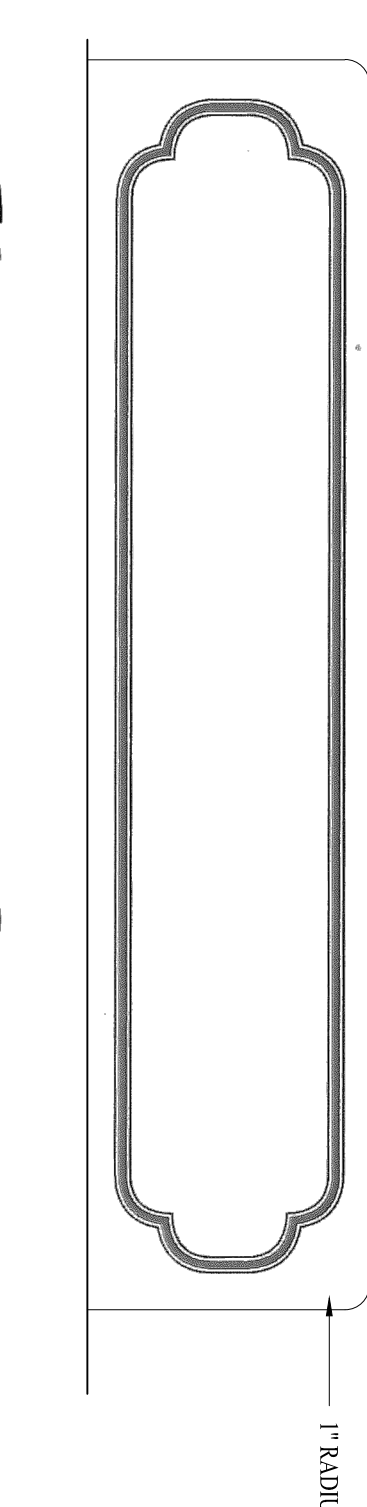


**1 ENLARGED RESTROOM PLAN**  
1/2"=1'-0"



**7 SIGNAGE**  
NTS

GENERAL CONTRACTOR TO CONTACT SIGNS & NOW OWNER TO PURCHASE AND INSTALL WINDOW SIGNS AND GLASS BEHALFING.



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Optional  
**JOHN SHERLOCK**  
GENERAL MANAGER

PLEASE USE MAIN ENTRANCE

PLEASE USE MAIN ENTRANCE

- FREE MEETING ROOM
- FREE WIFI

**The EGG & I**  
Breakfast & Lunch

Howard Johnson Plaza Hotel

155 Riverside Street  
Portland, Maine 04103

REVISIONS
ISSUE DATE
PROJECT NUMBER
SHEET NUMBER
<b>A8.1</b>

INTERIOR DETAILS

**icon**  
ARCHITECTURE  
1511 Westport Road  
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p:816.221.0250 f:816.221.0251

# FINISH LEGEND

DESCRIPTION/MANUFACTURER	STYLE/COLOR	PRODUCT #	NOTES
<b>FLOOR COVERING</b>			
CTP 454128 Benetton Carpet Philadelphia Commercial Frame & Torque	Penhouse Suite	#28800	28oz, 100% Nylon
CT 12x12 Ceramic Tile/Dalle Gold Bush Series	Golden Nugget	#5308	GROUT w/ Mapei #42 Mocha & Seal
QT 6x6 Quarry Tile Florida Commercial	Menlo Tread Red	77111	Provide matching core base & grout w/ Mapei Keropoxy IEG or Latexite's Spectra-tek 2000 JG
TS Transition Strip: Schluer	Ren-A-Tek 100		Provide @ all Carpet to Tile transitions. Feather out transition a minimum of 6"
<b>PAINT/STAIN</b>			
P1 Benjamin Moore	Sevenson Seed	2160-40	Eggshell
P2 Benjamin Moore	Oklahoma Wheat	2160-50	Satin
P3 Benjamin Moore	Spanish Red	1301	Eggshell
P4 KVAL	Black Int. RM/Ext RM		Semi Gloss Latex
ST-1 Minwax	Early American	#230	Satin Finish - provide 2 coats of clear urethane on all millwork and wood doors
B1 4" Rubber Base: Imsonite	Black		
QTB 6" Quarry Tile Cove Base: Florida Commercial	Menlo Tread Red		Where QT is installed: Grout w/ Mapei #42 Mocha Epoxy Grout
B2 4" Oak base			Finish ST-1
CWT1 12x12 Ceramic Tile/Dalle-Gold Bush Series	Golden Nugget	#5308	Bottom 3 courses and final course - Grout w/ Mapei #42 Mocha & Seal w/ matching bullnose #4389
CW2 12x12 Ceramic Tile/Dalle-Gold Bush Series	Golden Nugget	#5308	Accent Band to be set on a 45 degree diagonal. Grout w/ Mapei #42 Mocha & Seal all down 12x12 tiles to 6x6 tiles.
FRP Mantle	White		Silicone seal all edges. Provide all necessary accessory transition pieces.
SS 18ga. Stainless Steel wall panels & corner guards	Stainless Steel		Silicone seal all edges. Provide corner guards @ all exterior corners in kitchen (2"x2"x6")
PNL 1/2" Oak Bead Board Wall Paneling: Georgia Pacific	Ply-Beard/Unfinished		Paint P4. Provide 1x1 Oak Trim Corners - Stained ST-1
<b>WALLCOVERING</b>			
PL1 Formica	Sandstone, Matte	#7265-58	Restroom Vanities: all exposed faces to be finished.
PL2 Not Used	White		Kitchen/office areas
PL3 Formica	Clean room VL	#870	Use with white 1/8" co-extruded clean room grid
ACT1 2x4 Vinyl Faced Washable Acoustical Tiles: Armstrong	Cottage White	#704	Use with white angled regular 1/8" grid
ACT2 2x2 Acoustical Tiles: Armstrong			Provided by Tenant. G.C. to provide mfg. recommended blocking
<b>P. LAM</b>			
BL Blinds			
<b>CEILING TILE</b>			
ACT1 2x4 Vinyl Faced Washable Acoustical Tiles: Armstrong			
ACT2 2x2 Acoustical Tiles: Armstrong			
<b>MISC.</b>			

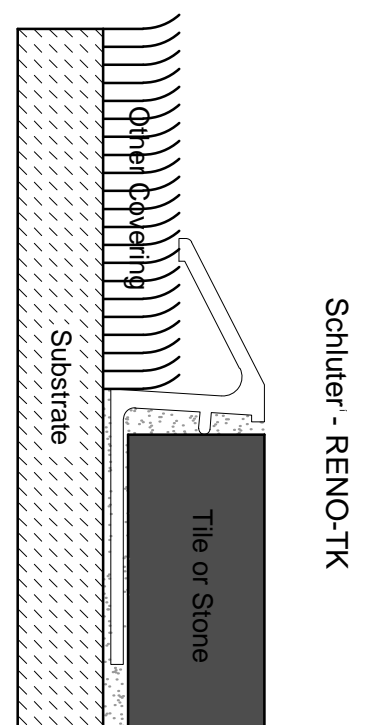
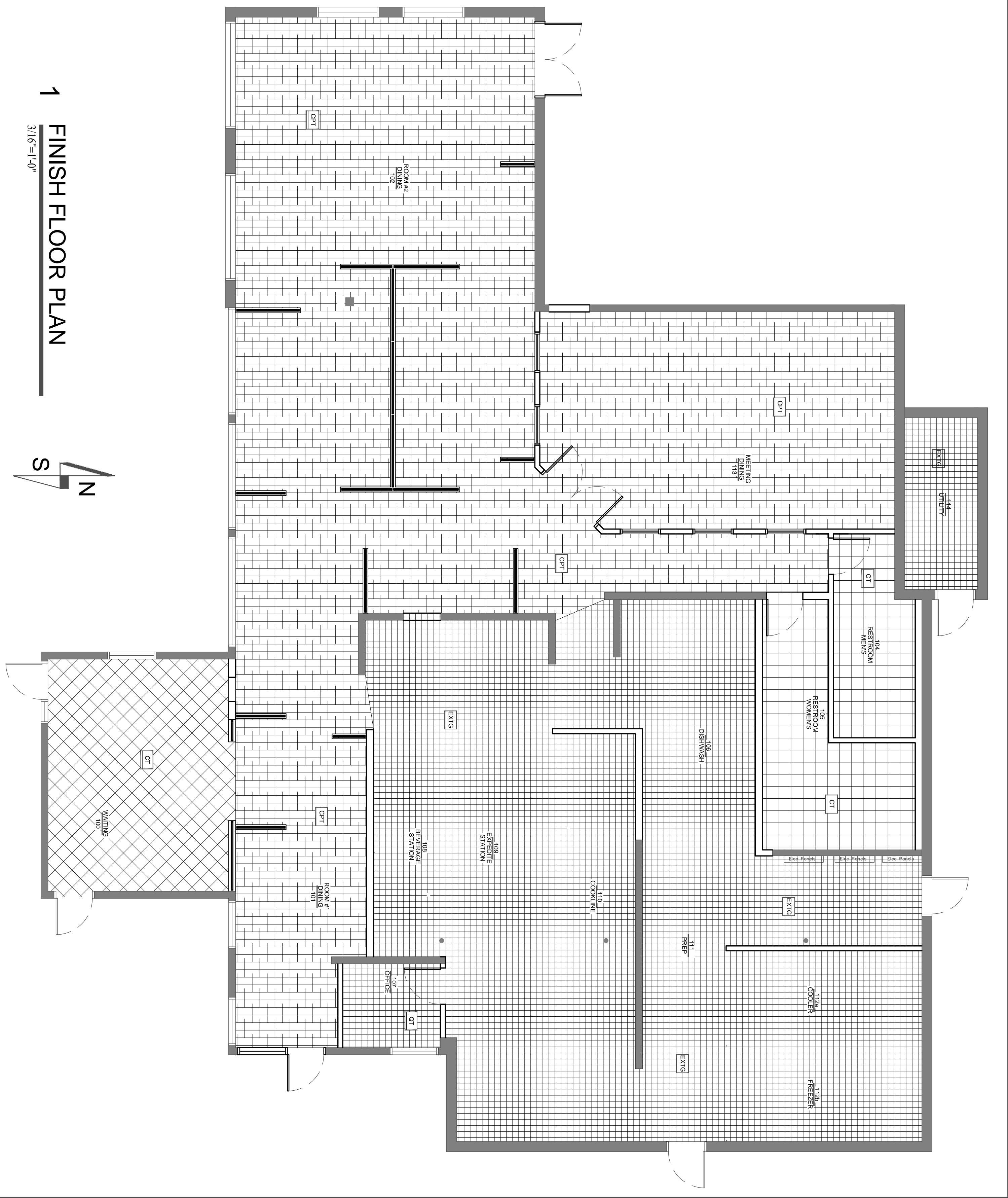
**GENERAL FINISH NOTES:**  
 1. All system board walls to be 5/8" Type X. All system board ceilings to be 1/2" Type X. Typical wall to receive light fixture.  
 2. Paint all under counter supports to match wall color.  
 3. Dining electrical cover plates to be almond in all areas except where placed in PNL - these cover plates and fixtures to be black. Kitchen electrical cover plates to be stainless steel.  
 4. Install stainless steel corner guards on wall corners in the kitchen.  
 5. All interior finishes to meet Class C finish requirements per 803.5c of the 2006 IBC.

## FINISH SCHEDULE:

#	ROOM	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING	NOTES
100	WAITING AREA	CT	B3	P-1	P-1	P-1	P-1	ACT2	PROVIDE B-2 AT ALL BEAD BOARD WAINSCOT LOCATIONS
101	DINING ROOM #1	CTP	B1	P-3	P-1	P-1	P-1	ACT2	PROVIDE B-2 AT ALL BEAD BOARD WAINSCOT LOCATIONS
102	DINING ROOM #2	CTP	B1	P-1	P-1	P-1	P-1	ACT2	PROVIDE B-2 AT ALL BEAD BOARD WAINSCOT LOCATIONS
104	MENS RESTROOM	CT	CT	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	P-2	PROVIDE CLEANABLE, BACTERIA RESISTANT PAINT IN ALL RESTROOMS. CUT DOWN 12x12 TILES TO 6x6. FLOOR BASE TO BE 6" CT
105	WOMENS RESTROOM	CT	CT	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	[SW1] [SW2] [R2]	P-2	
106	DISHWASH	QT	QTB	RRP	RRP	RRP	RRP	ACT1	
107	OFFICE	QT	QTB	RRP	RRP	RRP	RRP	ACT1	
108	BEVERAGE STATION	EXTG	EXTG	RRP	RRP	RRP	RRP	ACT1	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING
109	EXPEDITE STATION	EXTG	EXTG	RRP	RRP	RRP	RRP	ACT1	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING
110	COOK LINE	EXTG	EXTG	RRP	RRP	RRP	RRP	ACT1	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING
111	PREP STATION	EXTG	EXTG	RRP	RRP	RRP	RRP	ACT1	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING
112	COOLER FREEZER	EXTG	EXTG	NA	NA	NA	NA	---	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING
113	PRIVATE DINING	CTP	B1	P-3	P-1	P-1	P-1	ACT2	
114	UTILITY	EXTG	EXTG	RRP	RRP	RRP	RRP	ACT1	PATCH & REPAIR FLOOR TILE BASE & GROUT AS NECESSARY TO MATCH EXISTING

## 1 FINISH FLOOR PLAN

3/16"=1'-0"



## 2 TYP. TRANSITION DETAIL

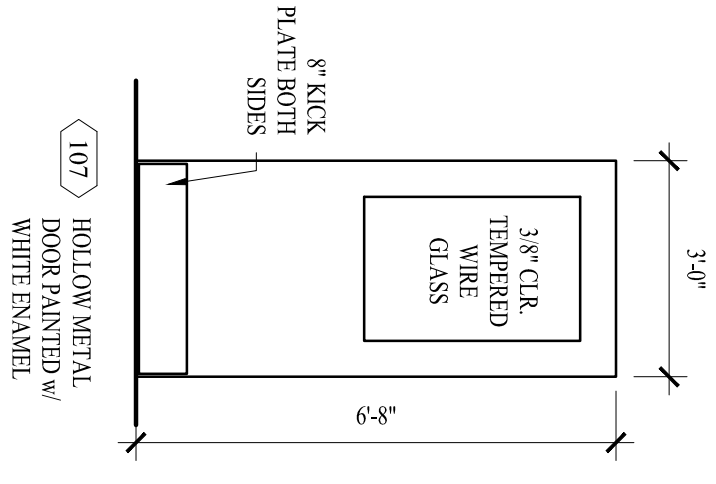
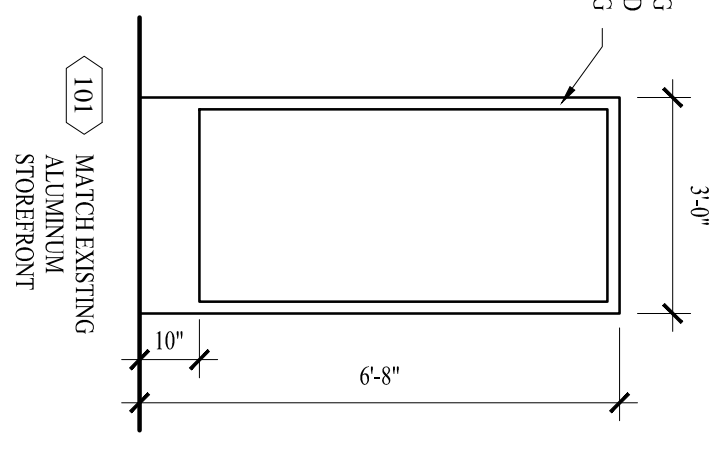
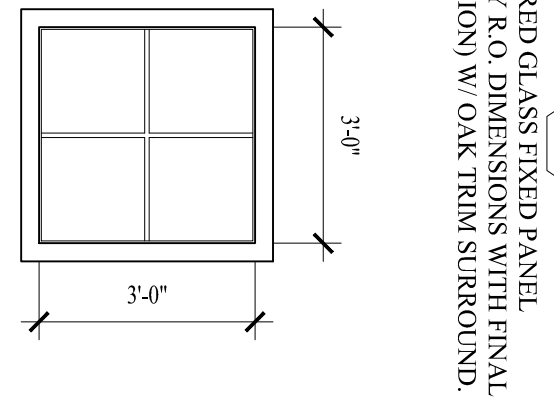
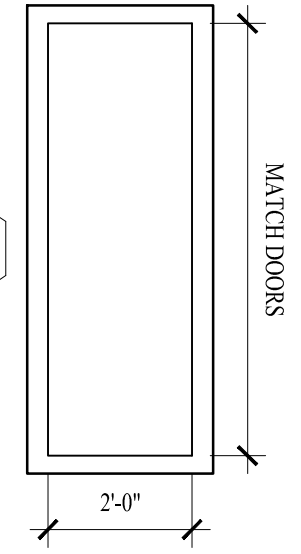
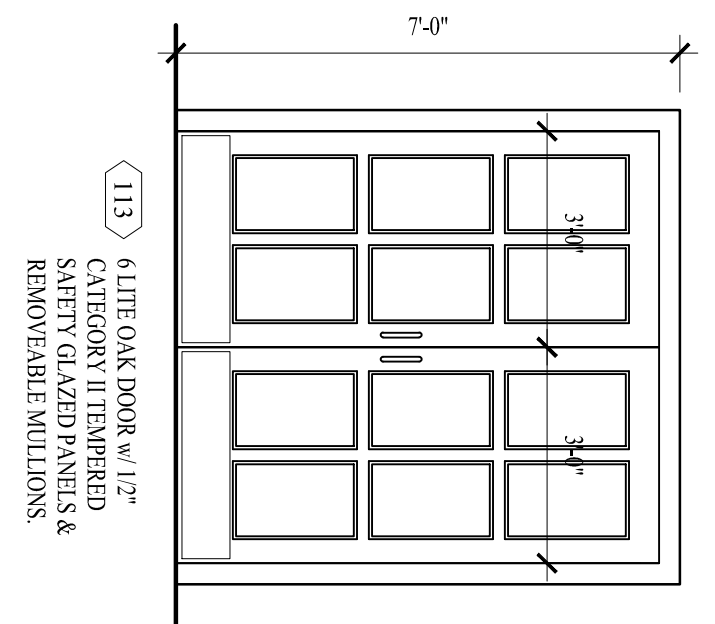
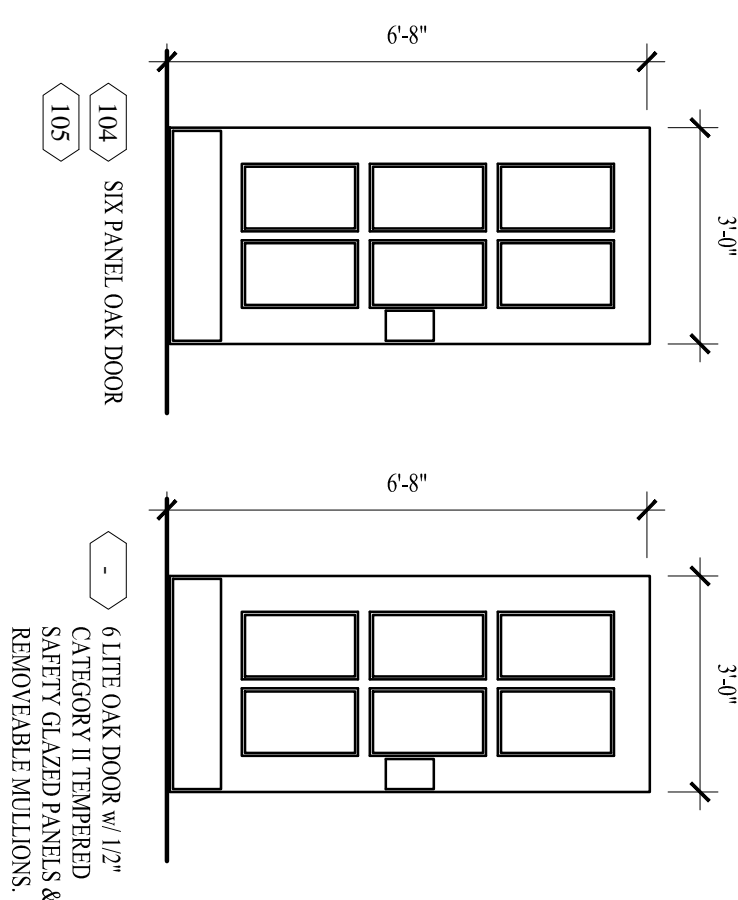
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SHEET NUMBER	
<b>A9.1</b>	
<b>FINISH SCHEDULE &amp; PLAN</b>	

**icon**  
 ARCHITECTURE  
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**The EGG & I**  
 Breakfast & Lunch  
 155 Riverside Street  
 Portland, Maine 04103  
 Howard Johnson Plaza Hotel

SEAL



DOOR SCHEDULE

TAG	LOCATION	FRAME		SIZE	DOOR					REMARKS									
		MATERIAL	EXISTING FRAME		MATERIAL	FINISH	DOOR TYPE	EXISTING	HOLLOW METAL		SOLID OAK WOOD	STOREFRONT	WOOD / GLASS	PAINT	STAIN	PREFINISHED			
100	ENTRY DOOR		EXISTING FRAME	3'-0" W. x 7'-0" H. x 1 3/4"															
100a	ENTRY DOOR		OAK FRAME (STAIN)	3'-0" W. x 7'-0" H. x 1 3/4"															
101	EXIT DOOR		METAL FRAME	3'-0" W. x 7'-0" H. x 1 3/4"															
102	EXIT DOOR		STOREFRONT	3'-0" W. x 7'-0" H. x 1 3/4"															
104	HOTEL LOBBY ENTRY EXIT DOOR			6'-0" x 3'-0" W. x 7'-0" H. x 1 3/4"															
104	MENS RESTROOM			3'-0" W. x 6'-8" H. x 1 3/4"															
105	WOMENS RESTROOM			3'-0" W. x 6'-8" H. x 1 3/4"															
107	OFFICE DOOR			3'-0" W. x 6'-8" H. x 1 3/4"															
111a	UTILITY DOOR			3'-0" W. x 7'-0" H. x 1 3/4"															
111b	UTILITY DOOR			3'-0" W. x 7'-0" H. x 1 3/4"															
113	PRIVATE DINING ROOM			2'-3 1/2" W. x 6'-8" H. x 1 3/4"															
114	UTILITY DOOR			3'-0" W. x 7'-0" H. x 1 3/4"															

\*\* ALL NEW STOREFRONT DOORS INDICATED ARE TO MATCH EXISTING STOREFRONT SYSTEM

HARDWARE SCHEDULE

HARDWARE SET NO. 1 - ENTRY/EXIT DOORS		HARDWARE SET NO. 2 - OFFICE	
1 EA.	COPPER REQUIRED PAINT HARDWARE FINISH PAD EXIT DEVICE, VON DURBIN #98 N.L. OR #110 M.D.N.L. x 108	1 EA.	LEVER SET OR O.C. PREPARED FOR BEST CORN. FINISH US108, US35 W/ SATURN TRIM
1 EA.	ALT. FINISH PAD EXIT DEVICE, VON DURBIN #99 N.L. OR #110 M.D.N.L. x 108	1 EA.	DOOR STOP # 252F FINISH US35
1 EA.	CLOSER # 404 - CUSH. MATCH EXISTING FINISH	1 EA.	8" KICK PLATE FINISH US35
1 EA.	SIGNALER TOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED w/ 1" HIGH LETTERS ON A CONTRASTING BACKGROUND	1 EA.	CLOSER 404L FINISH US35
1 TTL.	SIGNALER, MAXIMUM OCCUPANCY, POST AT MAIN ENTRY	1 EA.	FLOOR MOUNTED HOLD OPEN US35

HARDWARE SET NO. 3 - RESTROOM DOORS PASSAGE SET

1-1/2" RB	#BB-1191, 3-1/2"x3-1/2", FINISH US108	HAGAR	
1 EA.	PUSH PLATE / PULL HANDLE FINISH US108	BY G.C.	
1 EA.	DOOR CLOSER 404L - CUSH x US108	LCN	
1 EA.	WOMENS, SIGN - WOMENS (SEE SIGN DETAIL)	BY G.C.	
1 EA.	MENS, SIGN - MENS (SEE SIGN DETAIL)	BY G.C.	
2 EA.	8" KICKPLATE FINISH US108	BY G.C.	
1 EA.	WALL BRUSHERS US108	BY G.C.	

HARDWARE SET NO. 4 - DINING ROOM DOORS

1-1/2" RB	#BB-1191, 3-1/2"x3-1/2", FINISH US108	HAGAR	
2 EA.	PULL HANDLE / PULL HANDLE	BY G.C.	
2 EA.	8" KICKPLATE FINISH US108	BY G.C.	
1 EA.	WALL BRUSHERS (US108)	BY G.C.	
2 EA.	ADJUSTABLE BALL CATCH (HEAD MOUNTED)	HAGAR	


HARDWARE SET NO. 5 - DELIVERY DOOR

1-1/2" RB	#BB-1191, 4"x4" FINISH BRUSHED ALUM	HAGAR	
1 EA.	PULL HANDLE	BY G.C.	
1 EA.	HOLD OPEN	BY G.C.	
1 EA.	CLOSER # 404L - CUSH. MATCH EXISTING FINISH	LCN	
1 EA.	PUSH PAD EXIT DEVICE, VON DURBIN #98 N.L. OR #110 M.D.N.L. x 108	VON DURBIN	
1 EA.	8x8 CTRN WINDOW WITH WIRE GLASS	BY G.C.	
1 EA.	PILFER GUARD DETEX EA-300	BY G.C.	

QUANTITIES ARE PER LEAF

RE ELECTRICAL FOR DOOR BUZZER.

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Kansas City, MO 64111  
p:816.221.0250 f:816.221.0251



**The EGG & I**  
Breakfast & Lunch

155 Riverside Street  
Portland, Maine 04103  
Howard Johnson Plaza Hotel

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%;"> </td><td style="width: 50%;"> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																							<p>ISSUE DATE <b>11/2/12</b></p> <p>PROJECT NUMBER <b>2012-442</b></p> <p>SHEET NUMBER</p>

**A9.2**

**DOOR TYPES & SCHEDULE**