

PORTLAND MAINE

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*Greg Mitchell - Acting Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

April 3, 2012

James D. Hedley, P.G.
Project Manager
Accor North America
Real Estate & Technical Services Department
4001 International Parkway
Carrollton, Texas 75007

RE: Motel 6 No. 1273 – One Riverside Street – 266-A-001 (the “Property”)
B-4 Zone

Dear Mr. Hedley,

I am in receipt of your request for a determination letter concerning the Property located at One Riverside Street. The Property is located in a B-4 Commercial Corridor Zone. The B-4 zone allows hotels and motels as a permitted use.

After a check of our files, I am not aware of any notices of violation pertaining to:

- Area, width or depth of the land as a building site for the structure;
- Floor space area of the structure;
- Setback of the structure from the property lines of the land;
- Height of the structure; or
- Number and location of parking spaces.

I have enclosed copies of the original building permit and Certificate of Occupancy.

If you have any questions regarding this matter, please do not hesitate to contact me at (207) 874-8695.

Very truly yours,

Marge Schmuckal
Zoning Administrator

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0.042

JAN 19 1984

ZONING LOCATION PORTLAND, MAINE

Jan 9, 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1 Riverside Street
1 Owner's name and address Delta Realty Inc. - 999 Forest Avenue
2 Lessee's name and address Michael Scaris - Park Lane-Barrington, N.H.
3 Contractor's name and address Delta Realty Inc. - 899 Forest Avenue

Fire District #1 #2
Telephone 797-8550
Telephone 603-664-9708

Proposed use of building motor inn
Lay use
Material No. stories Heat Style of roof Roofing

Other buildings on same lot
Estimated contractual cost \$ 1,300,000

FIELD INSPECTOR: Mr.
@ 775-5451

Appeal Fees \$
Base Fee 6,500.00
Late Fee
TOTAL \$ 6,300.00

To construct 4 story, 50' x 230' building to be used as motor inn. Plans are on file in office.

Stamp of Special Conditions

send permit to : HOOD, WILL PICK UP PERMIT

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer?
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION-PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

same



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

January 18, 1984

Delta Realty Inc.
999 Forest Avenue
Portland, ME 04103

RE: 1 Riverside Street (Budget Inn)

Gentlemen:

Your application to construct a 4-story 50'x230' building to be used as a motor inn has been reviewed, and a building permit is herewith issued subject to the following requirements.

Site Plan Review

- | | |
|--------------------|---|
| Building Division: | Conditions set forth by the Planning Board in their review. 12/27/83 W.T. |
| Public Works | Conditions stipulated by Planning Board December 27, 1983. R.R. |
| Fire Department: | Provide one (1) private hydrant on site. 12/27/83 Lt. J.C. |
| Planning Division: | December 27, 1983 W.T. (see below) |
1. The color of exterior materials are to be reviewed by the Planning staff.
 2. The proposed sanitary sewer line has been relocated within the site and will connect to the existing sewer line at the northeasterly corner of the proposed motel site.
 3. Public Works Department has approved the proposed drainage system and has indicated that the proposed project will not add to the existing water runoff problems which are part of the westside watershed.
 4. Fencing - The developer intends to install a 5 ft. high metal fence around the retention basin, as shown on the revised site plan. This is in the interest of public safety.

Delta Realty, Inc.
January 18, 1984
Page 2

5. The developer intends to install a sidewalk along Brighton Avenue frontage from the Turnpike overpass to the corner of Riverside Street. A pedestrian ramp will be installed from the rear of the proposed motel to the sidewalk on Brighton Avenue. The Board indicated that the installation of a sidewalk on Riverside Street should be the responsibility of the City whenever funds become available, following receipt of the fee from the Maine Turnpike Authority.
6. The proposed planting schedule has been coordinated with the City Arborist, Ms. Anne Grimes. These plantings are shown on the revised site plan. Ms. Grimes will be happy to inspect the planting materials upon arrival at the site and prior to the actual planting of them. No trees are to be planted along the Maine Turnpike Authority's right-of-way. Such trees will be planted instead within the site boundary on the easterly side.

It is understood that the remainder of the tract, which is now undeveloped, may be confronted with serious surface water drainage problems if and when it is proposed for new development.

Building and Fire Code Requirements

Use Group R-1
Type of Construction - 2 B

1. A complete approved automatic smoke and heat detection system shall be installed.
2. The stairway shall not be used to house vending machines, dryers or washers or for storage of any kind.
3. In buildings more than three stories in height, except those with a roof slope greater than 4 units vertical and 12 units horizontal (4:12), access to the roof shall be provided by means of a stairway or a ladder and trap door. The ladder shall not be on the exterior of the building.
4. The height of risers will be not greater than 7" risers and with a minimum tread of 11".

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/kat



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

1 Riverside Street

Date of Issue

April 18, 1985

Issued to Delta Realty, Inc.

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 84-0042, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: Entire
None

Hotel

at James P Collins

This certificate supersedes
certificate issued

temporary certificate issued 6-1-84

Approved:

4/18/85
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and might to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Assessor's Office | 369 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8466

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 266 A001001
Land Use Type HOTEL & MOTEL
Property Location 1 RIVERSIDE ST
Owner Information MOTEL 6 OPERATING LP
 PO BOX 117508
 CARROLLTON TX 75011
Book and Page 25524/045
Legal Description 266-A-1
 BRIGHTON AVE 1177-1203
 RIVERSIDE ST 1-25
 132351 SF
Acres 3.038

Current Assessed Valuation:

TAX ACCT NO.	30622	OWNER OF RECORD AS OF APRIL 2011
		MOTEL 6 OPERATING LP
LAND VALUE	\$847,000.00	PO BOX 117508
BUILDING VALUE	\$3,409,400.00	CARROLLTON TX 75011
NET TAXABLE - REAL ESTATE	\$4,256,400.00	
TAX AMOUNT	\$77,807.00	

browse city services a-z

browse facts and links a-z

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](mailto:).



Best viewed at 800x600, with Internet Explorer

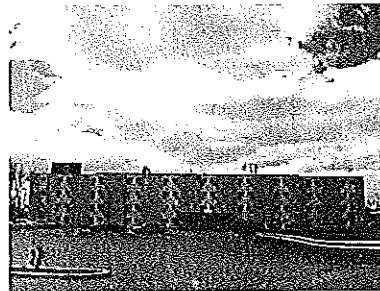
Building Information:

Building 1
Year Built 1984
Style/Structure Type HOTEL/MOTEL LOW RISE
Units 130
Building Num/Name 1 - MOTEL 6
Square Feet 44944

[View Sketch](#)

[View Map](#)

[View Picture](#)



Exterior/Interior Information:

Building 1
Levels 01/01
Size 11236
Use MOTEL
Height 9
Walls CONC. BLOCK
Heating UNIT HEAT
A/C UNIT

Building 1
Levels 02/04
Size 11236
Use MOTEL
Height 9
Walls CONC. BLOCK
Heating UNIT HEAT
A/C UNIT

Other Features:

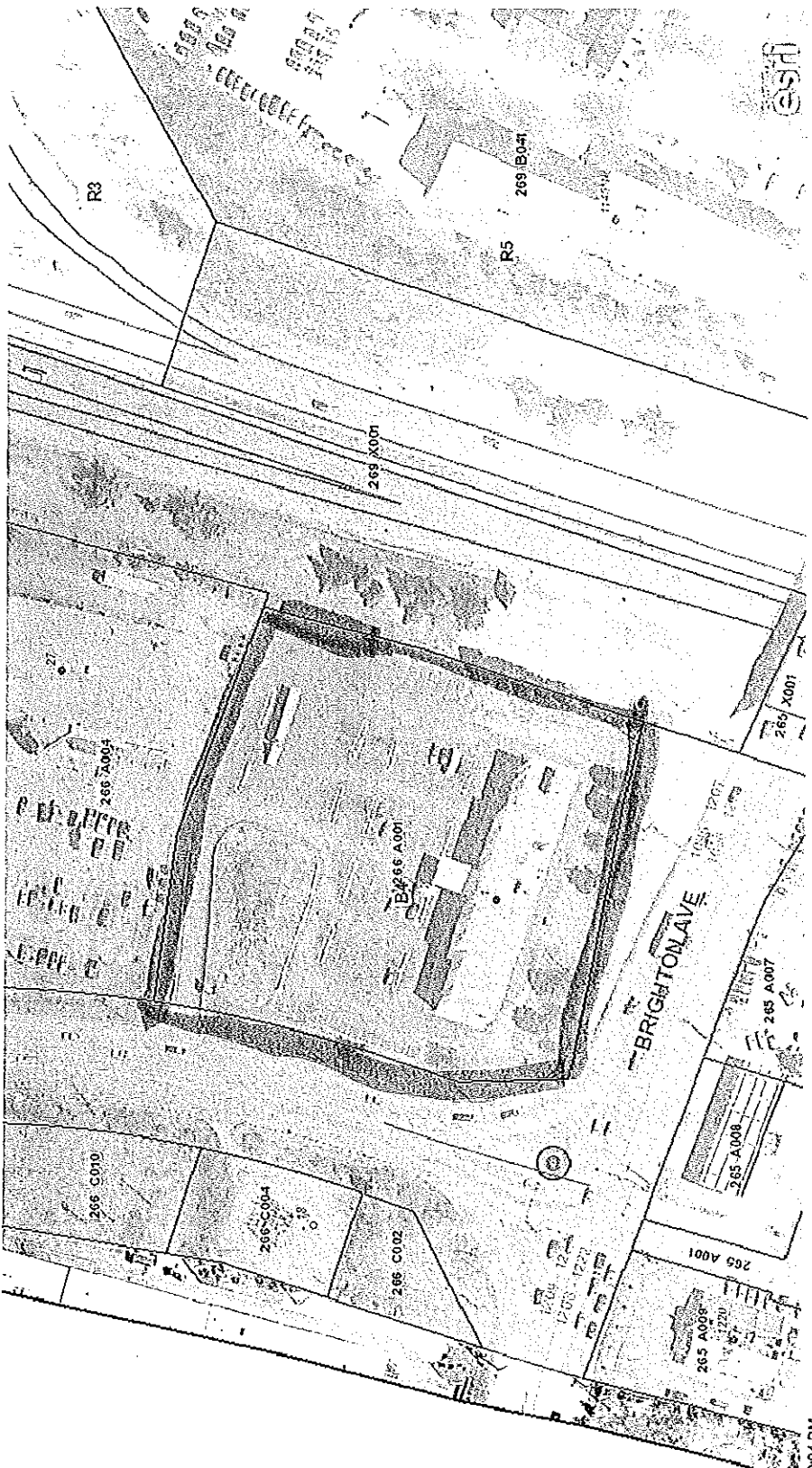
Building 1
Structure CANOPY - ROOF/SLAB
Size 22X38

Building 1
Structure ELEVATOR - HYD. PASSENGER
Size 2500X100

Outbuildings/Yard Improvements:

Building 1
Year Built 1984

Motel 6 - 7 Riverside St 266-A-001



Copyright 2011 Esri. All rights reserved. Tue Mar 6 2012 12:20:04 PM.

North America

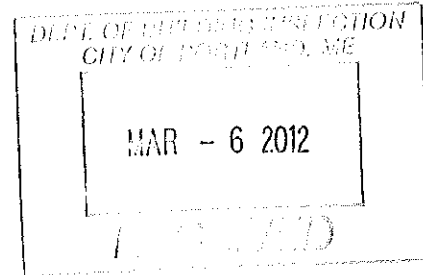


ACCOR

March 1, 2012

Ms. Marge Schmuckal
City of Portland
Planning Division
389 Congress Street (3rd Floor)
Portland, ME 04101

Re: Motel 6 No. 1273
One Riverside Street
Portland, ME 04102
Parcel No. 266-A-001-001



B-4

Dear Ms. Schmuckal:

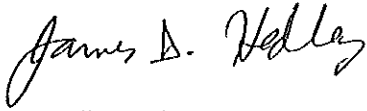
Thank you for taking time to discuss our request on this property. Accor North America is currently completing an update of real estate records for several of our properties, including the above referenced Motel 6 property. As part of the update, we are requesting a Zoning Verification Letter on the following property issues:

Zoning Verification Letter

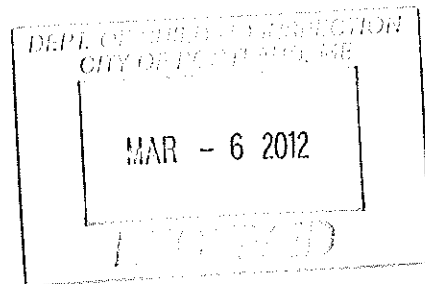
1. Please verify the current zoning classification of the property.
2. Is the use of the property as a motel permitted under the current zoning classification?
3. Have any Notices of Violation been issued to the property pertaining to:
 - Area, width or depth of the land as a building site for the structure;
 - Floor space area of the structure;
 - Setback of the structure from the property lines of the land;
 - Height of the structure; or
 - Number and location of parking spaces.

Please forward the Zoning Verification Letter to HEDLEY_Jim@accor-na.com. Should you have any questions or need additional information please contact me. Thank you very much for your help in this matter!

Sincerely,



James D. Hedley, P.G.
Project Manager
Accor North America
Real Estate & Technical Services Department
4001 International Parkway
Carrollton, Texas 75007
(972) 360-5653



4001 International Parkway
Carrollton, TX 75007

Phone: 972 360 9000
Fax: 972 360 5821

accor.com
accorhotels.com
accor-na.com

Marge Schmuckal - Re: Zoning Verification Letter Request

From: Marge Schmuckal
To: Jim - ACCOR-NA HEDLEY
Date: 4/3/2012 3:20 PM
Subject: Re: Zoning Verification Letter Request

Hi Mr. Hedley,

I am attaching a copy of my letter to you. I will fax you a copy of the signed letter with attachments and I will send the original in the mail to you.

I hope this helps you,

Marge Schmuckal
Zoning Administrator

>>> "HEDLEY, Jim - ACCOR-NA" <HEDLEY_Jim@accor-na.com> 4/3/2012 11:07 AM >>>
Ms. Marge Schmuckal:

I forwarded a letter to you that you should have received on March 10, 2012 regarding a request for a Zoning Verification Letter for the Motel 6 facility located at One Riverside Street, Parcel No. 266-A-001-001. The letter request included a check for \$150 for the service.

Could you please provide me with a status on letter?

Thank you very much!

James D. Hedley, P.G.
Project Manager
Accor North America
Real Estate & Technical Services Department
4001 International Parkway
Carrollton, Texas 75007
(972) 360-5653
Hedley_Jim@accor-na.com

FAX



To: MR James D. Hedley, P.G.

Fax Number: 972-360-5821

From: Marge Schmuckel

Fax Number:

Date: 4/3/12

Regarding: ONE Riverside Street Determination

Total Number Of Pages Including Cover:

LTR

Phone Number For Follow-Up:

Comments:

I hope This helps you

Marge

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

Date/Time: Mar. 6. 2012 12:14PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
0401	Memory TX	919723605821	P. 2	OK	

Reason for error

- E. 1) Hang up or line fail
- E. 3) No answer
- E. 5) Exceeded max. E-mail size

- E. 2) Busy
- E. 4) No facsimile connection

FAX



To: James Hedley, P.G.
 Fax Number: 1-977-360-5821
 From: MARGE Schmuckal
 Fax Number:
 Date: 3/6/12
 Regarding: Determination letters
 Total Number Of Pages Including Cover: 2
 Phone Number For Follow-Up:

Comments:

MR. Hedley,
 I am in receipt of your request regarding
 A verification/determination zoning letter.
 Please be aware that there is a process &
 A fee regarding this request. I cannot
 begin my research until a fee of \$150⁰⁰
 is received by this office. See attached
 Thank you,

Marge Schmuckal
 Zoning Administrator
 City of Portland, Maine

Inspections Division Services
 389 Congress St Room 315 Portland Me 04101-3509
 Phone: (207) 874-8703 or (207)874-8693
 Fax: (207) 874-8716
<http://www.portlandmaine.gov/>



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 81708627

Tender Amount: 150.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 3/14/2012

Receipt Number: 41759

Receipt Details:

Referance ID:	345	Fee Type:	BP-DP
Receipt Number:	0	Payment Date:	
Transaction Amount:	150.00	Charge Amount:	150.00
Job ID: Miscellaneous charges			
Additional Comments: MOTEL 6 NO1273			

Thank You for your Payment!

UNITED STATES
 PORTLAND, ME 04101
 380 CONGRESS STREET 4TH FLOOR
 TRAINING DIVISION
 CITY OF PORTLAND

81108251

#1273

CHECK DATE	VENDOR NO.	VENDOR NAME	CHECK NUMBER
08-MAR-12	1115666	CITY OF PORTLAND	81708627

INVOICE DATE	INVOICE NO.	PO NUMBER	DESCRIPTION	GROSS AMOUNT	DISCOUNT	NET AMOUNT
06-MAR-12	900880-030612	00880	BILL HURTADO x2716	150.00	0.00	150.00

Return Check

TOTAL AMOUNT	DISCOUNT	TOTAL PAID AMOUNT
150.00	0.00	*****150.00