

**GENERAL NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
- ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
- ALL WATER MAIN WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.

**LAYOUT, MATERIALS, AND UTILITY NOTES:**

- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
- ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDED.
- CENTERLINES OF ROADS AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.
- BICYCLE PARKING SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND CODE OF ORDINANCES AND IN CONFORMANCE WITH THE TECHNICAL MANUAL.

**IMPERVIOUS AND DEVELOPED AREA CALCULATIONS (ROADWAY ONLY)**

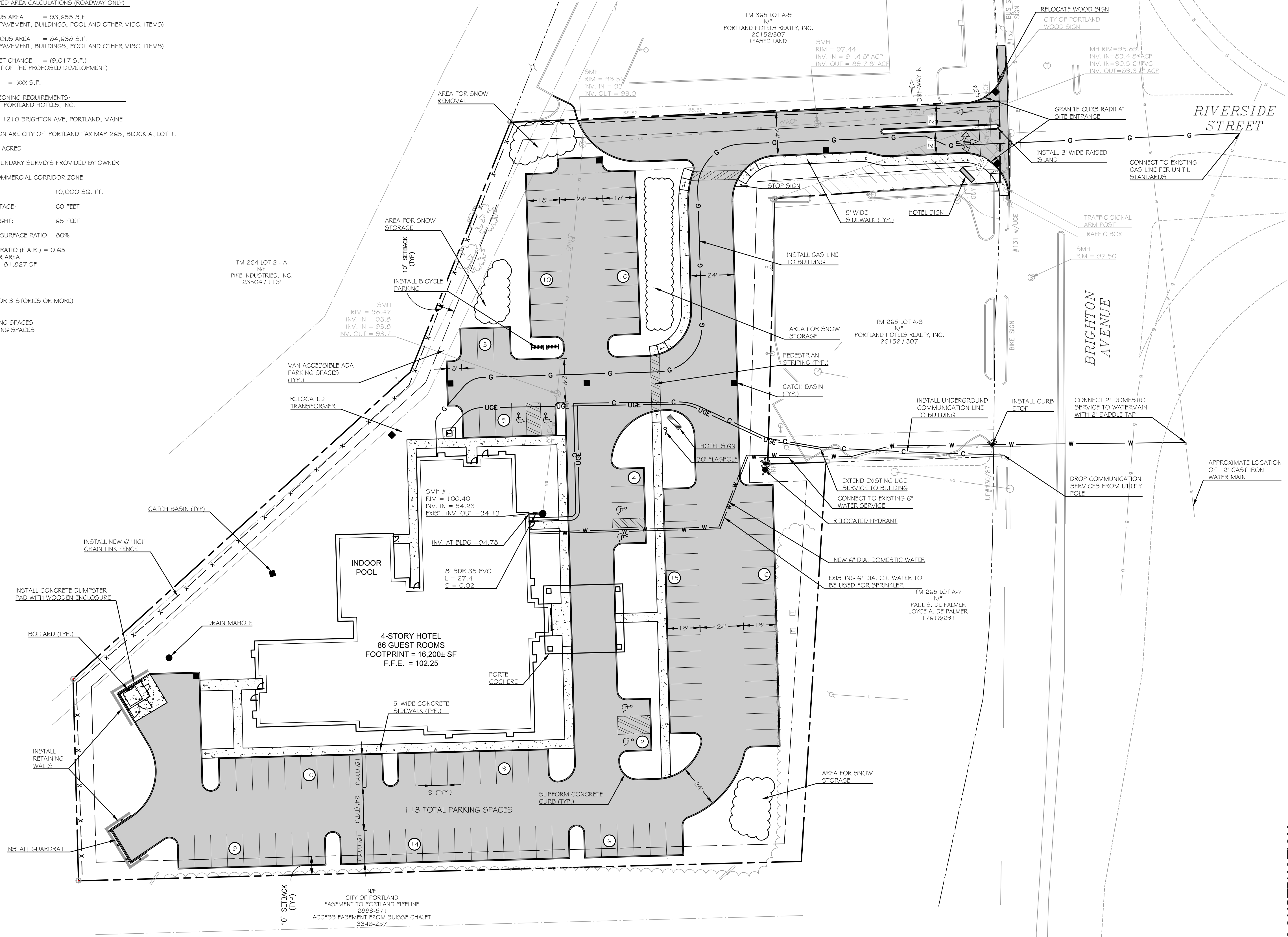
EXISTING TOTAL IMPERVIOUS AREA = 93,655 S.F.  
 (AREA INCLUDES EXISTING PAVEMENT, BUILDINGS, POOL AND OTHER MISC. ITEMS)  
 PROPOSED TOTAL IMPERVIOUS AREA = 84,638 S.F.  
 (AREA INCLUDES EXISTING PAVEMENT, BUILDINGS, POOL AND OTHER MISC. ITEMS)  
 PROPOSED IMPERVIOUS NET CHANGE = (9,017 S.F.)  
 (A REDUCTION AS A RESULT OF THE PROPOSED DEVELOPMENT)  
 TOTAL LAND DISTURBANCE = xxx S.F.

**PARCEL INFORMATION AND ZONING REQUIREMENTS:**

- OWNER OF RECORD: PORTLAND HOTELS, INC.
- STREET ADDRESS: 1210 BRIGHTON AVE, PORTLAND, MAINE
- PARCELS SHOWN HEREON ARE CITY OF PORTLAND TAX MAP 265, BLOCK A, LOT 1.
- TOTAL LOT AREA: 2.89 ACRES
- \*AREAS BASED ON BOUNDARY SURVEYS PROVIDED BY OWNER
- CURRENT ZONE: B4 COMMERCIAL CORRIDOR ZONE
- MINIMUM LOT AREA: 10,000 SQ. FT.
- MINIMUM STREET FRONTAGE: 60 FEET
- MAXIMUM BUILDING HEIGHT: 65 FEET
- MAXIMUM IMPERVIOUS SURFACE RATIO: 80%
- MAXIMUM FLOOR AREA RATIO (F.A.R.) = 0.65  
 MAXIMUM FLOOR AREA LOT 1: 81,827 SF
- SETBACKS:  
 FRONT: 20 FEET  
 REAR: 20 FEET  
 SIDE: 12 FEET (FOR 3 STORIES OR MORE)
- PARKING:  
 EXISTING: 114 PARKING SPACES  
 PROPOSED: 114 PARKING SPACES

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	ABUTTER LOT LINE	---
---	PROPERTY LINE SETBACK	---
---	ZONE LINE	---
---	EDGE OF PAVEMENT	---
---	EDGE OF BUILDING	---
---	TREELINE	---
○	PROPERTY LINE MONUMENTATION	○
○	STORM DRAIN MANHOLE	○
○	STORM DRAIN CATCH BASIN	○
□	RIP RAP IN/OUT PROTECTION APRON	□
○	SANITARY SEWER MANHOLE	○
SS	SANITARY SEWER LINE	SS
W	WATERLINE	W
⊕	HYDRANT	⊕
⊕	WATER LINE SHUT-OFF VALVE	⊕
G	GAS LINE	G
E	ELECTRIC LINE	E
OHE	OVERHEAD ELECTRIC LINE	OHE
UGE	UNDERGROUND ELECTRIC LINE	UGE
□	ELECTRIC BOX	□
□	ELECTRIC TRANSFORMER	□
○	LIGHT POLE	○
○	TELEPHONE LINE	○
○	UTILITY POLE	○
OHU	OVERHEAD UTILITY	OHU
UGU	UNDERGROUND UTILITY	UGU
---	BUILDING	---
---	FENCE METAL	---
---	GUARD RAIL	---
---	RIPRAP	---
○	SIGN	○
○	FLAGPOLE	○
○	BOLLARD	○
---	LANDSCAPE/RETAINING WALL	---
---	CONSTRUCTION ENTRANCE	---
---	DEMO EDGE OF PAVEMENT	---
---	CONSTRUCTION FENCE	---
---	EDGE OF PAVEMENT	---
---	EDGE OF CONCRETE	---
---	CURB	---

EXISTING	LEGEND	PROPOSED
↑	ARROW STRAIGHT	↑
↵	ARROW LEFT	↵
♿	HANDICAP SYMBOL	♿
---	PARKING STRIPING	---
---	TRAFFIC/PARKING SIGN	---
---	INTERMEDIATE CONTOUR	---
---	INDEX CONTOUR	---
+	SPOT GRADE	+
→	FLOW ARROW	→



**WALSH**  
 ENGINEERING ASSOCIATES, INC.  
 One Karen Dr., Suite 2A | Westbrook, Maine 04092  
 ph: 207.553.9898 | www.walsh-eng.com  
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STATE OF MAINE  
 WILLIAM R. WALSH, III  
 No. 8204  
 LICENSED PROFESSIONAL ENGINEER  
 CIVIL  
 MAINE

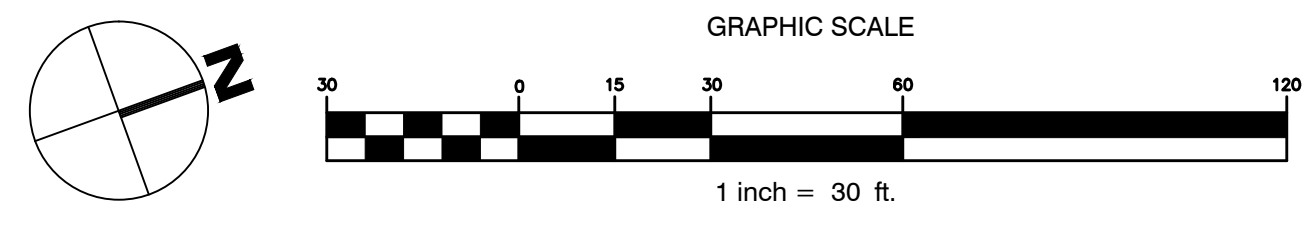
**HOTEL REDEVELOPMENT**  
 1210 Brighton Avenue  
 Portland, Maine  
 Portland Hotels, Inc.  
 1200 Brighton Avenue  
 Portland, Maine 04102

Rev.	Date	Description	Drawn	Check
1	11/14/14	Submitted for Prelim. Level III Site Plan Application	SWC	WRW

Sheet Title:  
**SITE LAYOUT AND UTILITY PLAN**

Job No.: 257  
 Date: Nov. 14, 2014  
 Scale: 1"=30'  
 Drawn: SWC  
 Checked: WRW

Sheet No.:  
**C2.0**



**PRELIMINARY PLAN  
 ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION**