

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-447	Issue Date: NOV 27 2001	CBL: 266 A002001
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Location of Construction: 81 Riverside Ave	Owner Name: Harper Hotels Inc	Owner Address: Po Box 121 CITY OF PORTLAND	Phone: 774-5601
Business Name: Holiday Inn West	Contractor Name: HardyPond Construction	Contractor Address: 45 Bridgton Rd. Westbrook 04092	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-4

Past Use: hotel call 797-6066 when ready	Proposed Use: hotel site plan 2001-0244	Permit Fee: \$510.00	Cost of Work: \$81,000.00	CEO District: 3
Proposed Project Description: upgrade bathrooms to ADA, alterations to admin areas		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-1 Type: 3 BOCA 1999	

Signature: <i>UAMM</i>	Signature: <i>T. Mms</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 11/19/2001	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2001-0244 Maj. <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK</i> Date: 11/26/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

01-1447

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 81 RIVERSIDE ST HOLIDAY INN WEST

Total Square Footage of Proposed Structure 814 SQ FT Square Footage of Lot

Tax Assessor's Chart, Block & Lot
Chart# 266 Block# A Lot# 002
Owner: HARPER HOTEL, INC. Telephone: 774-5601

Lessee/Buyer's Name (if Applicable) / Applicant name, address & telephone: HOLIDAY INN WEST 81 RIVERSIDE ST PORTLAND, ME 04108
Cost Of Work: \$ 84,000
Fee: \$ 510.00

Current use: HOTEL Site Plan II
If the location is currently vacant, what was prior use: — 2001 0244
Approximately how long has it been vacant: —
Proposed use: HOTEL
Project description: UPGRADE BATHROOMS TO ADA.

Contractor's name, address & telephone: HARDYPOINT CONST
Who should we contact when the permit is ready: —
Mailing address: 45 BRIDGTON RD WESTBROOK, ME 04092 Phone: 797-6066

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 11/19/01

This is not a permit, you may not commence ANY work until the permit is issued

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

HARPER HOTELS, (WEST) 14 SEPT, 2001
 Applicant Application Date
81 RIVERSIDE ST., PORT., ME. ADD'NS & ALTS. TO TOILET-ADMIN AREA
 Applicant's Mailing Address Project Name/Description
JOHN H. LEASURE ARCH'T, INC. 81 RIVERSIDE ST, PORT, ME.
 Consultant/Agent Address Of Proposed Site
(207) 767. 4600 (RICH KELLY) HOTEL-774.5601 MAP-# 266, BLK- A, LOT #2
 Applicant/Agent Daytime telephone and FAX Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other(Specify) ADD'NS & ALTS. TO ADMIN
N.A. 3-4 A c ± B-4
 Proposed Building Square Footage and /or # of Units Acreage of Site Zoning

Major Site Plan _____
 Minor Site Plan

- You must include the following with you application:
- 1) A Copy of Your Deed or Purchase and Sale Agreement (INS.)
 - 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.
- (Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>John H. Leasure</u>	Date: <u>SEPT 14, 2001</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

HOLIDAY INN - WEST - 81 RIVERSIDE ST.
Project Name/Address of Project PORTLAND, ME.

I.d. Number _____

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
<u>N.A. (AVAIL ON REQUEST)</u>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<u>✓</u>	(2)	Name and address of applicant and name of proposed development	a
<u>✓</u>	(3)	Scale and north points	b
<u>✓</u>	(4)	Boundaries of the site	c
<u>✓</u>	(5)	Total land area of site	d
<u>N.A.</u>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
<u>N.A.</u>	(8)	Existing soil conditions	a
<u>N.A.</u>	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
<u>✓</u>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<u>N.A.</u>	(11)	Approximate location of buildings or other structures on parcels abutting the site	d
<u>✓</u>	(12)	Location of on-site waste receptacles	e
<u>N.A.</u>	(13)	Public utilities	e
<u>✓</u>	(14)	Water and sewer mains	e
<u>✓</u>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
<u>✓</u>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<u>✓</u>	(17)	Location and dimensions of on-site pedestrian and vehicular accessways	g
<u>✓</u>	(18)	Parking areas	g
<u>✓</u>	(19)	Loading facilities	g
<u>✓</u>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<u>✓</u>	(21)	Curb and sidewalks	g
<u>N.A.</u>	(22)	Landscape plan showing:	h
	(23)	Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
<u>✓</u>	(30)	Location and dimensions of all fencing and screening	i
<u>N.A.</u>	(31)	Location and intensity of outdoor lighting system	j
<u>N.A.</u>	(32)	Location of fire hydrants, existing and proposed	k
<u>✓</u>	(33)	Written statement	c
<u>N.A.</u>	(34)	Description of proposed uses to be located on site	l
<u>N.A.</u>	(35)	Quantity and type of residential, if any	l
<u>✓</u>	(36)	Total land area of the site	b2
<u>✓</u>	(37)	Total floor area and ground coverage of each proposed building and structure	b2
<u>✓</u>	(38)	General summary of existing and proposed easements or other burdens	c3
<u>✓</u>	(39)	Method of handling solid waste disposal	4

<u> </u> ✓	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
<u> </u> ✓	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
<u> </u> ✓	(42)	An estimate of the time period required for completion of the development	7
<u> </u> ✓	(43)	A list of all state and federal regulatory approvals to which the development may be subject	8
<u> </u> NA	(44)	The status of any pending applications	8
<u> </u> ✓	(45)	Anticipated timeframe for obtaining such permits	h8
<u> </u> NA	(46)	A letter of non jurisdiction	h8
<u>U.A. -</u> ✓	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions; and
- a wind impact analysis.

Other comments:

 THIS ADDITION/ALTERATION IS APPROX 600-700 SF,
 ON INTERIOR OF BLDG COURT, SUBJECT TO PLANNING &
 CODE ENFORCEMENT & ADA REGS.

 IT IS A MUCH NEEDED STEP BEFORE 2002 WHEN WE
 WILL APPLY FOR ALL ADDITIONS MARKED "FUTURE".

 THIS IS A MINOR SUB. IMPROVEMENT TO A LONG
 EXISTING PROPERTY. IF WE NEEDED ONLY ADA APPROVALS
 BEFORE WE APPLY TO CITY OF PORTLAND CODE ENFORCE-
 MENT. APPROX. TIME-FRAME OCT. 2001 - FEB 2002.

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
01/09/2001

PRODUCER (765)288-8802 FAX (765)286-3479

First Merchants Insurance Services, Inc.

P.O. Box 2279

First Merchants Bank Building

Muncie, IN 47307

Attn: John K. Parker

Ext: 3403

INSURED

Harper Hotels Inc.
Holiday Inn
125 E. Charles Street
Suite 200
Muncie, IN 47305

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A Northern Insurance Co. of New York
COMPANY B American Alternative Insurance
COMPANY C Maine Employers Mutual Insurance Co.
COMPANY D American Guarantee & Liability

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT	CMM95893807	12/31/2000	12/31/2001	GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
					PERSONAL & ADV INJURY \$ 1,000,000
					EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 1,000,000
					MED EXP (Any one person) \$ 10,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> GKLL	CMM 95893807	12/31/2000	12/31/2001	COMBINED SINGLE LIMIT \$ 1,000,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
B	EXCESS LIABILITY <input checked="" type="checkbox"/> UMBRELLA FORM OTHER THAN UMBRELLA FORM	16A2UM291	12/31/2000	12/31/2001	EACH OCCURRENCE \$ 10,000,000
					AGGREGATE \$ 10,000,000
					\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	1810051511	12/31/2000	12/31/2001	WC STATUTORY LIMITS OTH-ER \$
					EL EACH ACCIDENT \$ 500,000
					EL DISEASE - POLICY LIMIT \$ 500,000
D	OTHER Excess Liability	AVC374964200	12/31/2000	12/31/2001	EL DISEASE - EA EMPLOYEE \$ 500,000
					Limits included as shown above

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

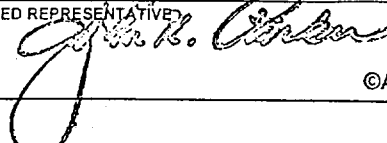
CERTIFICATE HOLDER

Holiday Inn-West
81 Riverside Street
Portland, ME 04103

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2001-0244

Application I. D. Number

09/14/2001

Application Date

81 Riverside St.

Project Name/Description

Harper Hotels Inc

Applicant

81 Riverside St., Portland, ME 04102

Applicant's Mailing Address

Leasure, John H.

Consultant/Agent

Applicant Ph: (207) 767-4600 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

81 - 81 Riverside Ave, Portland, Maine

Address of Proposed Site

266 A002001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) hotel

600-700 Sf

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Zoning Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions
See Attached Denied

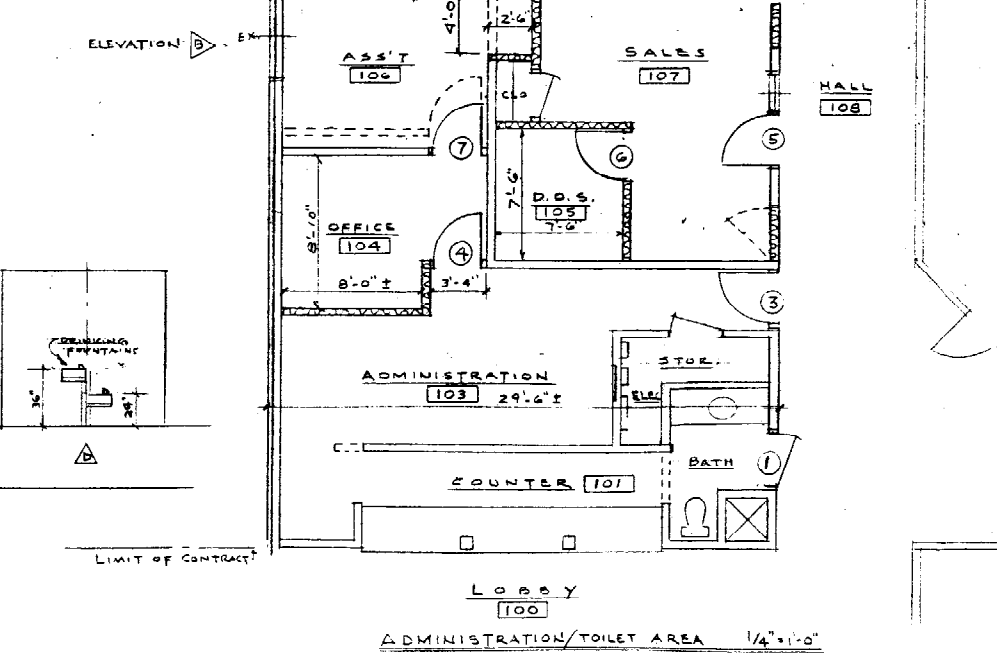
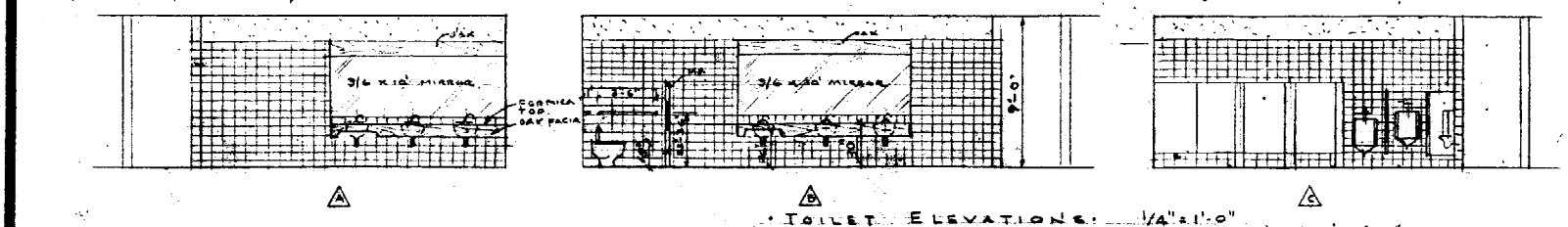
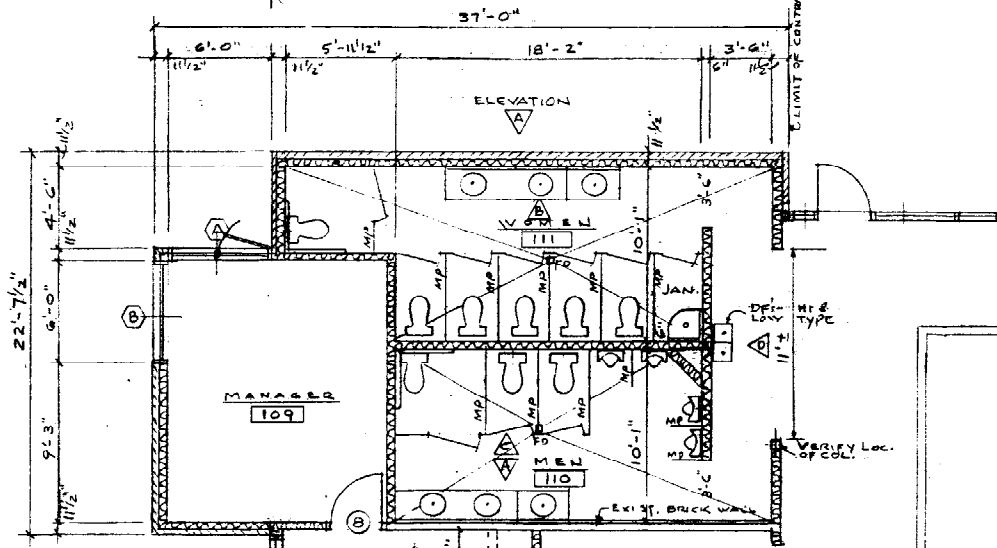
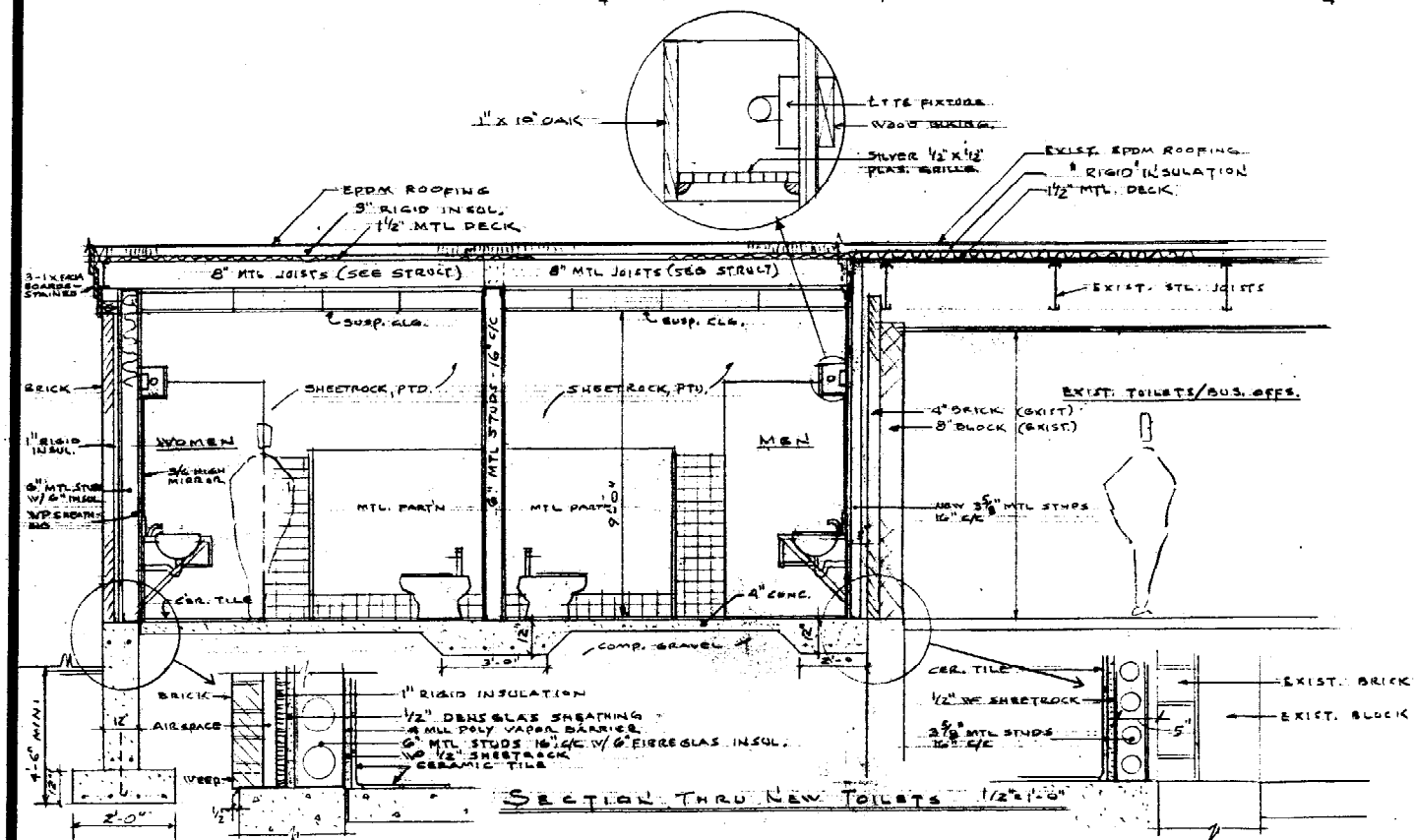
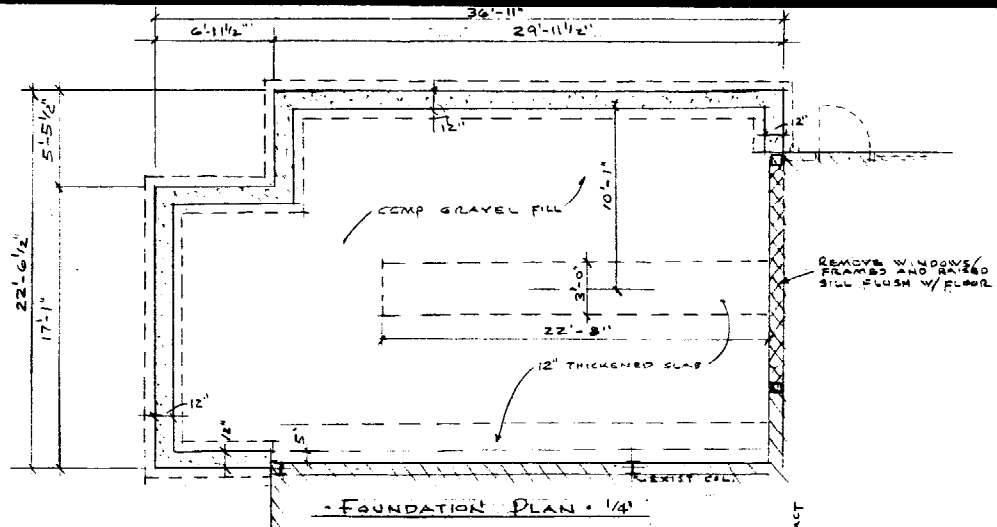
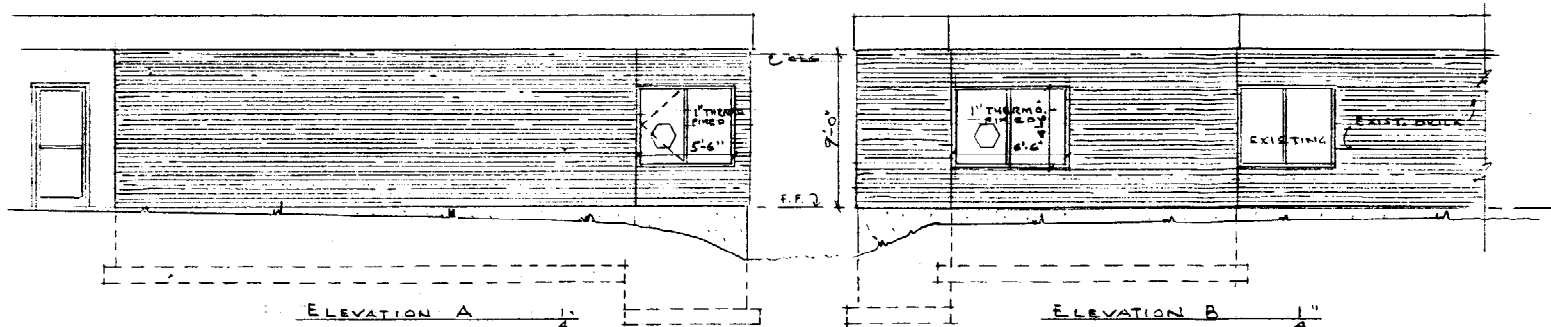
Approval Date 11/26/2001 Approval Expiration 11/26/2002 Extension to _____ Additional Sheets
Attached

Condition Compliance Marge Schmuckal 11/26/2001
signature  date

Performance Guarantee Required* Not Required

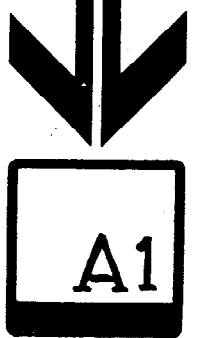
* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |



REV.	DATE	STATUS

JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106



• PUBLIC TOILET EXPANSION •
HOLIDAY INN - WEST
81 RIVERSIDE ST
PORTLAND, MAINE
NOV 14, 2001.

A1

GENERAL NOTES

- Structural drawings shall be used in conjunction with architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, doors, stairs, elevators, shafts, and other details not shown on structural drawings.
- All dimensions and materials must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shall be in accordance with drawings and specifications. Sections and details shall be in accordance with the manufacturer's written instructions.
- The structure is designed to be self-supporting and shall remain standing in its entirety after the building is completed. It is the contractor's sole responsibility to determine exact procedures and sequencing to ensure the safety of the building and its occupants during erection. This includes the location of necessary shoring, bracing, temporary bracing, jacks or beams. Such means shall remain the property of the contractor after completion of the work.
- All applicable federal, state, and municipal regulations shall be followed, including the federal requirement of labor occupations safety and health act.

DESIGN LOADS:

- Building Code - 2001 Basic Building Code (1997)
- Design Live Loads - (Should show load at all levels)
 - Roof - 20 psf + Drift
 - Office - 50 psf
 - Stairroom - 100 psf
- Design wind loads are based on exposure B using 35 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - a. Building framing system - Load bearing shear walls
 - b. Analysis procedure - Equivalent Lateral Force Procedure
 - c. Seismic hazard exposure group - II
 - d. Seismic performance category - "C"
 - e. Soil profile type - "S1"
 - f. Peak ground acceleration (PGA) - 0.10g
 - g. Peak acceleration (Acc) - 0.10g
 - h. Response modification factor (R) - 5.5
 - i. Deflection amplification factor (Ca) - 4

FOUNDATION NOTES

- Foundations have been designed conform with the bearing capacity indicated in BOCA 1999.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill.
- Soils on grade shall bear on a minimum of 8" of compacted structural fill overlaid with 4" of sand. If loose or undesirable fill are encountered at the sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings for vapor barrier requirements.
- Structural fill shall be used on all sections below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other undesirable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

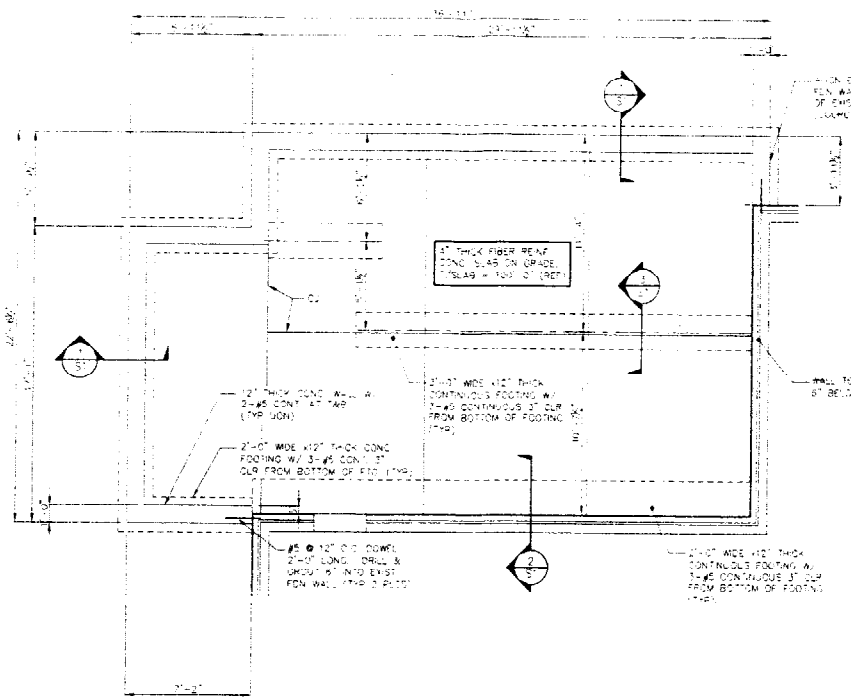
SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	75-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5
- Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self-propelled compaction equipment to approximate optimum moisture content (a dry density of at least 95% of the maximum in place dry density) as determined by the modified proctor test (ASTM D-1557).
- Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
 - a. 3000 psi for footings, frost walls and piers
 - b. 3000 psi for all slabs on grade
- All concrete shall be air entrained 5% to 6%.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars and shall be detailed, fabricated and erected in accordance with ACI 318-Latest edition.
- Welds and fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ASTM C-1115.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All accessories must be shown on the shop drawings. Submit (6) blue line prints and (1) reproducible (spec) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 8" minimum.
- Concrete finishes - See Architectural drawings for additional information.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing positions shall conform to ASTM A36.

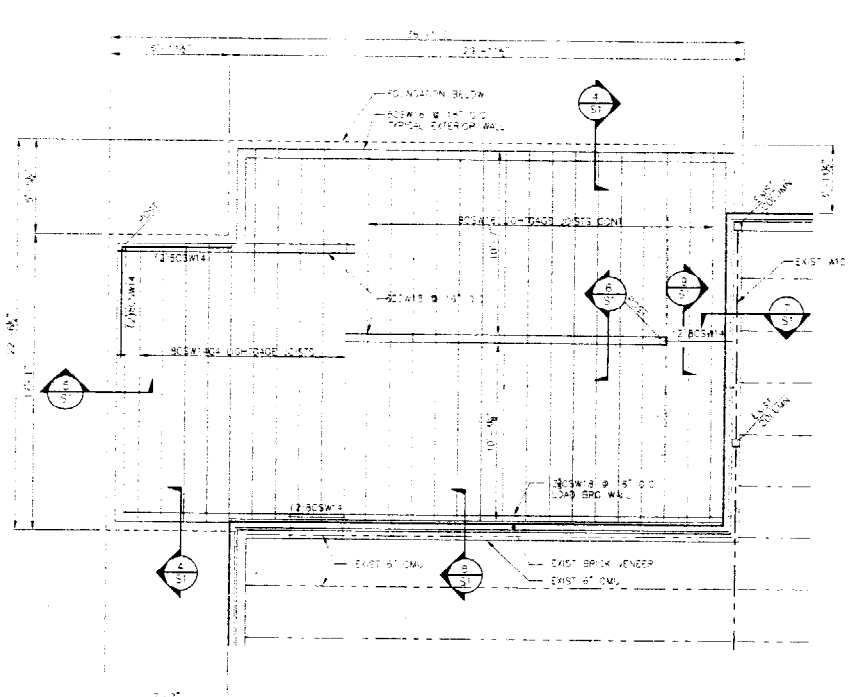
METAL DECK NOTES

- Steel roof deck shall be as indicated on plan by manufacturer or approved alternate. Steel deck units shall conform with the latest edition of the Design Manual for floor and roof decks by the steel deck institute. Steel floor deck shall be governed in accordance with ASTM A525 (90 coating).
- Fasten metal deck to all steel supports with #10 tens screws at 12" oc, unless otherwise indicated on plan.



FOUNDATION PLAN

NOTE 1 - (C) INDICATES CONTROL JOINT



ROOF FRAMING PLAN

NOTE 1 - ROOF DECK SHALL BE 1802 ONE ACTION TO STEEL JOISTS W/ #10 TENS SCREWS AT 12\"/>

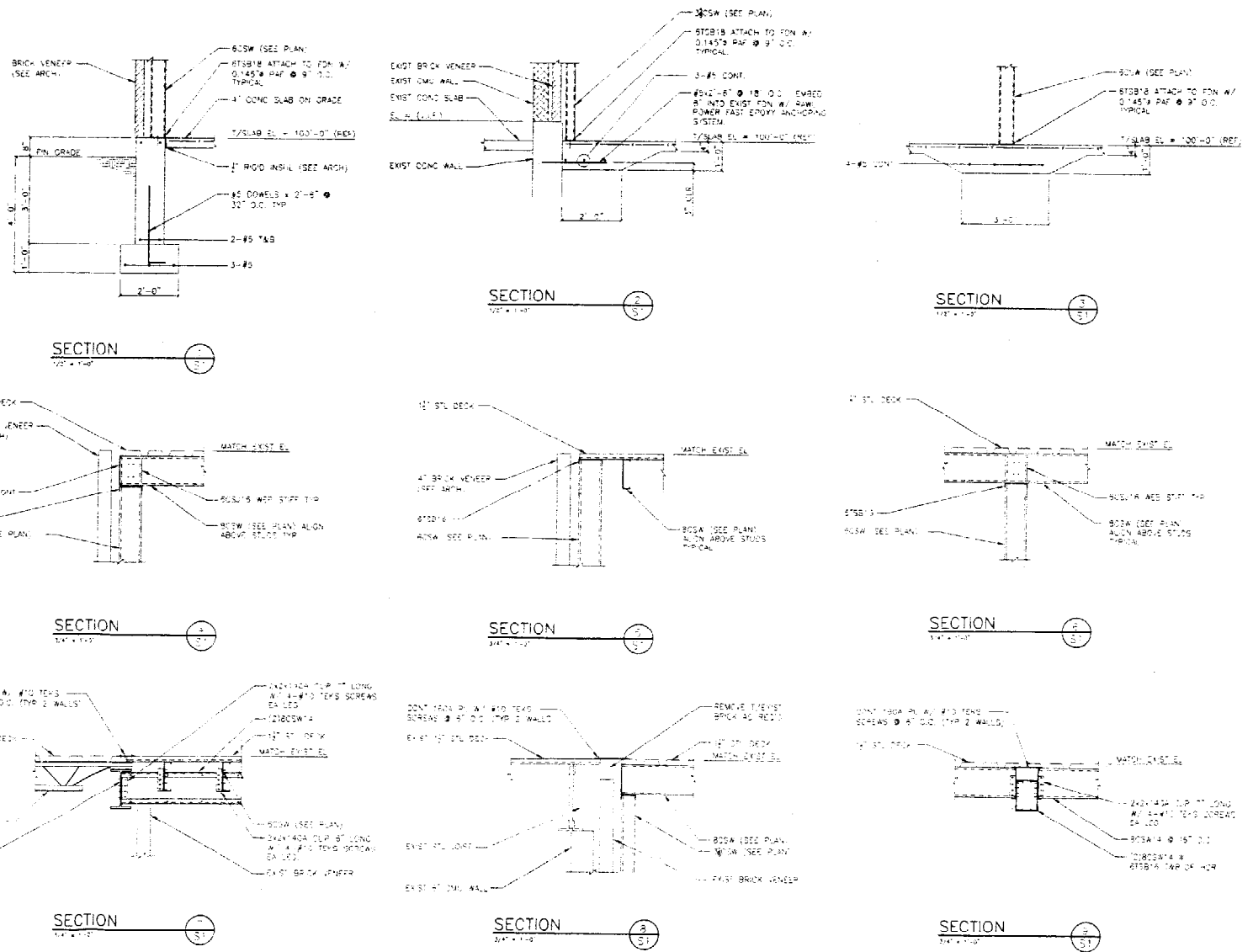
LIGHT GAUGE METAL FRAMING

GENERAL

- Acceptable light gauge Manufacturer - DIETRICH INDUSTRIES
- The extent of the work for the exterior metal stud wall system is detailed on the structural drawings. These notes shall be reviewed in conjunction with those drawings and the specifications.
- The following specifications and publications shall be followed:
 - a. American Iron and Steel Institute Cold Form Design Manual - Specification for the design of cold form steel structural members - latest edition.
 - b. American Society for Testing and Materials (ASTM)
 - c. American Institute of Steel Construction Manual of Steel Construction - ninth edition.
- Fabrication of light gauge steel shall conform with requirements of ASTM A446 with the following minimum yield points (F_y):
 - a. 16 gage and heavier - F_y = 50000 PSI (Grade D)
 - b. 18 gage - F_y = 45000 PSI (Grade A)
 - c. 20 gage - F_y = 33000 PSI (Grade A)
- Manufacturer of studs, runners, tracks and other framing members shall comply with ASTM A255.
- Framing components and accessories shall be galvanized per ASTM A525 minimum 90 coating.
- Screws and other attachment devices shall have a protective coating equivalent to galvalume or zinc plating and shall comply with ASTM A165 Type NS. Self tapping screws shall be of the minimum diameter as indicated on the design drawings for each specific attachment detail. Penetration through joined materials shall not be less than three spaced threads.
- Standard steel shops, plates, etc. shall conform to the material and finish specifications under Division 5.

EXTERIOR FRAMING DETAILS

- Provide channel shaped studs, piers, runners, tracks blocking, cle angles, slopes, reinforcements, fasteners and other accessories recommended by the manufacturer for a complete framing system.
- Frame on concrete over two feet with a minimum of double studs or as determined by the design submitted.
- Welding of framing components will be permitted only where indicated on structural drawings or as approved by the Engineer of Record.
- Field cutting of holes in steel framing members shall not be permitted.
- Tough up all steel joints by welding with zinc rich paint.
- Splices of studs, piers and members shall not be permitted.
- Use of long members is not permitted.
- Complete bearing or supports shall be maintained for studs in double loaded assemblies.
- Provide 2 continuous rows of 2-180A hot strap bracing equally spaced (4'-0\"/>



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 NEW ADDITION FDN, FRAMING & DETAILS

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