

PLAN REFERENCES:

- TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
 - A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY", PREPARED BY OWEN HASKELL, INC. OF 390 US ROUTE ONE, FALMOUTH, MAINE, DATED JULY 2, 2013.
- GENERAL OFFSITE INFORMATION TAKEN FROM PUBLICLY AVAILABLE AERIAL PHOTOGRAPHY.

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-866-344-7233.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
- ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL PAVEMENT/CONCRETE CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE PAVEMENT CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
- ALL WORK SHALL COMPLY WITH THE CITY OF PORTLAND REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. REFER TO THE WRITTEN EROSION CONTROL PLAN AND DRAWINGS FOR FURTHER EROSION CONTROL GUIDELINES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNERS REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

EXISTING UTILITY NOTES:

- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
- THE CONTRACTOR SHALL CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

EXISTING UTILITY NOTES:

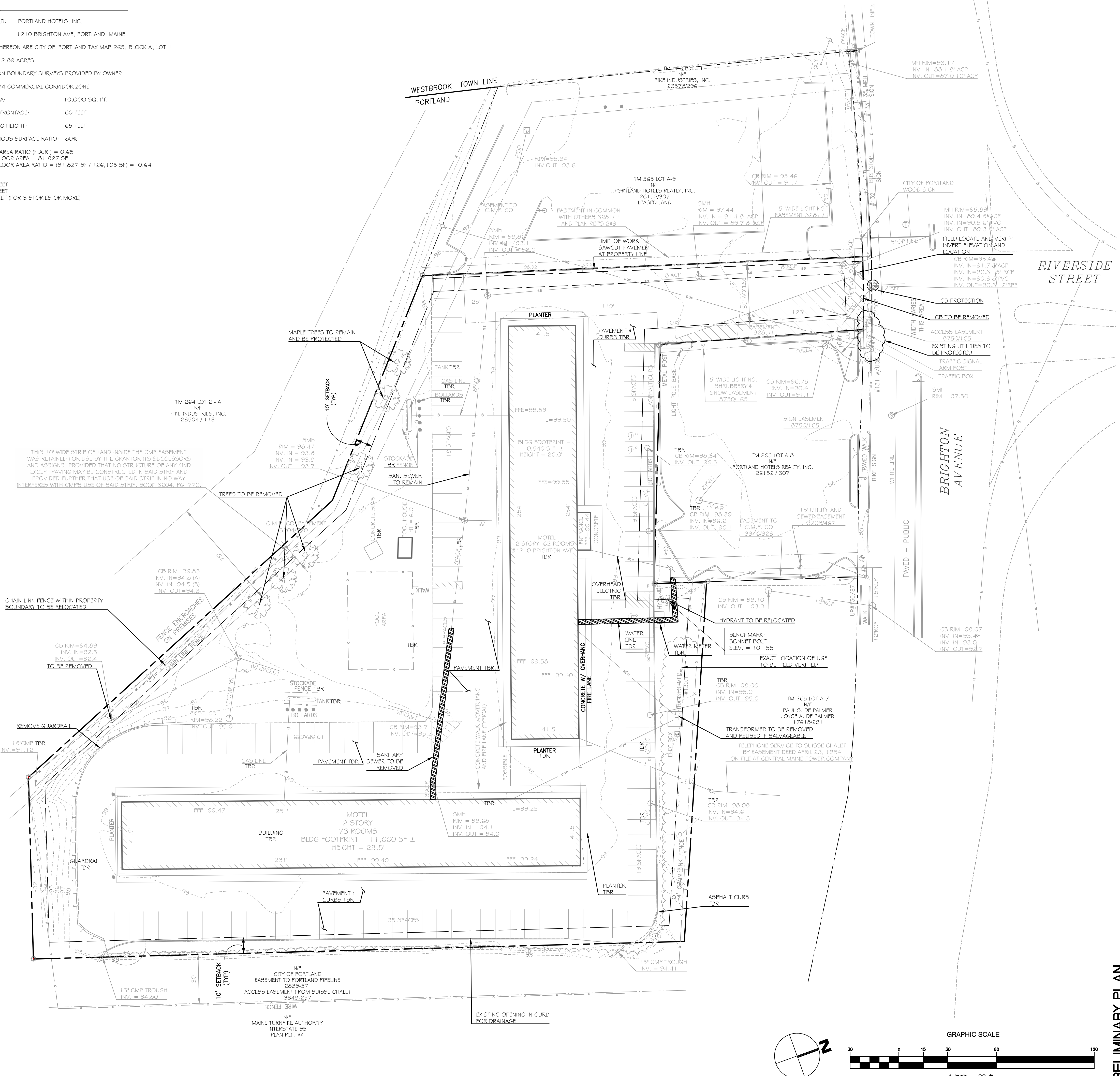
- ALL SITE FEATURES INCLUDING BUT NOT LIMITED TO BUILDINGS, FOUNDATIONS, PAVEMENT, CURBING, UTILITIES, AND LANDSCAPING, SHALL BE REMOVED UNLESS SPECIFICALLY INDICATED TO REMAIN.
- ALL SITE DEMOLITION MATERIALS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.

PARCEL INFORMATION:

- OWNER OF RECORD: PORTLAND HOTELS, INC.
- STREET ADDRESS: 1210 BRIGHTON AVE, PORTLAND, MAINE
- PARCELS SHOWN HEREON ARE CITY OF PORTLAND TAX MAP 265, BLOCK A, LOT 1.
- TOTAL LOT AREA : 2.89 ACRES
*AREAS BASED ON BOUNDARY SURVEYS PROVIDED BY OWNER
- CURRENT ZONE: B4 COMMERCIAL CORRIDOR ZONE
- MINIMUM LOT AREA: 10,000 SQ. FT.
- MINIMUM STREET FRONTAGE: 60 FEET
- MAXIMUM BUILDING HEIGHT: 65 FEET
- MAXIMUM IMPERVIOUS SURFACE RATIO: 80%
- MAXIMUM FLOOR AREA RATIO (F.A.R.) = 0.65
EXISTING FLOOR AREA = 81,827 SF
EXISTING FLOOR AREA RATIO = (81,827 SF / 126,105 SF) = 0.64
- SETBACKS:
FRONT: 20 FEET
REAR: 20 FEET
SIDE: 12 FEET (FOR 3 STORIES OR MORE)

LEGEND

	EXISTING ROAD		PROPOSED ROAD
	PROPERTY LINE		RIGHT-OF-WAY LINE
	EASEMENT LINE		PROPERTY SETBACK
	TOWN LINE		ZONING BOUNDARY
	MONUMENT (IRON)		ABUTTING PROPERTY LINE
	N/F "OWNERS NAME" TAX MAP, TAX LOT, DEED BOOK, AND PAGE		ABUTTER
	STORM DRAIN MANHOLE		STORM DRAIN CATCH BASIN
	SANITARY SEWER MANHOLE		SANITARY SEWER LINE
	WATERLINE		HYDRANT
	WATER LINE METER PIT		GAS LINE
	OVERHEAD ELECTRIC LINE		UNDERGROUND ELECTRIC LINE
	ELECTRIC TRANSFORMER		TELEPHONE LINE
	UTILITY POLE		BUILDING
	FENCE METAL		FENCE WOOD
	GUARD RAIL		SIGN
	EDGE OF PAVEMENT		EDGE OF CONCRETE
	BITUMINOUS CURB		GRANITE CURB
	HANDICAP SYMBOL		PARKING STRIPING
	CATCH BASIN INLET PROTECTION		TO BE REMOVED



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STATE OF MAINE

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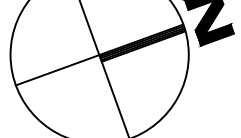
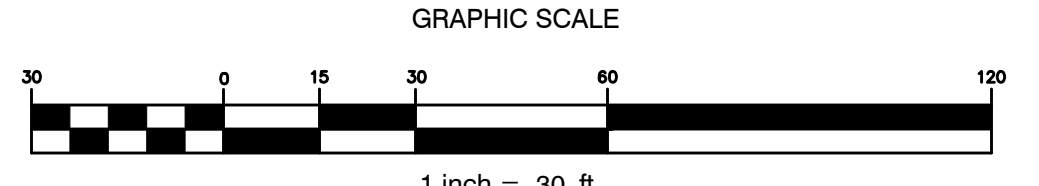
**PRELIMINARY PLAN
ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION**

Rev.	Date	Description	Drawn	Check
1	11/14/14	Submitted for Prelim. Level III Site Plan Application	SWC	WRW

Sheet Title:
EXISTING CONDITIONS AND REMOVALS PLAN

Job No.:	257	Sheet No.:	
Date:	Nov. 14, 2014	Scale:	1"=30'
Drawn:	SWC	Checked:	WRW

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