

Revisions

GENERAL SITE PLAN NOTES AND KEYNOTES

(NOTE: NOT ALL KEYNOTES ARE USED ON THIS PROJECT)

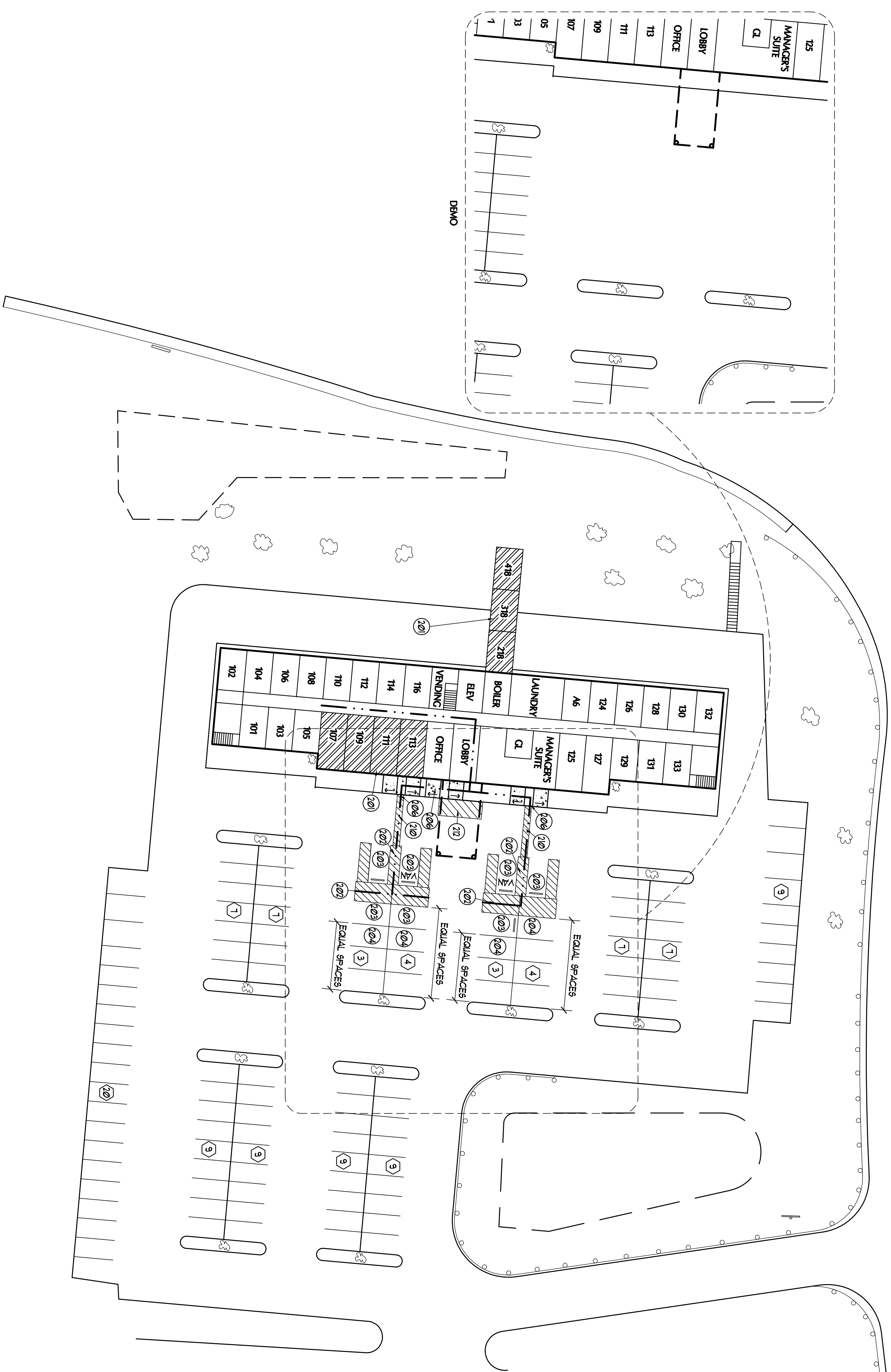
ARCHITECTURAL SITE PLAN: DEMOLITION

- 1) RE-STRIPING OF PARKING TAKES PLACE ONLY AT THE ACCESSIBLE PARKING LOCATION. OTHER PARKING IS EXISTING TO REMAIN. PARKING TOTAL TAKEN BE REDUCED TO MEET ACCESSIBLE REQUIREMENTS.
- 2) REMOVE EXISTING ASPHALT, LANDSCAPING, CONCRETE CURBS, AND CONCRETE FLAT WORK AS NECESSARY TO COMPLETE WORK. PATCH AND REPAIR TO MATCH ORIGINAL CONDITION AFTER COMPLETION OF WORK.
- 3) REMOVE EXISTING STRIPING ON PAVEMENT AS SHOWN
- 4) REMOVE ACCESSIBLE SIGNALE ON PAVEMENT AS SHOWN
- 5) EXISTING STRIPING ON PAVEMENT TO REMAIN. ENFORCE STRIPING YETTS IS ALL APPLICABLE REQUIREMENTS. SEE 1/4912.
- 6) EXISTING ACCESSIBLE SIGNALE ON PAVEMENT TO REMAIN. ENFORCE SIGNALE YETTS IS ALL APPLICABLE REQUIREMENTS. SEE 1/4912.
- 7) REMOVE EXISTING POLE/MOUNTED ACCESSIBLE PARKING SIGNS
- 8) EXISTING POLE/MOUNTED ACCESSIBLE PARKING SIGNS TO REMAIN. ENFORCE SIGNALE YETTS IS ALL APPLICABLE REQUIREMENTS. SEE 3/4912.
- 9) REMOVE EXISTING CONCRETE/ ASPHALT RAMP
- 10) EXISTING IN-LINE CURB RAMP TO REMAIN. ENFORCE RAMP YETTS IS ALL APPLICABLE REQUIREMENTS. SEE 6/4912.
- 11) EXISTING CURB RAMP TO REMAIN. ENFORCE RAMP YETTS IS ALL APPLICABLE REQUIREMENTS. SEE 6/4912.
- 12) REMOVE EXISTING WHEEL STOP

ARCHITECTURAL SITE PLAN: NEW WORK

- 1) COORDINATE ALL WORK WITH HOTEL 6 PROJECT MANAGER PRIOR TO CONSTRUCTION START.
- 2) ENFORCE THERE IS AN ACCESSIBLE ROUTE FROM PARKING TO ALL REMAINING FUNCTIONS IN THE BUILDING. SIGNPOSTED ACCESSIBLE ROUTE DESIGNATED BY INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - A) 36" WIDE WITH A BANNING SLOPE LESS THAN 1:20 AND NO CROSS SLOPE GREATER THAN 1:50.
 - B) WHEEL STOPS AT ALL PARKING SPACES ADJACENT TO ACCESSIBLE ROUTE SUCH THAT PARKED VEHICLES DO NOT ENROACH INTO ACCESSIBLE ROUTE. NEW WHEEL STOPS TO BE 6' X 12" CONC. WITH (1) 5/8"x24" BOLDS.
 - C) ALL DOORS TO ACCESSIBLE ROOMS AND/OR PRIMARY FUNCTIONS SHALL BE ACCESSIBLE. SEE SHEET SCULZ AND DOOR NOTES ON SHEET SCULZ DOORS THAT SHOULD BE ACCESSIBLE INCLUDE (BUT NOT LIMITED TO) DOOR TO OFFICE GUEST LAUNDRY, VENDING, ALL ACCESSIBLE GUEST ROOMS, AND GATE TO POOL. (SEE DETAIL 1/431 FOR WORK AT POOL GATE).
 - D) DIRECTIONAL SIGNALE INDICATING THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES SIGNS TO BE LOCATED AT LEAST PERMANENT TO AN ACCESSIBLE ROUTE OF TRAVEL. SEE DETAIL 4/4912.
 - E) INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ENTRANCE TO OFFICE.
- 3) ENFORCE FIRE EXTINGUISHERS ARE LOCATED AROUND THE PERIMETER OF BUILDING WITHIN APPT. LOCABLE REACH RANGES AND MOUNTED SUCH THAT EXTINGUISHERS ARE NOT OBSCURED BY OBJECTS. TYPE AND DISTANCE BETWEEN EXTINGUISHERS TO BE DETERMINED BY LOCAL CODE. RELOCATE IF REQUIRED PER LOCAL FIRE DEPARTMENT DIRECTION.
- 4) INSTALL NEW CONCRETE FLAT WORK AS NECESSARY TO COMPLETE WORK. SEE DETAIL 1/4912.
- 5) INSTALL CANE DETECTION AT EACH EXTERIOR STAIR AS NEEDED. SEE DETAIL 2 AND 3 ON SHEET 1A1.
- 6) ENFORCE NIGHT LUNDOU YETTS ACCESSIBLE REQUIREMENTS. RENOVATE AS NECESSARY. SEE DETAIL 6/431.
- 7) ENFORCE FRONT DESK HAS AN ACCESSIBLE TRANSACTION COUNTER. RENOVATE AS NECESSARY. SEE DETAIL 6/431.
- 8) HATCH INDICATES ROOM TO BE RENOVATED FOR ACCESSIBILITY. SEE 1/4912.
- 9) DETAIL INDICATES EXISTING PARKING AS SHOWN TO MEET ACCESSIBLE PARKING REQUIREMENTS. SEE DETAIL 1/4912.
- 10) ACCESSIBLE PARKING SPACE
- 11) RE-STRIPING TO PROVIDE NEW PARKING SPACES AS SHOWN. MIN. 9'-0" WIDE BY 8'-0" LONG.
- 12) NEW 6" PAINTED STRIPES * 36" OC.
- 13) IN-LINE CURB RAMP. SEE DETAIL 6/4912.
- 14) CURB RAMP. SEE DETAIL 6/4912.
- 15) RAISE SIDEWALK AT DOORWAYS TO ACCESSIBLE ROOMS. TYP. SEE 1/4912.
- 16) NEW CONCRETE FLAT WORK. CONNECT TO EXISTING PUBLIC WAY.
- 17) 36" WIDE STRIPED ROUTE WITH 6" PAINTED STRIPES * 36" OC.
- 18) PLACE NEW CONCRETE FLAT WORK SUCH THAT ACCESSIBLE THRESHOLD IS ACHIEVABLE AT ACCESSIBLE DOORS. FIELD VERIFY EXTENT OF NEW FLAT WORK PRIOR TO CONSTRUCTION START.
- 19) 8'-0" BY 10'-0" PASSENGER LOADING ZONE AND 8'-0" BY 20'-0" VEHICULAR FULL UP SPACE LOADING ZONE AND FULL UP SPACE TO BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS. ENFORCE THERE IS A VERTICAL CLEARANCE OF 8'-6" MIN.

RIVERSIDE ST.



PARKING SUMMARY

STANDARD SPACES	101
ACCESSIBLE SPACES	5
VAN ACCESSIBLE SPACES	2
TOTAL PARKING	114

NOTE:
THE INFORMATION USED TO PREPARE THESE DRAWINGS WAS TAKEN FROM VARIOUS SOURCES.
THE INFORMATION ON THESE DRAWINGS IS THE PROPERTY OF ALDRMANN/PACONE ARCHITECTS.
SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO REPERFORMING THE WORK.