

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 090853

This is to certify that Webber Energy Gasoline / Marc G Rochon
has permission to Install 297.30 sq. ft. of signs, and one awning
AT 132 Riverside St CBL 267 A007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

AUG 24 2009

CITY OF PORTLAND
Department Name

[Signature]
8/21/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

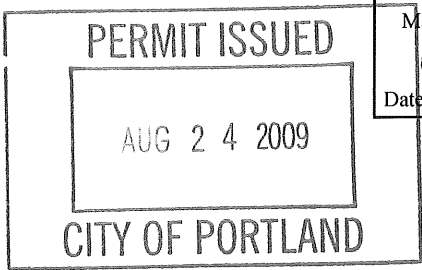
Permit No: 09-0853	Issue Date:	CBL: 267 A007001
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Location of Construction: 132 Riverside St	Owner Name: Webber Energy Gasoline	Owner Address: 700 Main St	Phone: 617-645-1596
Business Name: Buger King	Contractor Name: Marc G Rochon	Contractor Address: 11 Bartlett Place Amesbury	Phone 6176451596
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B4

Past Use: Commercial	Proposed Use: Commercial / Burger King: Install 297.30 sq. ft. of signs, and one awnings - (metal)	Permit Fee: \$624.60	Cost of Work: \$0.00	CEO District: 3
Proposed Project Description: Install 297.30 sq. ft. of signs, and one awnings (metal).		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>NA</i> Signature:	INSPECTION: Use Group: <i>V</i> Type: <i>Sign</i> <i>ZBC 2003</i> Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 08/10/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/conditions Date: 8/21/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0853	Date Applied For: 08/10/2009	CBL: 267 A007001
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Location of Construction: 132 Riverside St	Owner Name: Webber Energy Gasoline	Owner Address: 700 Main St	Phone: 617-645-1596
Business Name: Buger King	Contractor Name: Marc G Rochon	Contractor Address: 11 Bartlett Place Amesbury	Phone: (617) 645-1596
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Commercial / Burger King: Install 297.30 sq. ft. of signs, and five metal awnings.	Proposed Project Description: Install 297.30 sq. ft. of signs, and five metal awnings.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 08/21/2009
Note: Existing nonconforming freestanding sign - will be 12' diameter & 78' high (can't be higher than new freestanding sign (BK & reader board) 80.27 sf 3 building signs - Riverside Street (BK & letters) 47.51 sf - Larabee Street (BK) 28.26 sf - back side (BK) 28.26 sf			Ok to Issue: <input checked="" type="checkbox"/>
1) Any LED display SHALL NOT continuously flash, nor continuously blink, and SHALL NOT scroll. Electronic message board signs SHALL NOT change messages more than once every twenty (20) minutes. This City and State regulation SHALL BE strictly enforced.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 08/21/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.			

Comments:
8/20/2009-amachado: Spoke to Marc Rochon. Don't have the information on the awnings. Need more information on the existing non conforming freestanding sign. Needed to confirm the size of the BK Circle in the new freestanding sign.
8/21/2009-amachado: Received information on awnings and information on existing freestanding sign. Still need information on how the new sign will be attached to the existing poles. Moving permit forward because zoning is all set.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

090853

Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

AUG 10 2009

Location/Address of Construction: 132 Riverside Street		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 267 A 007	Owner: Webber Energy/Gasoline	Telephone: 617-645 1596 <i>mark</i>
Lessee/Buyer's Name (If Applicable) Mastoran Corporation	Contractor name, address & telephone: Marc G. Rochon (617) 645-1596	Total s.f. of signage x \$2.00 594.60 Per s.f. plus \$30.00/\$65.00 30 For H.D. signage= Total Fee: \$ _____ Awning Fee= cost of work _____ Total Fee: \$ _____ 634.60
Who should we contact when the permit is ready: Marc G. Rochon phone: 617-645-1596		
Tenant/allocated building space frontage (feet): Riverside = 96' 4" Height 20' 11" Lot Frontage (feet) 220' (+ or -) Single Tenant or Multi Tenant Lot Single <i>hambree = 24' 3"</i> <i>Parking lot = 96' 4"</i>		
Current Specific use: _____ If vacant, what was prior use: Gas Station - Tim Horton's Restaurant Proposed Use: Burger King (Freestanding sign with 3'10"x7'10" electronic reader-board (See attached S-1))		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: 8' Dia Height from grade: 35' Bldg. wall sign? (attached to bldg) Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: 2-6' Dia., 1-6' Dia. w/ 16'6" x 14" Home of the Whopper		
Proposed awning? Yes <input checked="" type="checkbox"/> No _____ Is awning backlit? Yes _____ No <input checked="" type="checkbox"/> Height of awning: 12" Length of awning: 98' Depth: 1'-6" (See attached S-2) Is there any communication, message, trademark or symbol on it? Yes _____ No <input checked="" type="checkbox"/> If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions: 8'1"x15'4" (To be changed to 12' dia. not to exceed existing height or sq. footage.) Bldg. wall sign? (attached to bldg) Yes _____ No <input checked="" type="checkbox"/> Dimensions: _____ Awning? Yes _____ No <input checked="" type="checkbox"/> Sq. ft. area of awning w/communication: _____		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Samy W. Kolden</i>	Date: 08-06-09
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This is not a permit; you may not commence ANY work until the permit is issued.

B-1111

132 Riverside St. Burger King

B-4 zone

total sf = 597.34

$\times 2 = 594.68$

+ 30

624.68

Freestanding Signs.

① Existing (non conforming) 78'4" tall

8'1" x 15'4" = 123.94

Proposed - 12' diameter = 113.04^{ok}

height - 78' * can't be higher than.
78'11"

② Pylon sign (in front of building - facing Riverside St.
street frontage ≥ 200 (220' min)

max sf = 100

max height = 35'

setback 5'

proposed - BK circle 8 diameter

$3.14 \times 16 = 50.24$

- reader board

3'10" x 7'10" = 30.03

total = 80.27^{ok}

- height 35' ^{ok}

- setback 5' min ^{ok}

Building Signs

- allowed one per building facade facing abutting street plus one.

facing Riverside St. - ~~B~~ ^B facing building 96'4" long

$2 \times 96.4" = 192.61 \phi$ max

proposed - BK circle - 6' diameter

$3.14 \times 9 = 28.26 \phi$

- letters

16'6" x 14" = 19.25 ϕ

total = 47.51^{ok}

facing Larraba St - building 24'3" long

$2 \times 24.3" = 48.5 \phi$ max

proposed - BK circle - 6' diameter

$3.14 \times 9 = 28.26 \phi$ ^{ok}

back of building - 96'4" long

$2 \times 96.4" = 192.61 \phi$ max

proposed - BK circle 6' diameter

$3.14 \times 9 = 28.26 \phi$ ^{ok}

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SK
MASTO-1

DATE (MM/DD/YYYY)
08/04/09

PRODUCER DGP-Miles Insurance Agency, Inc 3 School Street P.O. Box 1018 Taunton MA 02780-0957 Phone: 508-824-8961 Fax: 508-880-2734	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED Mastoran Corporation dba Burger King 822 Lexington St., 2nd Floor Waltham MA 02452	<table border="1"> <tr> <th style="width: 80%;">INSURERS AFFORDING COVERAGE</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>INSURER A: One Beacon American Ins Group</td> <td>20621</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: One Beacon American Ins Group	20621	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: One Beacon American Ins Group	20621												
INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRB	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	7100208200002	07/31/09	07/31/10	EACH OCCURRENCE	\$ 1000000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1000000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10000
		<input checked="" type="checkbox"/> per loc				PERSONAL & ADV INJURY	\$ 1000000
		GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 2000000
		<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 2000000
						Emp Ben.	1000000
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		RETENTION \$					\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTHER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

City of Portland, ME included as Additional Insured solely for their interest in Signage of Insured.

Subject to actual policy's terms, conditions, endorsements, coverages, limitations, limits, and exclusions.

CERTIFICATE HOLDER

CANCELLATION

PORTLAN City of Portland City Hall Portland ME	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE David G. Pietro <i>David Pietro</i>
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IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

Existing non-conforming sign to be replaced.

137 Riverside
Existing sign

15' 1"

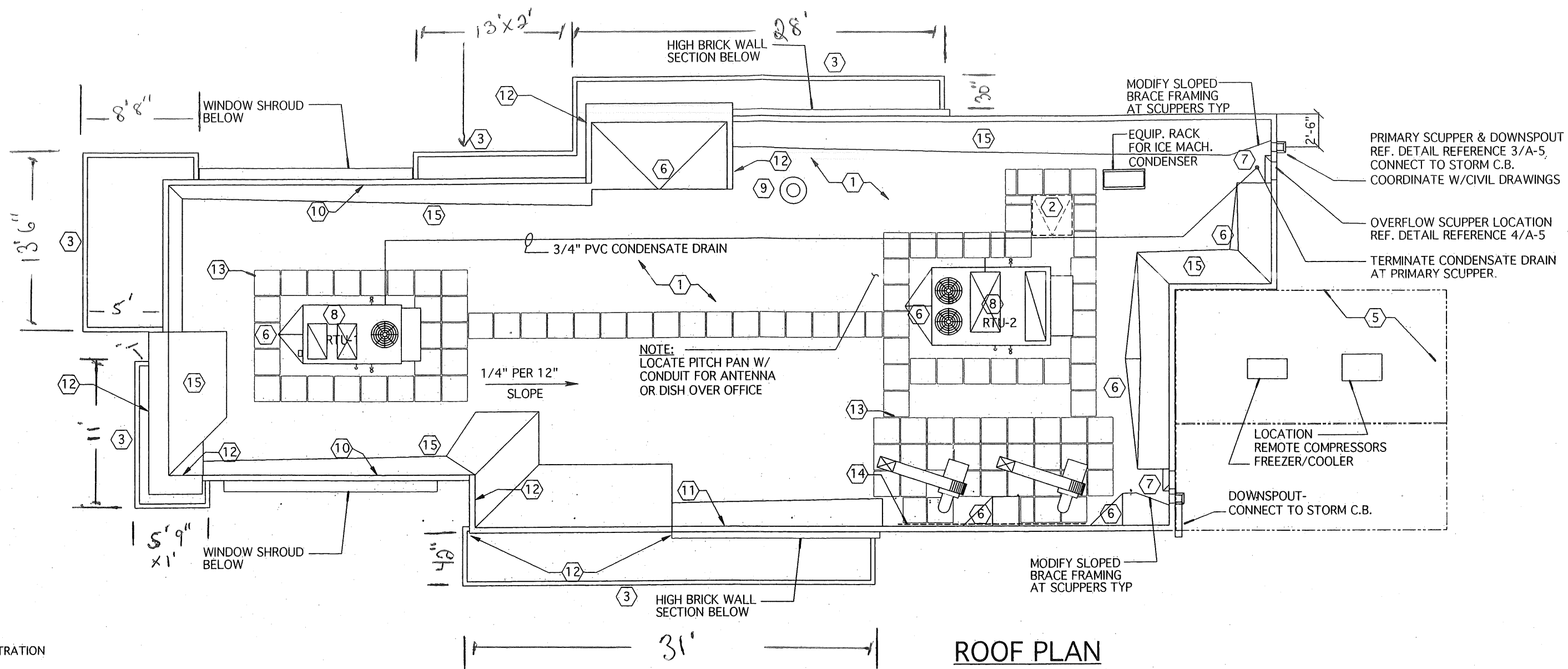
4' 8"

69" ϕ to ϕ

78' 11"
Top of Base to
Top of Sign

17" ϕ at base





ROOF PLAN

SCALE: 1/8" = 1'-0"

S-2

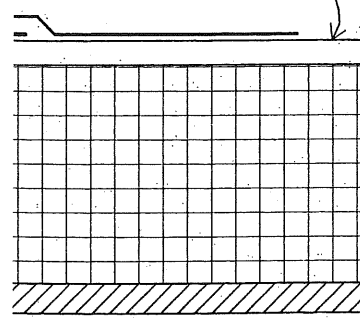
DEPT. CHY

AUG 21 2009

ROUGHLY CLEAN PENETRATION OR TO SEALING

3A. GALV. STEEL PITCH PAN.
D SOLDER ALL SEAMS.
RABLE SEALER, SLOPED TO SHED WATER

IFING MEMBRANE ON
" COVER BOARD



WOOD NAILERS TO MATCH
3/4" THK OF INSULATION, FASTENED
TIVELY TO DECK

4-SHRINK GROUT FILLER

5

GENERAL ROOFING NOTES:

1. ROOFING CONTRACTOR SHALL COORDINATE ALL HVAC UNITS AND ROOF TOP ACCESSORIES WITH THE MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR PLACEMENT OF INSULATION AND SUBSEQUENT INSTALLATIONS TO AVOID AREAS OF DEVELOPED PONDING CONDITIONS. PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN A 48 HOUR PERIOD AFTER A PRECIPITATION EVENT.
2. ALL CURBS AND PIPE PENETRATIONS SHALL HAVE A MINIMUM OF 16" CLEAR ROM EACH OTHER FOR ROOD FLASHING PURPOSES. ALL EQUIPMENT SHALL HAVE A MINIMUM 16" CLEAR FROM ALL ADJACENT PARAPETS. ALL HVAC MOUNTED EQUIPMENT (DISCONNECT

8/24 pickup

PORTLAND SPACE AND BULK STANDARDS		
COMMERCIAL (B-4) ZONE	REQUIRED	PROVIDED
MIN. LOT SIZE	10,000 S.F.	33,454 S.F.
YARD SETBACKS		
FRONT	20'	32' MIN.
SIDE	20'	45' MIN.
REAR	10'	65' MIN.
STREET FRONTAGE	60'	217'
MAX. IMPERVIOUS SURFACE AREA RATIO	80%	67%
MAX. BUILDING HEIGHT	65'	21' MAX.
MAX. FLOOR AREA RATIO	65%	7.6%

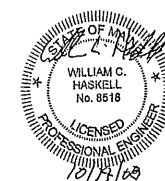
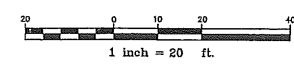
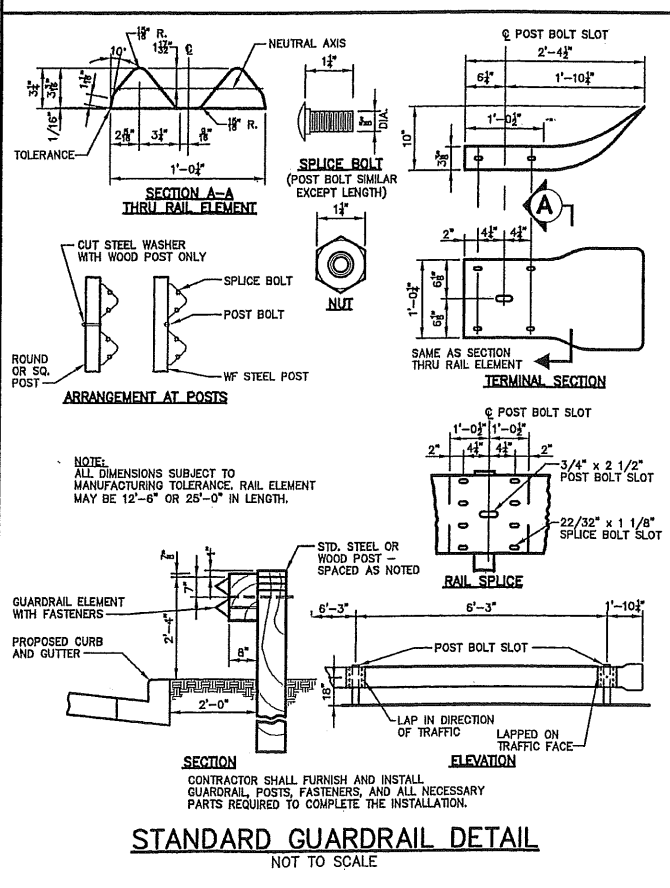
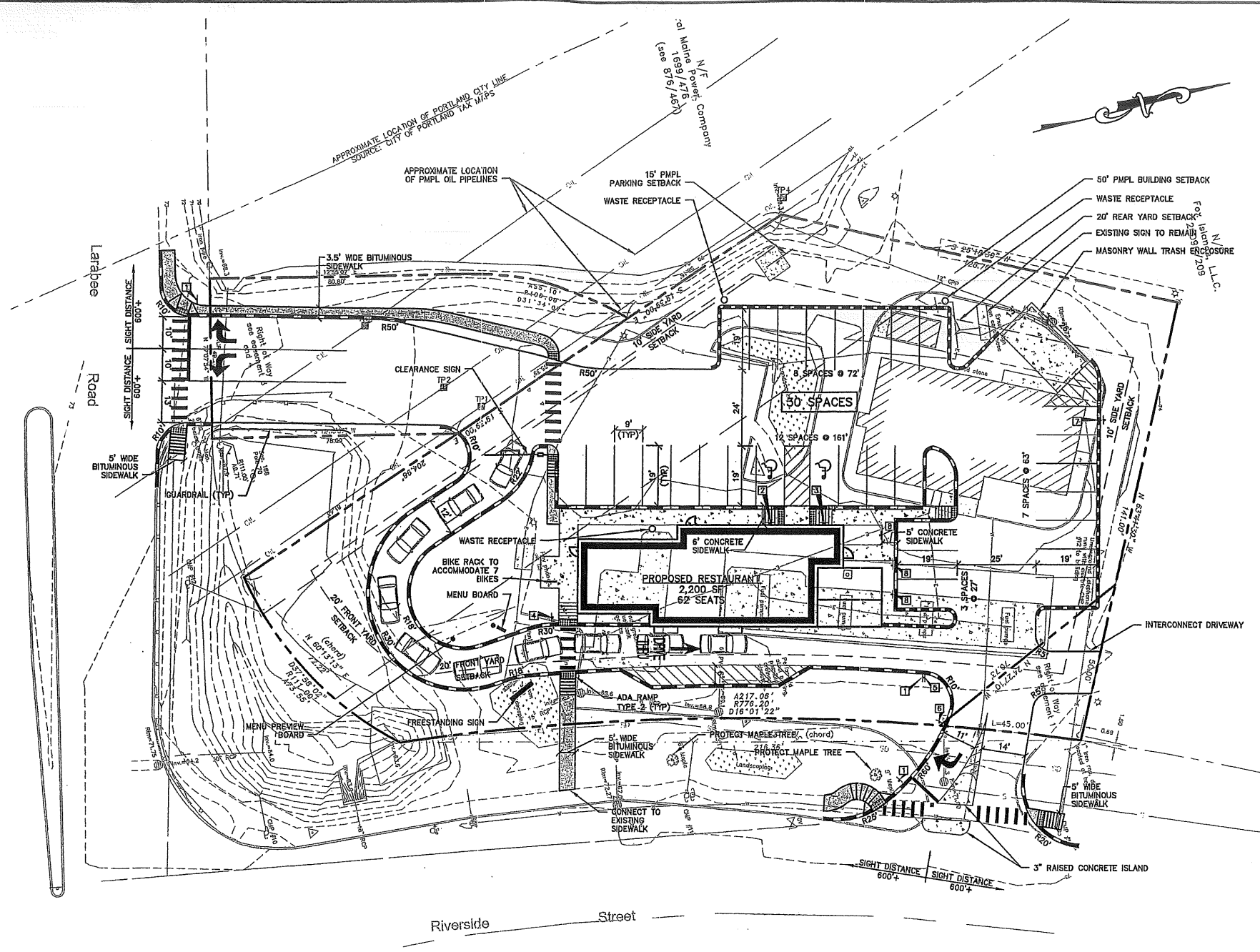
SITE DATA		
ZONE:	COMMERCIAL (B-4) ZONE	
ADDRESS:	132 RIVERSIDE STREET	
BUILDING AREA	RESTAURANT 2,200 SF	
PARKING	REQUIRED	PROVIDED
NEW STRUCTURE		
TOTAL PARKING		
RESTAURANT (1 SP / 150 SF)	15	30
HANDICAPPED SPACES	2	2

CURBING LEGEND	
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	MONOLITHIC CONCRETE CURB

SIGN LEGEND			
R1-1 30"x 30"	R7-8 12"x 18"	R7-8 12"x 18"	W11-2 30"x 30"
R5-1 30"x 30"	R3-2 24"x 24"	18"x 18"	18"x 12"

NOTES:

- UTILITY WORK SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES/DISTRICTS.
- MOUNT ADA PARKING SIGNS ON BUILDING
- NOTIFY PORTLAND PIPELINE (PMP) 72 HOURS PRIOR TO STARTING CONSTRUCTION.
- ALL CURBGRAPS SHALL HAVE VERTICAL GRANITE CURB INSTALLED FLUSH AT THE LOWEST END OF EACH RAMP.



S:\land Projects\1958-30\DWG\1958-SP.dwg - Oct 14, 2008 - 8:26am

Rev.	Date	Revision
1	9/23/08	ADDED SIDEWALK AT LARABEE ROAD ENTRANCE

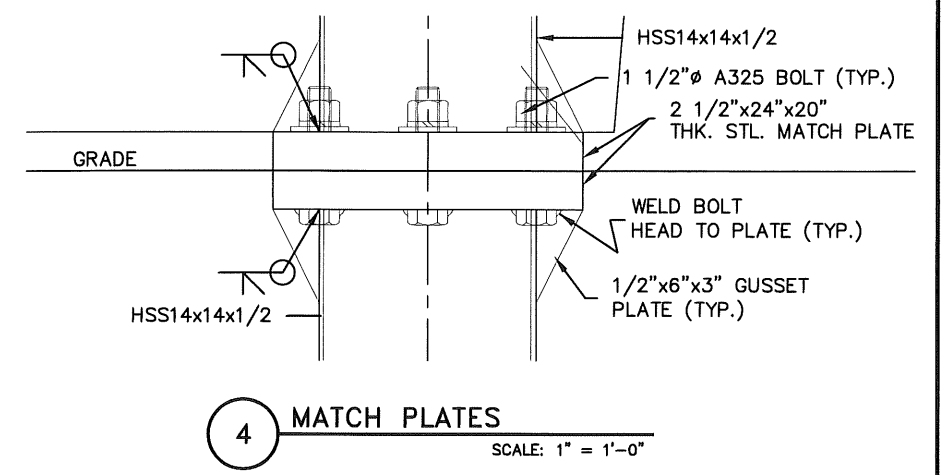
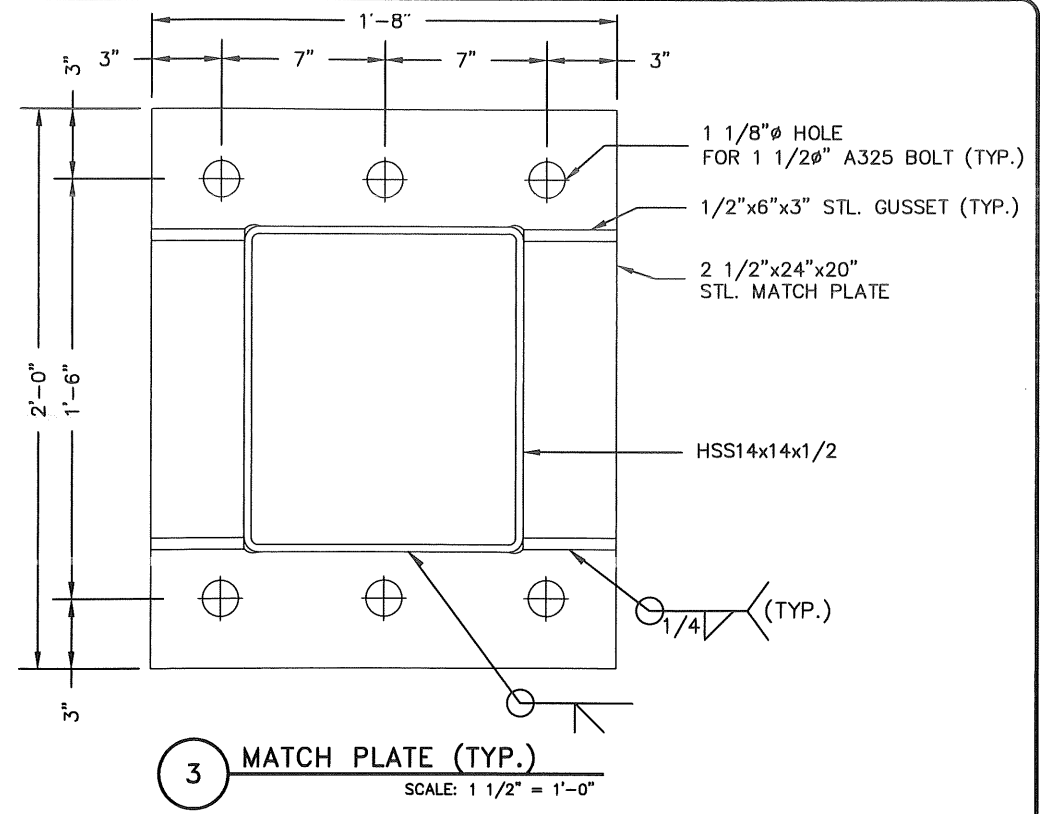
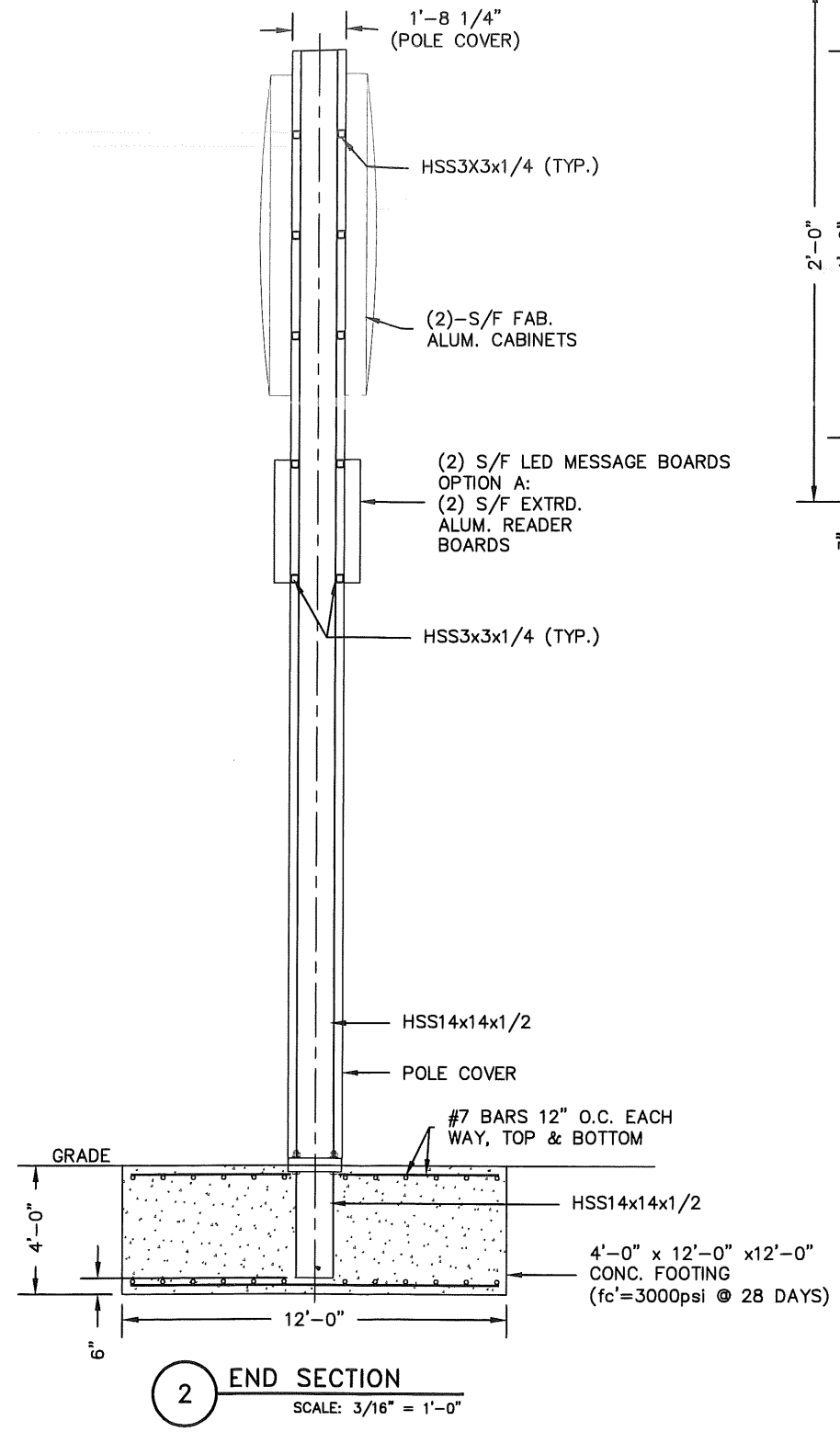
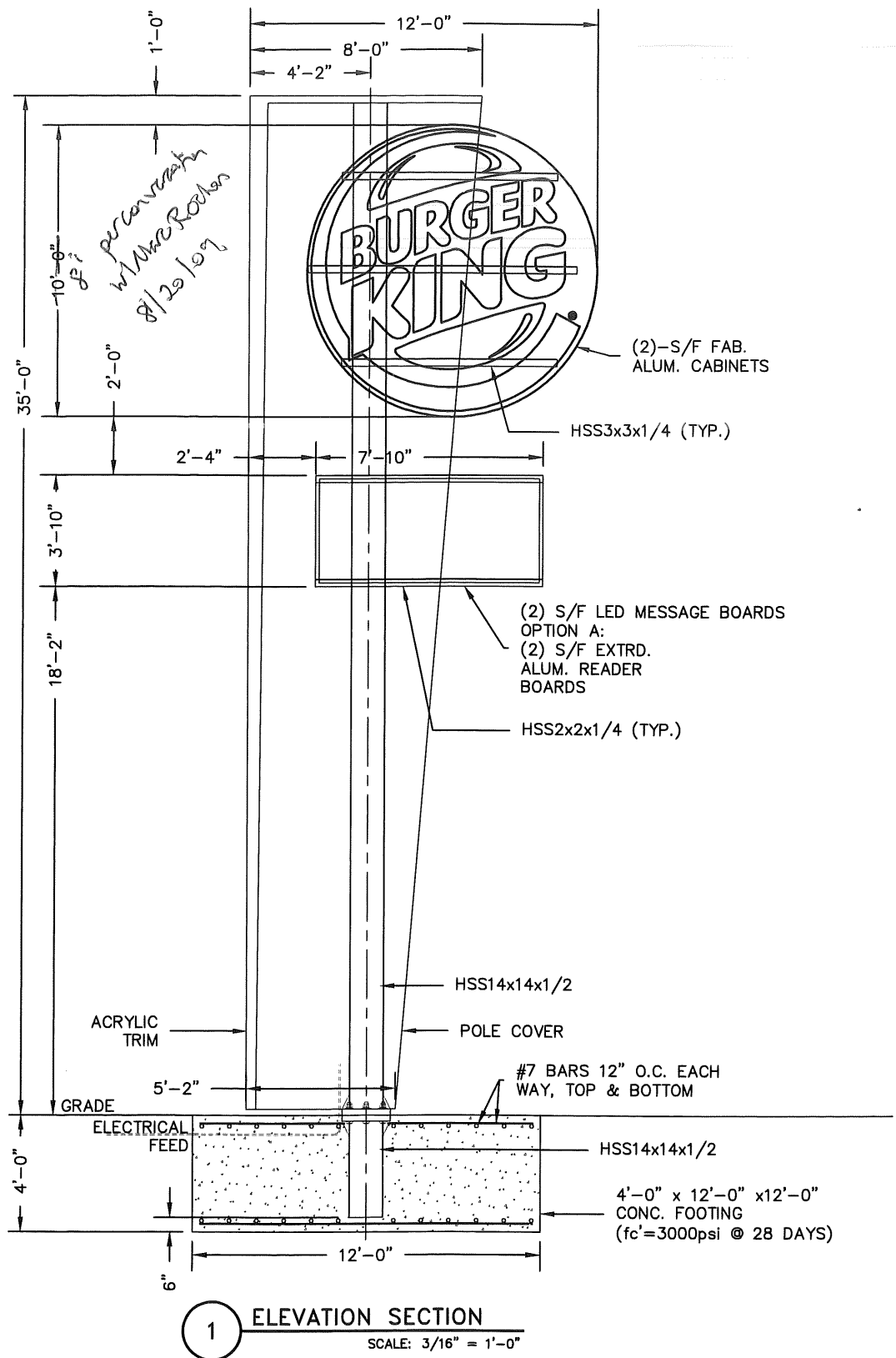
RESPONSE TO COMMENTS	Date	By
CITY OF PORTLAND SITE PLAN REVIEW	04/30/08	WCH

Design: RJB Draft: JBC Date: MAR 2008
 Checked: WCH Scale: 1" = 20' Job No.: 1958
 File Name: 1958-SP.dwg
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

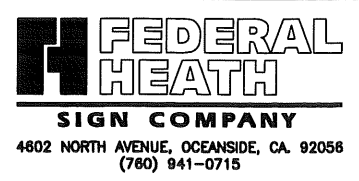
GP Gorrill-Palmer Consulting Engineers, Inc.
 Transportation and Civil Engineering Services
 PO Box 1237 207-657-6910
 15 Shaker Road 207-657-6912
 Gray, ME 04039 E-Mail: mail@gorrillpalmer.com

Drawing Name: **Site Plan**
 Project: **Proposed Restaurant**
 Client: **Mastoran Corporation**
 822 Lexington Street 2nd Floor - Waltham, MA 02452-4848

Drawing No. **C101**



- GENERAL NOTES:
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE.
 - STRUCTURAL STEEL SQUARE TUBE SHALL CONFORM TO ASTM A500 GRADE B, FY=46 KSI MIN.
 - STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36.
 - WELDING SHALL CONFORM TO AWS D 1.1 & AISC SPECS.
 - ALL WELDING TO BE PERFORMED BY CERTIFIED WELDER.
 - ISOLATE ALUMINUM FROM STEEL.
 - ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
 - ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF UL48 AND SECTION 600 OF NEC.
 - UL AND DATA LABELS REQUIRED.
 - SIGNS TO BE 6-FT HORIZONTAL & 12-FT VERTICAL FROM HIGH VOLTAGE WIRES.
 - CONCRETE TO HAVE F'C=3000 PSI MIN. @ 28 DAYS.



This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the permission of Federal Heath Sign Company LLC or its authorized agent. ©

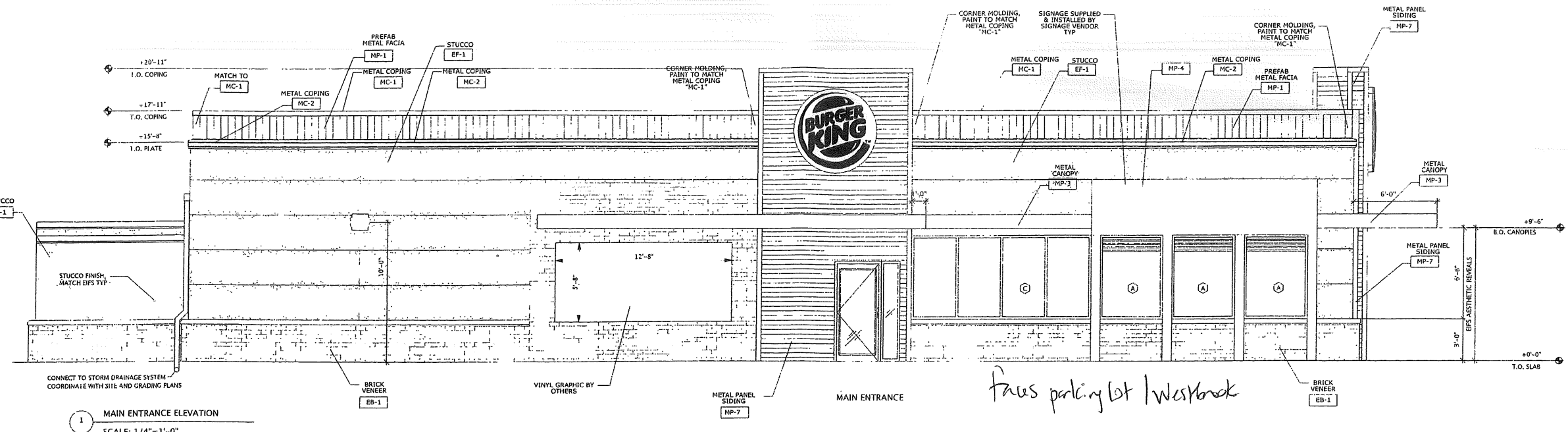
NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			



132 RIVERSIDE ST.
PORTLAND, ME

DESIGN NO: S-083609	PROJECT MGR.: F. PAUL
DRAWN BY: PH	DATE: 8/4/09
JOB NO: 23-86182	

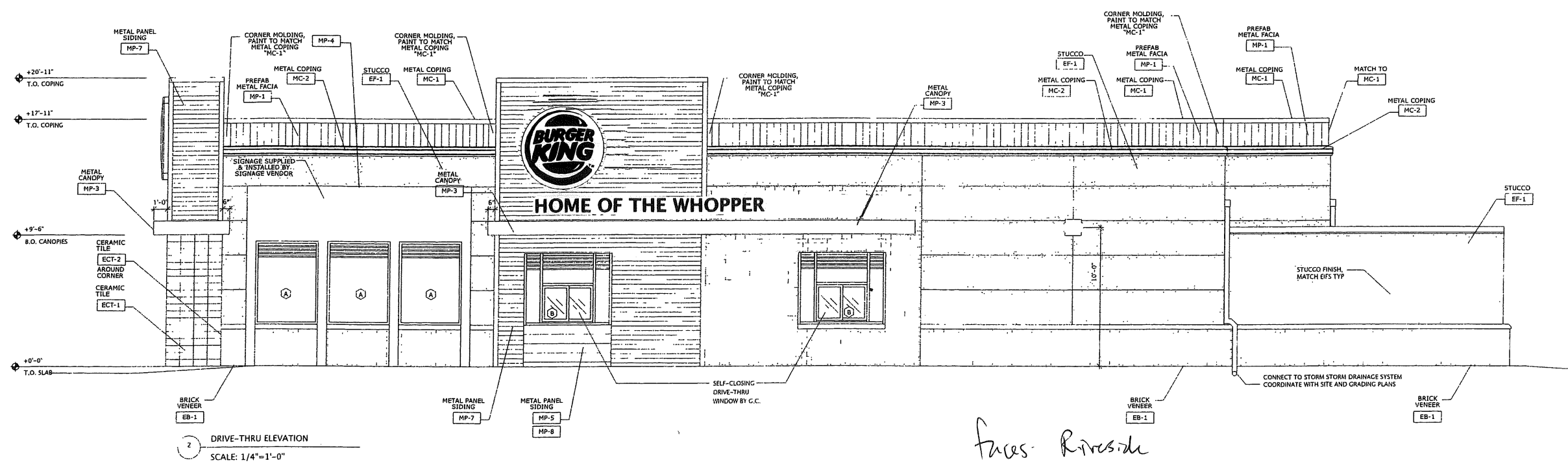
SHEET NO: S-1
OF: 1



1 MAIN ENTRANCE ELEVATION
SCALE: 1/4"=1'-0"

NOTE
SEE SHEET A-201 FOR EXTERIOR MATERIALS
AND FINISH SCHEDULE

faces parking lot Westbook



2 DRIVE-THRU ELEVATION
SCALE: 1/4"=1'-0"

faces Riverside

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F: 207.221.2266
Web: www.allied-eng.com

REGISTERED ARCHITECT
ROBERT HOWE
No. 1241
STATE OF MAINE

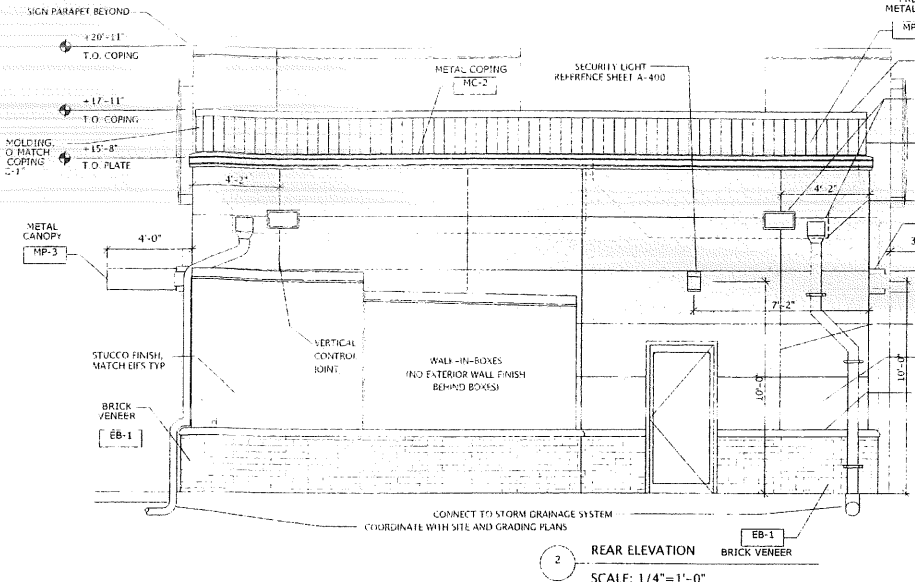
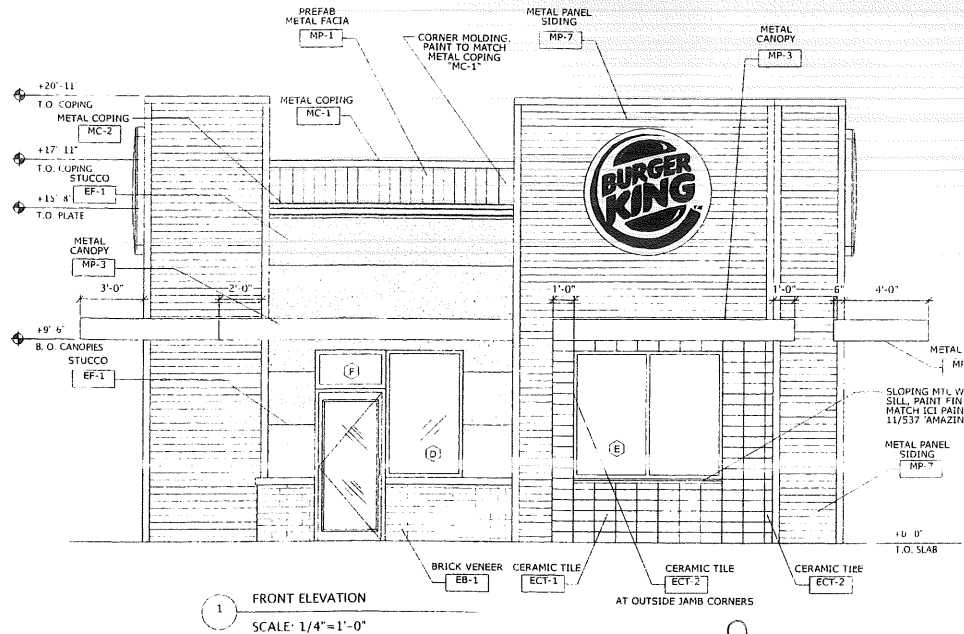
REVISIONS	DESCRIPTION

Date: 06-17-2009
Drawn By: XXX
Checked By: XXX
Project Mgr: WFF
Project No: 08063
Cad File: HKTA2009D12
Graphic Scale: 0 1'
Scale: 1"=1'-0"

MAIN ENTRANCE ELEVATION
DRIVE THRU ELEVATION

BURGER KING
132 RIVERSIDE STREET
PORTLAND, MAINE

A-200



faces Larrabee

EXTERIOR MATERIALS & FINISH SCHEDULE						
CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	ADDITIONAL INFORMATION
EB-1	EXTERIOR BRICK	GENERAL	MORIN BRICK COMPANY	FACE BRICK	OLD PORT BLEND NARROW FLASH	CONTACT: MORIN BRICK COMPANY
ECT-1	EXTERIOR CERAMIC TILE	ACCENT AT THE DRIVE THROUGH	CERAMIC EXPRESSIONS	NORTHERN LIGHTS	LIPSTICK	CONTACT: HAMILTON PARKER COMPANY (614) 358-7834
ECT-2	EXTERIOR CERAMIC TILE	ACCENT AT THE DRIVE THROUGH	CERAMIC EXPRESSIONS	NORTHERN LIGHTS	Q1 665 BULLNOSE CORNER PIECE	NOTE: USE WITH GR-2 ON EXTERIOR FINISH SCHEDULE
EP-1	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH ICI PAINT 20YY 41/165	CONTACT: STO CORP (407) 466-5371
EP-1	EXTERIOR PAINT	METAL PANEL MP-1	PPG	CORAFLOX ADS	CAMEL TAN TEXTURE: FINE SAND COLOR TO MATCH ICI PAINT #04YR 11/537	CONTACT: PPG INDUSTRIES (513) 543-2555 **NOTE: FABRICATOR TO PREP PANEL ACCORDING TO PAINT MANUFACTURER'S INSTRUCTION. FABRICATOR TO APPLY CORAFLOX ADS BONDING PRIMER PRIOR TO PAINT APPLICATION. APPLY CORAFLOX ADS TOP COAT AS A FINAL FINISH
EP-2	EXTERIOR PAINT	CONCRETE BLOCK AT EXTERIOR WASTE RECEPTACLE	ICI PAINT	PRIMER: BLOXFIL 4000 INTERIOR/EXTERIOR HEAVY DUTY ACRYLIC BLOCK FILLER - #4000-1000 PAINT: DULUX PROFESSIONAL EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	ICI PAINT 20YY 41/165 CAMEL TAN	CONTACT: ICI PAINTS (937) 604-0004
GL-1	EXTERIOR GLAZING	GENERAL	VANCEVA	COMPOSITES USED FOR LAMINATED GLASS	COLOR: CLEAR	
GR-1	GROUT	BRICK	FLAMINGO-BRIXMENT	COLOR CEMENT	C-224	CONTACT: MORIN BRICK COMPANY
GR-2	GROUT	CERAMIC TILE	BONSAL	B7000 EPOXY GROUT	49 ONYX BLACK	NOTE: USE WITH ECT-1 ON EXTERIOR FINISH SCHEDULE
MC-1	METAL COPING	TOP OF LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30	CONTACT: W.P. HICKMAN COMPANY (828) 274-4000 WWW.WPH.COM
MC-2	METAL COPING	BELOW LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	SILVERSMITH ***SEE NOTE	CONTACT: W.P. HICKMAN COMPANY (828) 274-4000 ***NOTE: HICKMAN TO PROVIDE FACTORY FINISH FASCIA TO MATCH ICI PAINT 20YY 41/165, CAMEL TAN
MP-1	CORRUGATED METAL PANEL	ACCENT PANEL LIGHT BAND	GALVANIZED STEEL	TO BE PAINTED EP-1	2-1/2" FLUTE SPACING 24" MATERIAL HEIGHT	ONE PIECE BOX UNIT INCLUDING LED LIGHTS, CORRUGATED PANEL, & HOUSING
MP-2	CORRUGATED METAL PANEL	EXTERIOR GENERAL	CENTRIA	CONCEPT SERIES, UNINSULATED	9916 RICH BLACK	CONTACT: CENTRIA (513) 793-9160
MP-3	METAL CANOPY	DRIVE THROUGH WINDOW ENTRANCE	UNI-STRUCTURES	CS-660 CUSTOM	COLOR: CLEAR ANODIZED	CONTACT: UNI-STRUCTURES NOTE: UNI-STRUCTURES TO COORDINATE DESIGN, COLORS & MATERIALS WITH ENGINEER PRIOR TO FABRICATION
MP-4	METAL PANEL	WINDOW SHROUDS	ALUCABOND OR EQUAL	PANEL EXTRUSIONS BY G.C.		FINISH TO MATCH TIGER DRYLAC RAL 9005 BLACK
MP-5	METAL PANEL	DRIVE THROUGH BELOW WINDOW	CENTRIA	CONCEPT SERIES, UNINSULATED	9946 SILVERSMITH	CONTACT: CENTRIA (513) 793-9160
MP-6	METAL PANEL	DRIVE THROUGH ORDER POINT	CENTRIA	CONCEPT SERIES, UNINSULATED	9916 RICH BLACK	CONTACT: CENTRIA (513) 793-9160
MP-7	CORRUGATED METAL PANEL	EXTERIOR GENERAL	CENTRIA	IW SERIES, UNINSULATED	9916 RICH BLACK	CONTACT: CENTRIA (513) 793-9160
MP-8	METAL PANEL	DRIVE THROUGH BELOW WINDOW	CENTRIA	IW SERIES, UNINSULATED	9946 SILVERSMITH	CONTACT: CENTRIA (513) 793-9160
MP-9	METAL PANEL	DRIVE THROUGH ORDER POINT	CENTRIA	IW SERIES, UNINSULATED	9916 RICH BLACK	CONTACT: CENTRIA (513) 793-9160
SF-1	STOREFRONT	GENERAL	KAWNEER		CLEAR ANODIZED	CONTACT: THE KAWNEER COMPANY, INC. (440) 446-0900

EXTERIOR BUILDING FINISH SPECIFICATIONS

EXTERIOR FINISH
 WITH E.F.S. FINISHES, USE HIGH IMPACT REINFORCING MESH FROM BRICK TO 6'-0" A.F.F.. PROVIDE STUCCO CONTROL JOINTS AS REQUIRED. STUCCO OR EPS TO BE PAINTED. SEE FINISH SCHEDULE.
 PROVIDE OWNER'S STANDARD E.F.S. SYSTEM AS MANUFACTURED BY STO CORP.

MASONRY SPECIFICATION AT WALL BASE
 FACE BRICK: ASTM C 216, GRADE SW, TYPE FBS EXTRUDED UNIT (COMPRESSIVE STRENGTH 8000 PSI), RATED "NOT REFERENCED" BY ASTM C 87 TESTING.
 SIZE: MODULAR 8 1/2 TO 3 5/8 INCHES WIDE BY 7 1/2 TO 7 5/8 INCHES LONG.
 PRODUCTS: OLD PORT BLEND, NARROW FLASH RANGE BY MORIN BRICK COMPANY OR EQUAL.
 PROVIDE SOLID UNITS WITHOUT CORES FOR APPLICATIONS WHERE BRICK IS RECESSED, CORBELLED OR USED AS WINDOW SILL.
 PROVIDE SPECIAL SHARES WHERE STRETCHER UNITS CANNOT ACCOMMODATE SPECIAL CONDITIONS OR WHERE SAWING WOULD RESULT IN SAWED SURFACES BEING EXPOSED TO VIEW.
 PORTLAND CEMENT: ASTM C 150, TYPE I OR II.
 HYDRATED LIME: ASTM C 207, TYPE S.
 PORTLAND CEMENT-LIME MIX: ASTM C 130, TYPE III OR TYPE III-M, TYPE S MASONRY CEMENT.
 AGGREGATE FOR MORTAR: ASTM C 144 (ASTM C 104 FOR GROUT).
 WATER: POTABLE.
 MASONRY FLASHING: RUBBERIZED-ASPHALT COMPOUND BONDED TO HIGH DENSITY CROSS-LAMINATED POLYETHYLENE FILM, THICKNESS 0.040 INCH.
 DUK-O-BARRIER: DUK-O-WALL, INC.
 PERMA-A-BARRIER WALL FLASHING, W.R. GRACE & CO.
 PERMA-BARRIER SELF-ADHESING WALL FLASHING, POLYTECH MANUFACTURING CORP.

DELIVERY DOOR, TRASH GATE, SCUPPERS AND DOWNSPOUTS
 GLOSS EXTERIOR ENAMEL FOR METAL SURFACES. COLOR TO MATCH ICI PAINT 20YY 41/165 CAMEL TAN.

REVISIONS	DESCRIPTION	DATE	BY	NUMBER

Date: 06-17-2009
 Drawn By: XXX
 Checked By: XXX
 Project Mgr: WPF
 Project No: 08063
 Cad File: HKTAAZ009012
 Graphic Scale: 1" = 1'-0"

**FRONT & REAR ELEVATIONS
 EXTERIOR MATERIALS & FINISHES**

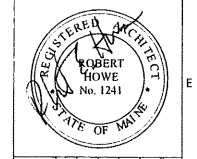
BURGER KING
 132 RIVERSIDE STREET
 PORTLAND, MAINE

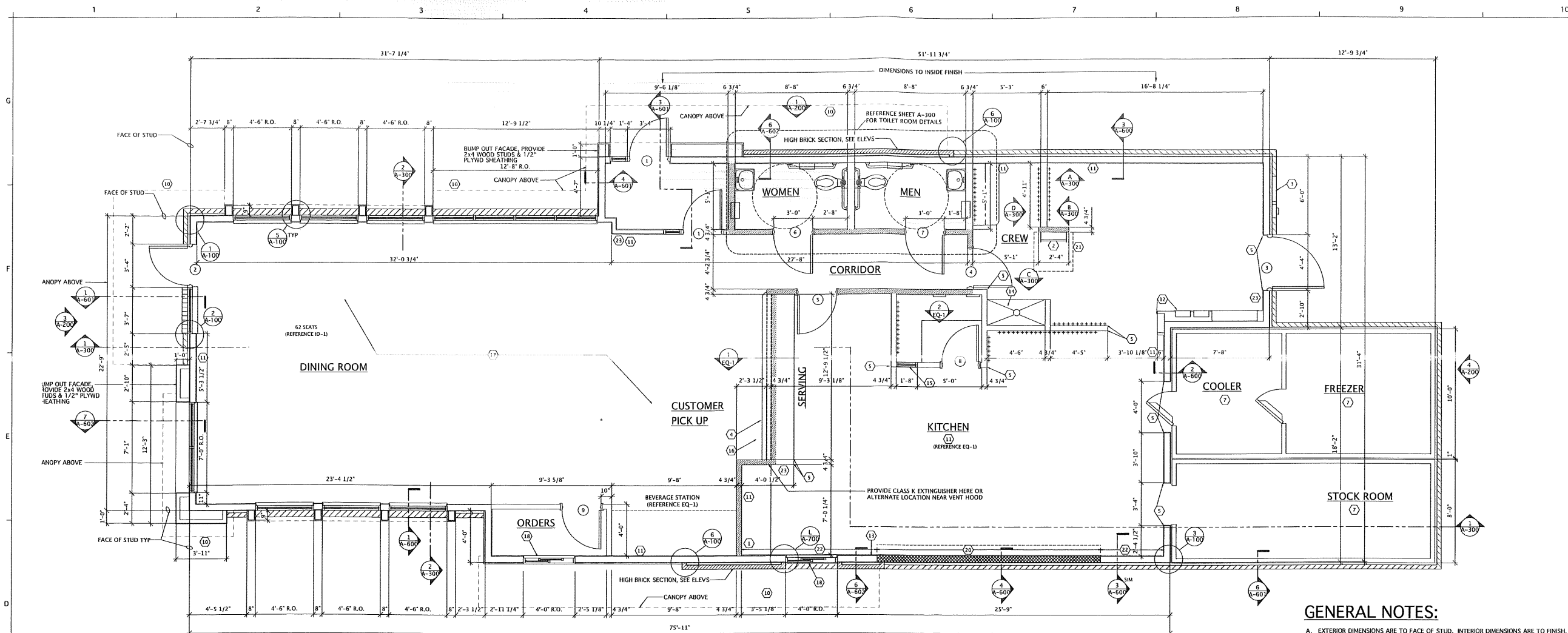
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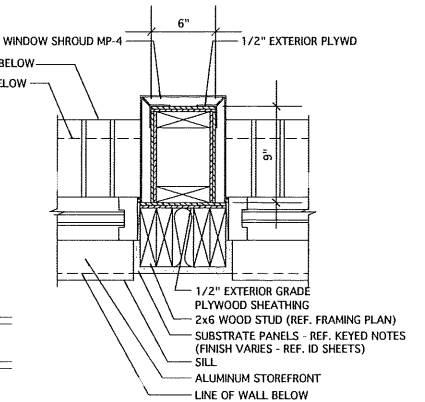
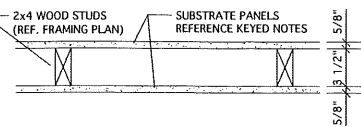
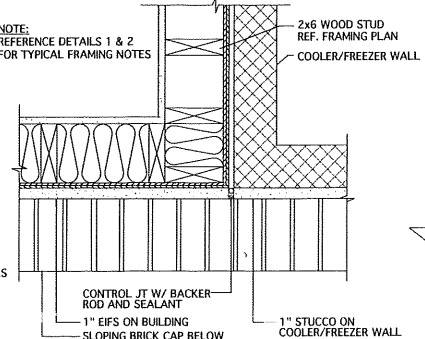
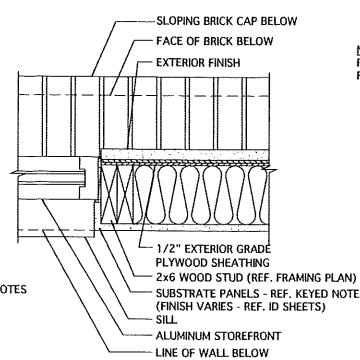
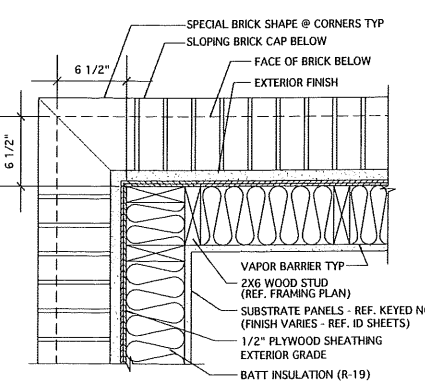
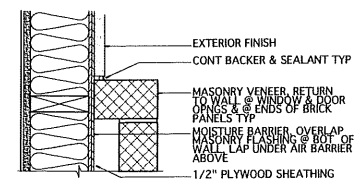
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FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 2752 S.F.

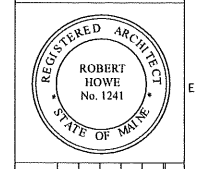


- GENERAL NOTES:**
- EXTERIOR DIMENSIONS ARE TO FACE OF STUD. INTERIOR DIMENSIONS ARE TO FINISH.
 - OVERALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF STUD. SEE STRUCTURAL DRAWINGS FOR FACE OF FOUNDATION WALL BELOW.
 - ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
 - FIRE EXTINGUISHER SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. PROVIDE CLASS K EXTINGUISHER IN KITCHEN NEAR VENT HOOD. ELEVATION OF DRIVE-THROUGH LANE 2" (MAXIMUM) BELOW FINISH FLOOR ELEVATION. DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED.
- KEYED NOTES:**
- PROVIDE 10"x10" FINISHED OPENING THRU WALL CENTER AT 1'-11" A.F.F. FOR ROUTING OF UTILITIES.
 - LADDER TO ROOF.
 - ELECTRIC SERVICE. REFER TO ELECTRICAL DRAWINGS
 - PARTITION BELOW COUNTER BY G.C., REFER TO DETAIL 1 SHEET EQ-1.
 - CORNER GUARDS - RIGID EXTRUDED PVC, REFER TO DETAIL 3 SHEET EQ-1.
 - MENU BOARD BULKHEAD ABOVE, REFER TO DETAIL 1 SHEET A-400.
 - EXTERIOR WALK-IN BOX W/FLOOR ON CONC. SLAB. VERIFY SIZE W/MANUFACTURER
 - PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
 - /// WALL INDICATED WITH HATCH TO BE FRAMED AND FINISHED TO ROOF DECK. LINE OF CANOPY ABOVE.
 - SUBSTRATE PANELS:
KITCHEN - CREW - RESTROOMS
5/8" USG 'DUROCK' PANELS AT FINISH FLOOR TO 2'-0" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 2'-0" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USG 'FIBEROCK' PANELS IN LIEU OF DUROCK.
DINING ROOM - CORRIDOR - VESTIBULE
5/8" TYPE USG 'SHEETROCK', 'X' GYPSUM WALL BOARD.
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED WITH CORONADO AIR ASSIST TIP (Z-122KD) OR EQUAL.
 - RECESSED ELECTRICAL CONTACTOR PANEL & PANELS 'A', 'B', & 'M' IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.
 - STAINLESS STEEL PANELS BELOW AND 18" WIDE AT EACH SIDE OF HOOD SUPPLIED BY HOOD MANUFACTURER AND INSTALLED BY G.C.
 - CAN WASH - DUROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
 - OFFICE WINDOW. REFERENCE SHEET A-700
 - COUNTER BY DECOR SUPPLIER OR G.C.
 - TILE FLOOR (REF. SPECIFICATIONS, SHIT ID SHEETS)
 - DRIVE-THRU SLIDING WINDOW.
 - +++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F., BEHIND 3 COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 6'-8" A.F.F. TO BOTTOM OF ROOF TRUSS. NOTE: PLYWOOD BACKING TO BE FULL HEIGHT ON BOTH SIDES CREW ROOM WALL.
 - USG 5/8" DUROCK (BOTH SIDES) ON 6" CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND AS SHOWN (18" BEYOND EACH END OF HOOD).
 - LOCATION OF ROOF HATCH ABOVE.
 - PROVIDE 1 LAYER OF 1/2" GWB ON INSIDE FACE OF WOOD STUDS AT EITHER SIDE OF METAL STUDS FOR FLUSH SURFACE TO INSTALL FINISH 5/8" GWB. 5/8" GWB FACE TO ALIGN WITH FACE OF DUROCK SHEATHING ON METAL STUDS.
 - FIRE EXTINGUISHER LISTED AND LABELED BY FM: J.L. INDUSTRIES; COSMOPOLITAN SERIES 1037F17
LARSENS; ARCHITECTURAL SERIES SS 2409-6R
POTTER-ROEMER; ALTA SERIES 7062-A-2
PROVIDE WALL MOUNT BRACKET FOR EACH INSTALLATION, COORDINATE LOCATIONS W/ OWNER
PROVIDE CLASS K FIRE EXTINGUISHER NEAR KITCHEN HOOD WHERE NOTED ON PLAN.

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REVISIONS	DESCRIPTION	NUMBER	DATE	BY

FIRST FLOOR PLAN

BURGER KING
132 RIVERSIDE STREET
PORTLAND, MAINE

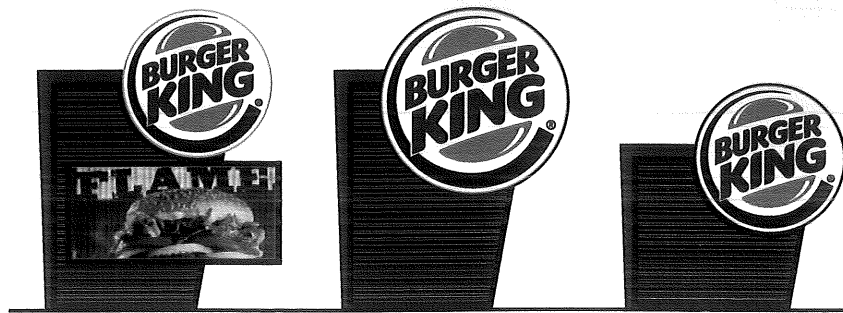
A-100



20/20
RESTAURANT IMAGE PROGRAM

SIGNS AND GRAPHICS

Allen Industries
Corporate Identity Programs



Various Roadside Monument Signs



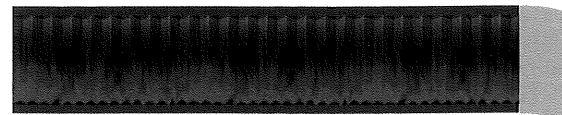
Logo Wall Signs in various sizes



OCU Drive Thru Pylon

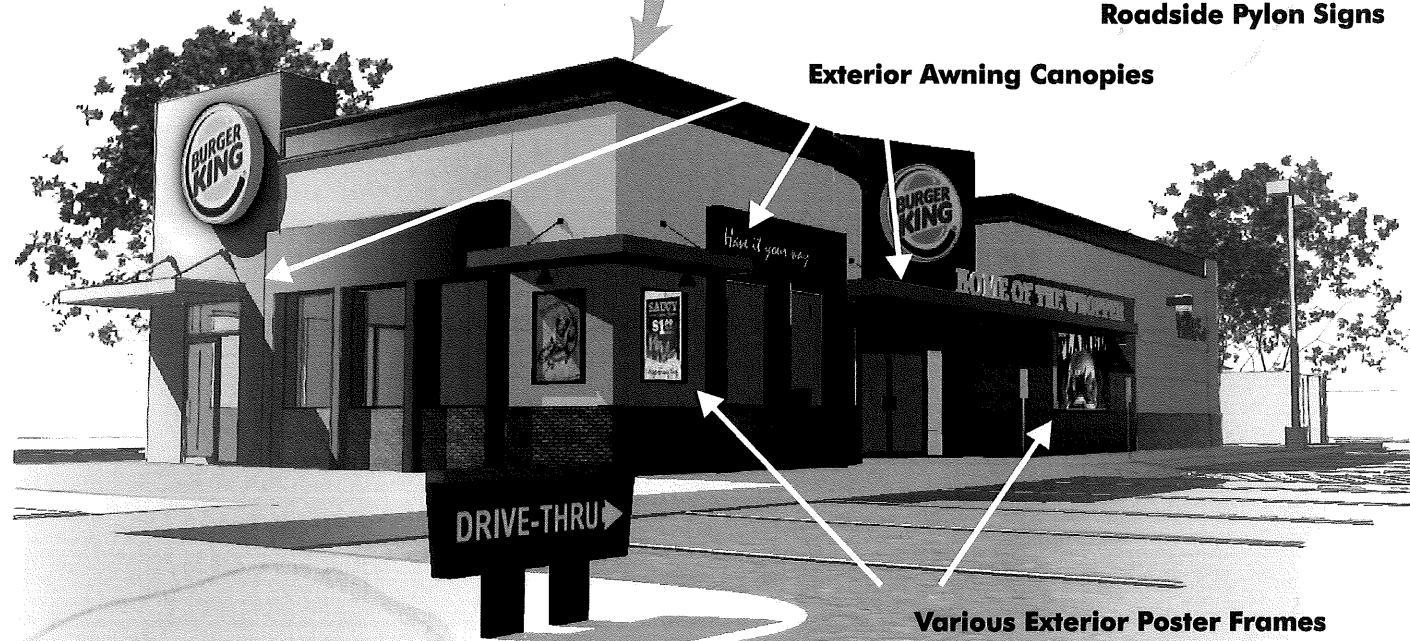


Roadside Pylon Signs

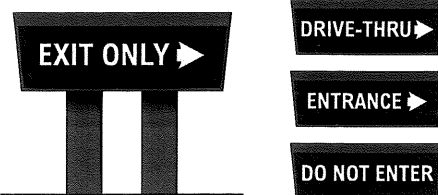


Exterior Corrugated Fascia Bands (Parapet)

Exterior Awning Canopies



Various Exterior Poster Frames



Illuminated Directional Signs

HOME OF THE WHOPPER®

Have it your way.



Various Exterior Dimensional Graphics



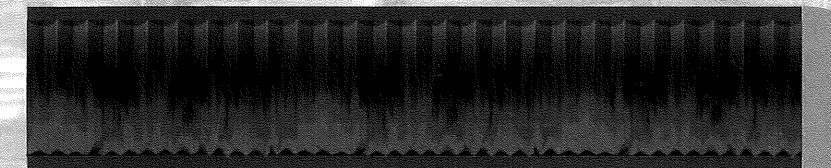
Interior Logo Display



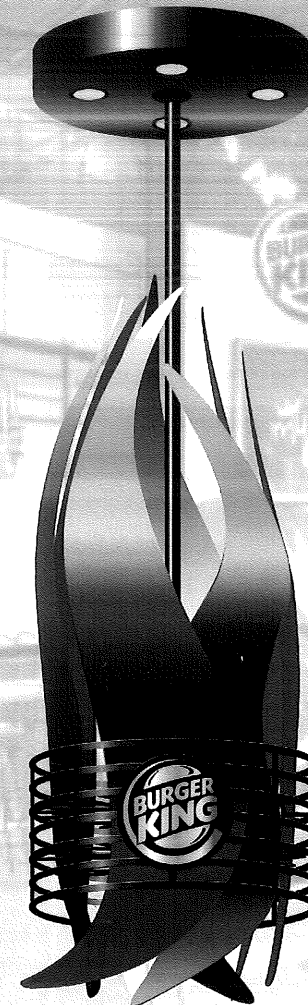
Various Entry Promo Graphics



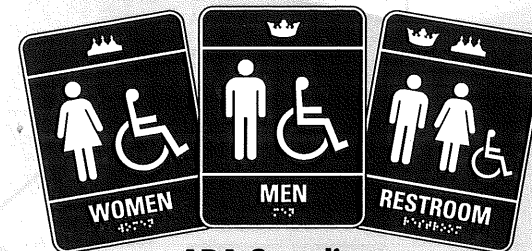
Artwork shown as black for clarity
Interior Soffit Vinyl



Interior Corrugated Fascia Bands (Parapet)



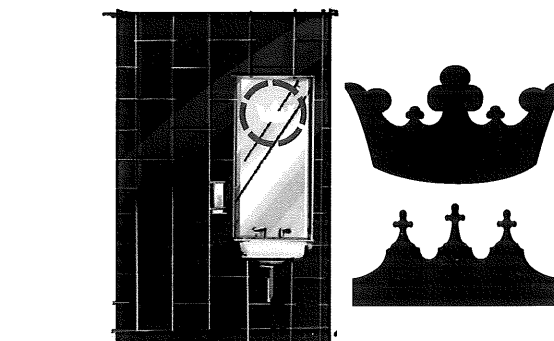
Flame Chandelier



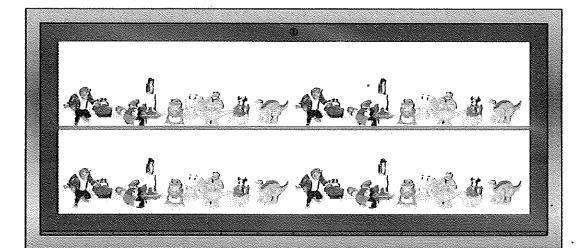
ADA Compliant Restroom Signs



Various Booth Dividers w/ Graphics



Restroom Mirror Graphics



Toy Display (PMU)



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