

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		Permit No: 02-0759	Issue Date: AUG 9 2002	CBL: 265 B004001
Location of Construction: 1140 Brighton Ave	Owner Name: Timm Properties Llc &	Owner Address: 120 Exchange St	Phone:	
Business Name:	Contractor Name: Rita Lam	Contractor Address: 1st Canal Street New York	Phone: 8503055277	
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2	

Past Use: Valley's Steak House	Proposed Use: Chinese Restaurant (Maine Super Buffet)	Permit Fee: \$163.00	Cost of Work: \$20,000.00	CEO District: 3
Proposed Project Description: Interior alterations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-3 Type: BOA 99	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: jmy	Date Applied For: 07/11/2002	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/27/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 020759

This is to certify that Timm Properties Llc & /Rita

has permission to Interior alterations

AT 1140 Brighton Ave 265 B004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or occupied closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. 24119

Health Dept. _____

Appeal Board _____

Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Application ID Number: 2-0759

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 1140 Brighton Ave

Approval Date: 07/22/2002

Drop On Date: 07/15/2002

City of Portland Permit Name: Marge Schmuckal Date: 07/22/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Please note that Section 14-372.b of the City of Portland sign ordinance requires that all nonconforming signs be removed when an application is filed for new building signs... "all building signs on the lot SHALL be required to come into compliance". The current free standing sign has been abandoned for over two (2) years. It will be at this time that the abandoned, nonconforming, free standing (pole) sign be made to come into compliance with the City sign ordinance.

Create Date: 07/12/2002 By: jmy Update Date: 07/22/2002 By: mes

02-0759

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

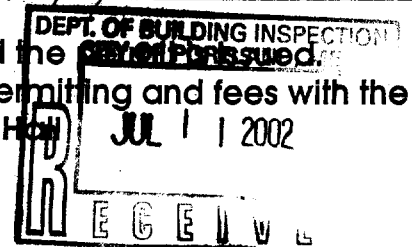
Location/Address of Construction: <u>1140 Brighton Ave</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>265</u> Block# <u>B</u> Lot# <u>004</u>	Owner: <u>Zhang Zi Qian Same</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>owner</u>	Applicant name, address & telephone: <u>Kevin Chan Rotonmouth NH 15 Beach Street Apt. 6 850 305 5277</u>	Cost Of Work: \$ <u>20,000.00</u> Fee: \$ <u>163.00</u>
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Valley's Steak House</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>Maine Super Beefers / Chinese Restaurant</u>		
Project description: <u>*change flooring, ceiling, painting structure + metal stud walls</u>		
Contractor's name, address & telephone: <u>Rita Lam (84 Canal St NY NY 10002)</u>		
Who should we contact when the permit is ready: <u>Kevin Chan (850-305-5277)</u>		
Mailing address: <u>1140 Brighton Ave, Portland ME</u> <u>pk</u> <u>+ call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>7/11/02</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



DOMESTIC
BUSINESS CORPORATION

STATE OF MAINE

ARTICLES OF INCORPORATION

(Check box only if applicable)

This is a professional service corporation formed pursuant to 13 MRSA Chapter 22.

Minimum Fee \$125. (See §1403 sub-§51 and 2)

<p>_____ Deputy Secretary of State</p> <hr/> <p>A True Copy When Attested By Signature</p> <hr/> <p>_____ Deputy Secretary of State</p>

Pursuant to 13-A MRSA §403, the undersigned, acting as incorporator(s) of a corporation, adopt(s) the following Articles of Incorporation:

FIRST: The name of the corporation is Super Chinese Buffet, Inc.
and its principal business location in Maine is 1140 Brighton Ave, Portland ME
(physical location - street (not P.O. Box), city, state and zip code)

SECOND: The name of its Clerk, who must be a Maine resident, and the registered office shall be:
Zhang Zi Qian
(name)
1140 Brighton Ave, Portland, ME
(physical location - street (not P.O. Box), city, state and zip code)
738 Bark st., Swansea, MA 02777
(mailing address if different from above)

THIS FORM **MUST** BE ACCOMPANIED BY FORM MBCA-18A (Acceptance of Appointment as Clerk §304.2-A.).

THIRD: ("X" one box only)

A. 1. The number of directors constituting the initial board of directors of the corporation is 1 (See §703.1.A.)

2. If the initial directors have been selected, the names and addresses of the persons who are to serve as directors until the first annual meeting of the shareholders or until their successors are elected and shall qualify are:

NAME	ADDRESS
<u>Zhang Zi Qian</u>	<u>1140 Brighton Ave, Portland, ME</u>
_____	_____
_____	_____

3. The board of directors is is not authorized to increase or decrease the number of directors.

4. If the board is so authorized, the minimum number, if any, shall be 1 directors, (See §703.1.A.) and the maximum number, if any, shall be 3 directors.

B. There shall be no directors initially; the shares of the corporation will not be sold to more than twenty (20) persons; the business of the corporation will be managed by the shareholders. (See §701.2.)

FOURTH: ("X" one box only)

There shall be only one class of shares (title of class) common

Par value of each share (if none, so state) _____ Number of shares authorized _____

There shall be two or more classes of shares. The information required by §403 concerning each such class is set out in Exhibit _____ attached hereto and made a part hereof.

SUMMARY

The aggregate par value of all authorized shares (of all classes) having a par value is \$ 0

The total number of authorized shares (of all classes) without par value is 10,000 shares

FIFTH: ("X" one box only) Meetings of the shareholders may may not be held outside of the State of Maine.

SIXTH: ("X" if applicable) There are no preemptive rights.

SEVENTH: Other provisions of these articles, if any, including provisions for the regulation of the internal affairs of the corporation, are set out in Exhibit _____ attached hereto and made a part hereof.

INCORPORATORS

DATED _____

(signature)
Zhang Zi Qian
(type or print name)

Street 1140 Brighton Ave.
(residence address)
Portland, ME
(city, state and zip code)

(signature)

(type or print name)

Street _____
(residence address)

(city, state and zip code)

(signature)

(type or print name)

Street _____
(residence address)

(city, state and zip code)

For Corporate Incorporators*

Name of Corporate Incorporator _____

By _____
(signature of officer)

(type or print name and capacity)

Street _____
(principal business location)

(city, state and zip code)

***Articles are to be executed as follows:**

If a corporation is an incorporator (§402), the corporate name should be typed or printed and signed on its behalf by an officer of the corporation. The articles of incorporation must be accompanied by a certificate of an appropriate officer of the corporation, not the person signing the articles, certifying that the person executing the articles on behalf of the corporation was duly authorized to do so.

**SUBMIT COMPLETED FORMS TO: CORPORATE EXAMINING SECTION, SECRETARY OF STATE,
101 STATE HOUSE STATION, AUGUSTA, ME 04333-0101**

**DOMESTIC
BUSINESS CORPORATION**

STATE OF MAINE

**ACCEPTANCE OF APPOINTMENT
AS CLERK OF**

Super Chinese Buffet, Inc.
(name of domestic business corporation)

Pursuant to 13-A MRSA §304.2-A, the undersigned hereby accepts the appointment as clerk for the above-named domestic business corporation.

CLERK

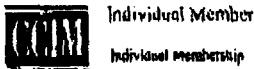
DATED _____

Zhang Zi Qian

(signature)

(type or print name)

**SUBMIT COMPLETED FORMS TO: CORPORATE EXAMINING SECTION, SECRETARY OF STATE,
101 STATE HOUSE STATION, AUGUSTA, ME 04333-0101**



CB Richard Ellis
The Boulos Company

CONTRACT FOR THE SALE OF REAL ESTATE

Date: June 17, 2002

One Canal Plaza, Portland, ME 04101
(207) 772-1333

RECEIVED OF: 1140 Brighton Avenue Associates and/or assigns whose mailing address is 738 Bark Street, Swansea MA 02777, hereinafter called the Purchaser(s), the sum of Thirty Thousand and 00/100 Dollars (\$30,000.00) as earnest money deposit and in part payment of the purchase price of the following described real estate, situated in the municipality of Portland, County of Cumberland, State of Maine and located at 1140 Brighton Avenue being all the property owned by the Seller(s) at the above address, and described at said County's Registry of Deeds Book 9277, Page 7 and further described as: a 1.4+- acre parcel improved with a one-story commercial building identified by the City of Portland Assessor as Map 265, Block B, Lot 4 upon the terms and conditions indicated below:

1. PERSONAL PROPERTY: The following items of personal property are included in this sale (if applicable): All items located in property by separate agreement. (Addendum B)
2. PURCHASE PRICE: The TOTAL purchase price being Nine Hundred Thousand and 001/00 Dollars (\$900,000.00) to be paid as follows: Nine Thousand Dollars herewith which is non-refundable upon the full execution of this Contract, an additional \$21,000 to be paid within 24 hours of the effective date of contract and the balance to be paid by certified check at closing.
3. EARNEST MONEY/ACCEPTANCE: CB Richard Ellis/The Boulos Company shall hold said earnest money in a non-interest bearing account and act as Escrow Agent until closing; this offer shall be valid until June 20, 2002 at 5:00 PM; and, in the event of the Seller's non-acceptance, this earnest money shall be returned promptly to the Purchaser(s).
4. TITLE: That a deed, conveying good and merchantable title in accordance with standards adopted by the Maine Bar Association shall be delivered to the Purchaser(s) and this transaction shall be closed and the Purchaser(s) shall pay the balance due and execute all necessary papers on or before July 31, 2002. If Seller(s) is unable to convey in accordance with the provisions of this paragraph, then the Seller(s) shall have a reasonable time period, not to exceed thirty (30) days, from the time the Seller(s) receives written notice of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is merchantable title, the Purchaser(s) may, within fifteen (15) days thereafter, at Purchaser's option, withdraw said earnest money and neither party shall have any further obligation hereunder. If the Purchaser(s) does not withdraw the earnest money and declare the contract void within the period set forth above, the Purchaser(s) shall have waived the right to object to title. The Seller(s) hereby agrees to make a good-faith effort to cure any title defect during such period.
5. DEED: That the property shall be conveyed by a insurable quitclaim deed, and shall be free and clear of all encumbrances except building and zoning restrictions of record, restrictive covenants and conditions of record and usual public utilities servicing the property and shall be subject to applicable land use and building laws and regulations.
6. POSSESSION/OCCUPANCY: Possession/occupancy of premises shall be given to Purchaser(s) immediately at closing, subject to any leases, unless otherwise agreed by both parties in writing.
7. LEASES/TENANT SECURITY DEPOSITS: Seller(s) agrees to transfer at closing to Purchaser(s) all Seller(s)' rights under the current leases to the property and all security deposits held by Seller(s) pursuant to said leases.
8. RISK OF LOSS: Until the transfer of title, the risk of loss or damage to said premises by fire or otherwise, is assumed by the Seller(s) unless otherwise agreed in writing. Said premises shall then be in substantially the same condition as at present, excepting reasonable use and wear.
9. PRORATIONS: The following items shall be prorated as of the date of closing:
 - a. Real Estate Taxes based on the municipality's tax year. Seller is responsible for any unpaid taxes for prior years.
 - b. Fuel
 - c. N/A
 - d. Rents
 - e. Metered utilities, such as water and sewer, shall be paid by Seller(s) through the date of closing.
 - f. Purchaser(s) and Seller(s) shall each pay its transfer tax as required by the State of Maine.
10. INSPECTIONS: The Purchaser(s) is encouraged to seek information from professionals regarding any specific issue of concern. Purchaser(s) acknowledges receipt of disclosure form attached hereto. The Agent makes no warranties regarding the condition, permitted use or value of the Seller's real or personal property. This Contract is subject to the following inspections, with the results being satisfactory to the Purchaser(s):

Seen and agreed to:

[Signature]
Seller(s)

[Signature]
Purchaser(s)

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED	TYPE OF INSPECTION	YES	NO	RESULTS REPORTED
a. General Building	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	g. Lead Paint	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
b. Sewage Disposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	h. Pests	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
c. Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	i. ADA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
d. Radon Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	j. Wetlands	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
e. Radon Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	k. Environmental Scan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days
f. Asbestos Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days	l. Other: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within _____ days

The use of days is intended to mean from the effective date of this Contract. All inspections will be done by inspectors chosen and paid for by the Purchaser(s). If the result of any inspection or other condition specified herein is unsatisfactory to the Purchaser(s), Purchaser(s) may declare the Contract null and void by notifying Seller(s) in writing within the specified number of days, and any earnest money shall be returned to the Purchaser(s). If the Purchaser(s) does not notify the Seller(s) that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by the Purchaser(s). In the absence of inspection(s) mentioned above, the Purchaser(s) is relying completely upon Purchaser's own opinion as to the condition of the property.

11. FINANCING: This contract is subject to an approved _____ mortgage of _____% of the purchase price, at an interest rate not to exceed _____% per annum and amortized over a period of not less than _____ years.

a. If Seller, or Seller's agent, is not notified to the contrary in writing within _____ days of the effective date of this contract, then this financing condition shall be deemed to have been waived by Purchaser(s).

b. The Purchaser(s) is under a good faith obligation to seek and accept financing on the above described terms. The Purchaser(s) acknowledges that a breach of this good faith obligation to seek and accept financing on the above described terms will be a breach of this Contract.

12. AGENCY DISCLOSURE: The Purchaser(s) and Seller(s) acknowledge that they have been informed that the Selling Licensee is acting as a Seller's agent in this transaction and is representing the Seller and that the Listing Licensee is acting as a Seller's agent in this transaction and is representing the Seller.

13. DEFAULT: If the Purchaser(s) fails to consummate this transaction, Seller(s) shall have the option of either retaining the earnest money as full and complete liquidated damages or employing all available legal and equitable remedies. Should Seller(s) elect to retain the earnest money, this Contract shall terminate and neither party shall be under any further obligation hereunder. In the event of default by either party, the Escrow Agent will not return the earnest money to Purchaser(s) or turn over the deposit to the Seller(s) without written releases from both parties.

14. MEDIATION: Any dispute or claim arising out of or relating to this Contract or the premises addressed in this Contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. This clause shall survive the closing of this transaction.

15. PRIOR STATEMENTS: Any verbal presentations, statements and agreements are not valid unless contained herein. This Contract completely expresses the obligations of the parties. This is a Maine contract and shall be construed according to the laws of Maine.

16. HEIRS/ASSIGNS: This Contract is assignable Yes No. This Contract shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns (if assignment is allowed by the terms of this Contract), of the respective parties.

17. COUNTERPARTS: This Contract may be signed on any number of identical counterparts, including telefacsimile copies, with the same binding effect as if the signatures were on one instrument. Original or telefacsimiled signatures are binding.

18. BINDING CONTRACT: This Contract is a binding contract when signed by both Seller(s) and Purchaser(s) and when that fact has been communicated to all parties or to their agents. The Effective Date of the Contract is noted below. Time is of the essence of this Contract.

19. REVIEW OF LEASES AND INCOME AND EXPENSE INFORMATION: The Seller(s) shall provide the Purchaser(s) with copies of all leases and income & expense information regarding the subject property within _____ (_____) days of the effective date of this contract. Purchaser(s) shall have _____ (_____) days from such delivery to review leases and income & expense information regarding the property. If the result of the review is unsatisfactory to the Purchaser(s), Purchaser(s) may declare the Contract null and void by notifying the Seller(s) in writing within the specified number of days set forth above, and any earnest money shall be returned to the Purchaser(s). If the Purchaser(s) does not notify the Seller(s) that the review is unsatisfactory within the time period set forth above, this contingency is waived by the Purchaser(s).

20. Seller(s) and Purchaser(s) acknowledge receipt of the Maine Real Estate Commission Disclosure of Agency Relationship Form (Form #2), if the property is, or has a component of, one to four residential dwelling units.

21. ADDENDA: This Contract has addenda containing additional terms and conditions: YES NO

Seen and agreed to:

[Signature]
 Seller(s)

[Signature]
 Purchaser(s)

A COPY OF THIS CONTRACT IS TO BE RECEIVED BY ALL PARTIES AND, BY SIGNATURE, RECEIPT OF A COPY IS HEREBY ACKNOWLEDGED. IF NOT FULLY UNDERSTOOD CONSULT AN ATTORNEY.

Seller(s) acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2 1/2% of the consideration unless the Seller(s) furnishes to the Buyer(s) a certificate by the Seller(s) stating, under penalty of perjury, that Seller(s) is/are a resident of Maine or the transfer is otherwise exempt from withholding.

[Signature]
Purchaser
1140 Brighton Avenue Associate and/or assigns
Name/Title

6/17/02

Date
Sac. Sec. # or Tax I.D. #

Purchaser
Name/Title

Date
Sac. Sec. # or Tax I.D. #

The Seller(s) accepts the offer and agrees to deliver the above-mentioned property at the price and upon the terms and conditions set forth above and agrees to pay the Broker the commission for services herein according to the Listing Agreement or if there is no Listing Agreement the sum of: ~~\$40,000.00~~. The obligation to pay said commission or sum shall survive the closing of this transaction. Seller agrees that Broker may apply any deposit(s) received in connection with the sale of the Property toward commissions due and payable under this Agreement. If the earnest money is forfeited by Purchaser(s), it shall be evenly distributed between the Broker and the Seller(s), provided, however, that Broker's portion shall not exceed the full amount of the commission specified. In the event the Seller(s) defaults on its obligations hereunder, CB Richard Ellis/The Boulos Company shall be entitled to costs of collection, including reasonable attorneys' fees.

Signed this 18 day of June, 2002 Effective date of Contract: 6/18/02

The Listing Licensee is Dan Greenstein of CBRE/Boulos Company (Company).
The Selling Licensee is Dan Greenstein of CBRE/Boulos Company (Company).

[Signature]
Seller
Douglas Timm
Name/Title

6/18/02
Date
Sac. Sec. # or Tax I.D. #

[Signature]
Seller
Arthur Girard
Name/Title

6/18/02
Date
Sac. Sec. # or Tax I.D. #

Offer reviewed and refused on _____, Seller

Seen and agreed to: [Signature]

[Signature]
Purchaser(s)

ADDENDUM A

TO A CONTRACT FOR THE SALE OF REAL ESTATE

LOCATED AT

1140 BRIGHTON AVENUE, PORTLAND, MAINE

BY AND BETWEEN

1140 BRIGHTON AVENUE ASSOCIATES AND/OR ASSIGNS (PURCHASER)

AND DOUGLAS TIMM AND ARTHUR GIRARD (SELLER)

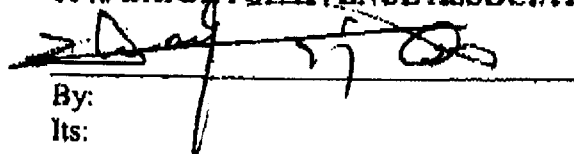
Dated: June 17, 2002

1. This Contract is subject to Seller granting a first mortgage to the Purchaser, which incorporates the following terms and conditions:
 - a. Seller agrees to finance Seven Hundred Fifty Thousand and 00/100 Dollars (\$750,000) of the purchase price at an interest rate of seven percent (7.0%), amortized over a ten (10) year period.
 - b. Said payments and amortization schedule to begin November 1, 2002 with monthly payments of Eight Thousand Seven Hundred Eight and 00/100 Dollars (\$8,708.00) due on the first day of each month beginning November 1, 2002.
 - c. At Seller's option, the balance of the loan can be paid in full at any time after the thirty-sixth (36th) month of payments. Seller agrees to provide Purchaser with at least one hundred twenty (120) days notice of intent to have the mortgage paid in full at any time after the thirty-six (36) months referenced above.
 - d. Mortgage to be personally guaranteed by Zhang Zi Qian.

2. The above-referenced mortgage note to be agreed to within fourteen (14) days of the effective date of this Contract. In the event the note is not agreed to within this period, then either party can declare this Contract null and void and Twenty One Thousand and 00/100 Dollars (\$21,000.00) of the Thirty Thousand and 00/100 Dollars (\$30,000.00) earnest money deposit will be returned to Purchaser.

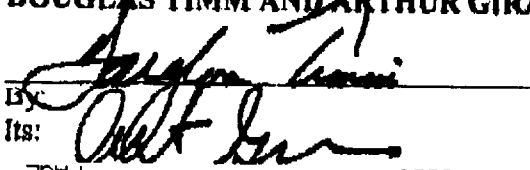
SEEN AND AGREED TO:

1140 BRIGHTON AVENUE ASSOCIATES AND/OR ASSIGNS, Purchaser


 By: _____
 Its: _____

6/17/02
 Date _____

DOUGLAS TIMM AND ARTHUR GIRARD, Seller


 By: _____
 Its: _____

6/18/02
 6/18/02
 Date _____

**ADDENDUM B
TO A CONTRACT FOR THE SALE OF REAL ESTATE
LOCATED AT**

1140 BRIGHTON AVENUE, PORTLAND, MAINE

BY AND BETWEEN

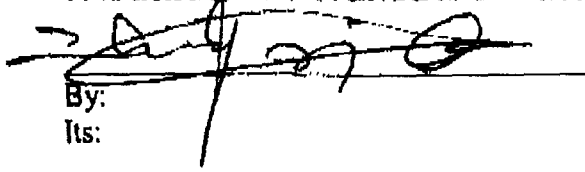
**1140 BRIGHTON AVENUE ASSOCIATES AND/OR ASSIGNS (PURCHASER)
AND DOUGLAS TIMM AND ARTHUR GIRARD (SELLER)**

Dated: June 17, 2002

1. Seller and Purchaser agree that Purchaser will purchase all personal property items on the property and within the building for the sum of Fifty Thousand and 00/100 Dollars (\$50,000.00) at time of closing. This purchase is to be in addition to the real estate purchase and the real estate sale is contingent upon Purchaser paying Fifty Thousand and 00/100 Dollars (\$50,000.00) for the personal property items at time of closing.

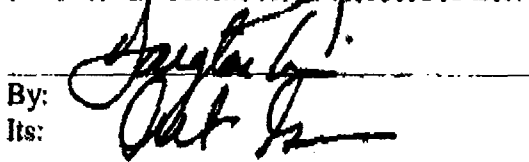

SEEN AND AGREED TO:

1140 BRIGHTON AVENUE ASSOCIATES AND/OR ASSIGNS, Purchaser

By: 
Its: _____

Date: 6/17/02

DOUGLAS TIMM AND ARTHUR GIRARD, Seller

By: 
Its: 

Date: 6/18/02
6/18/02

N°265

AVENUE

1180 1178 1176 1174 1172 1170 1168 1166 1164 1162 1160 1158 1156 1154 1152 1150 1148 1146 1144 1142 1140 1138 1136 1134 1132 1130 1128 1126 1124 1122 1120 1118 1116 1114 1112 1110 1108 1106 1104 1102 1100 1098 1096 1094 1092

35485

SHEET 263A-A

Here

35470

EASTERN AVENUE

PORTLAND PIPE LINE CO. 50' R/W

SHEET 263A-B

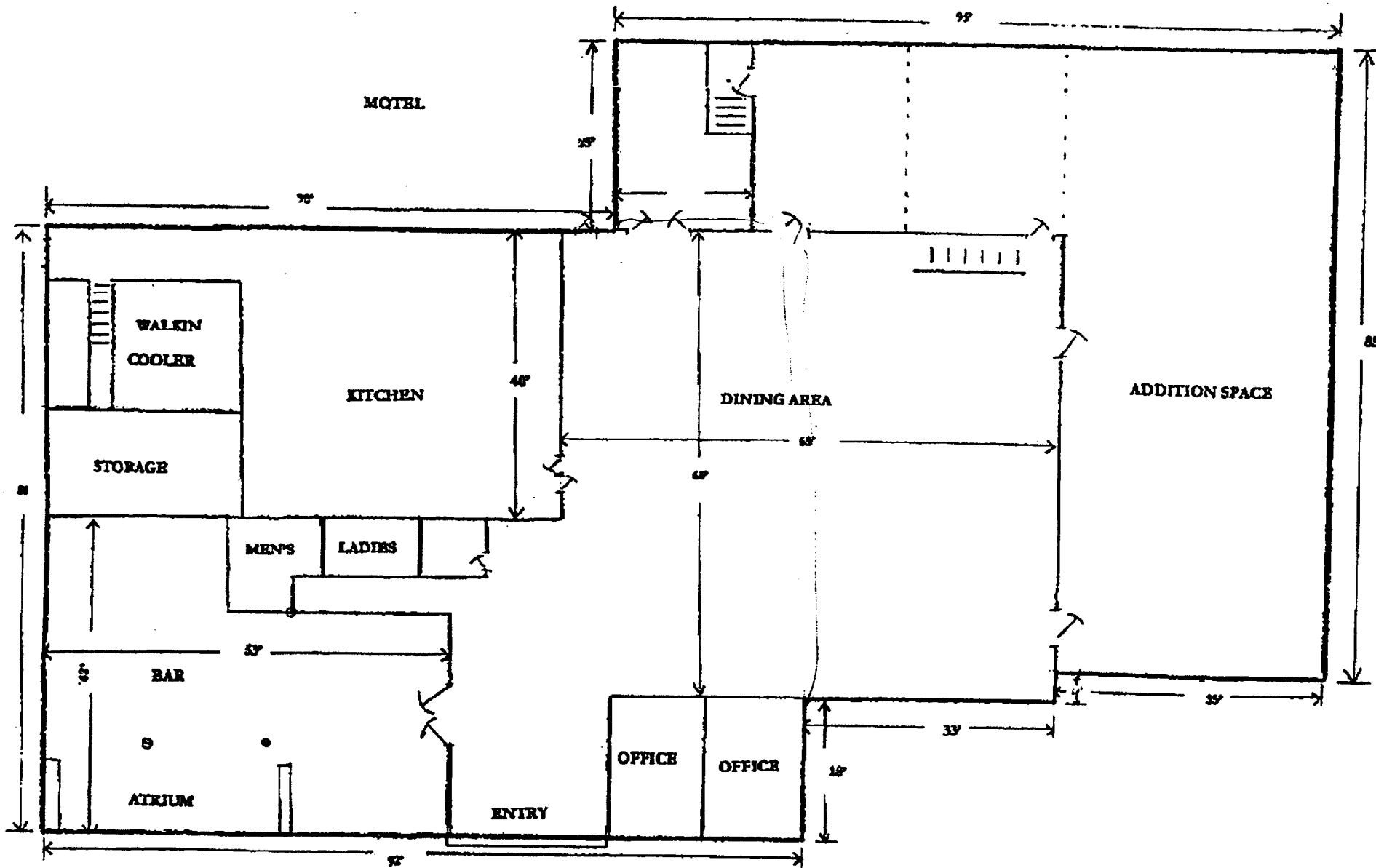
(B)

2

172,266

CITY OF PORTLAND
ASSESSOR'S PLAN
SCALE 1" = 50'

REDRAWN 9-76



1140 BRIGHTON AVE


AI H. LU
736 BARK ST.
SWANSEA, MA 02777

5-13/110
8433887432

461

DATE June 20.02.

PAY The Boulos Company \$ 7000.00.
to the order of
Seven thousand dollars ⁰⁰/₁₀₀

 **Fleet**
www.fleet.com
36802 Rockdale Avenue Office
South Darenmouth, Massachusetts 02740

MEMO Luaihu

⑆011000138⑆ 94338 97432⑈ 0461


TANG JIN YIU
374 TUCKER ST.
FALL RIVER, MA 02721

5-13/110
8437540107

135

DATE June 20.02

PAY TO THE ORDER OF The Boulos Company \$ 7000.00.
Seven thousand dollars ⁰⁰/₁₀₀ DOLLARS

 **Fleet**
www.fleet.com
82064 Fall River Stop & Shop Office
Fall River, Massachusetts 02721

MEMO Tang Jin Yiu.


⑆011000138⑆ 94375 40107⑈ 0135

5-13/110

97

DATE 6/20/02

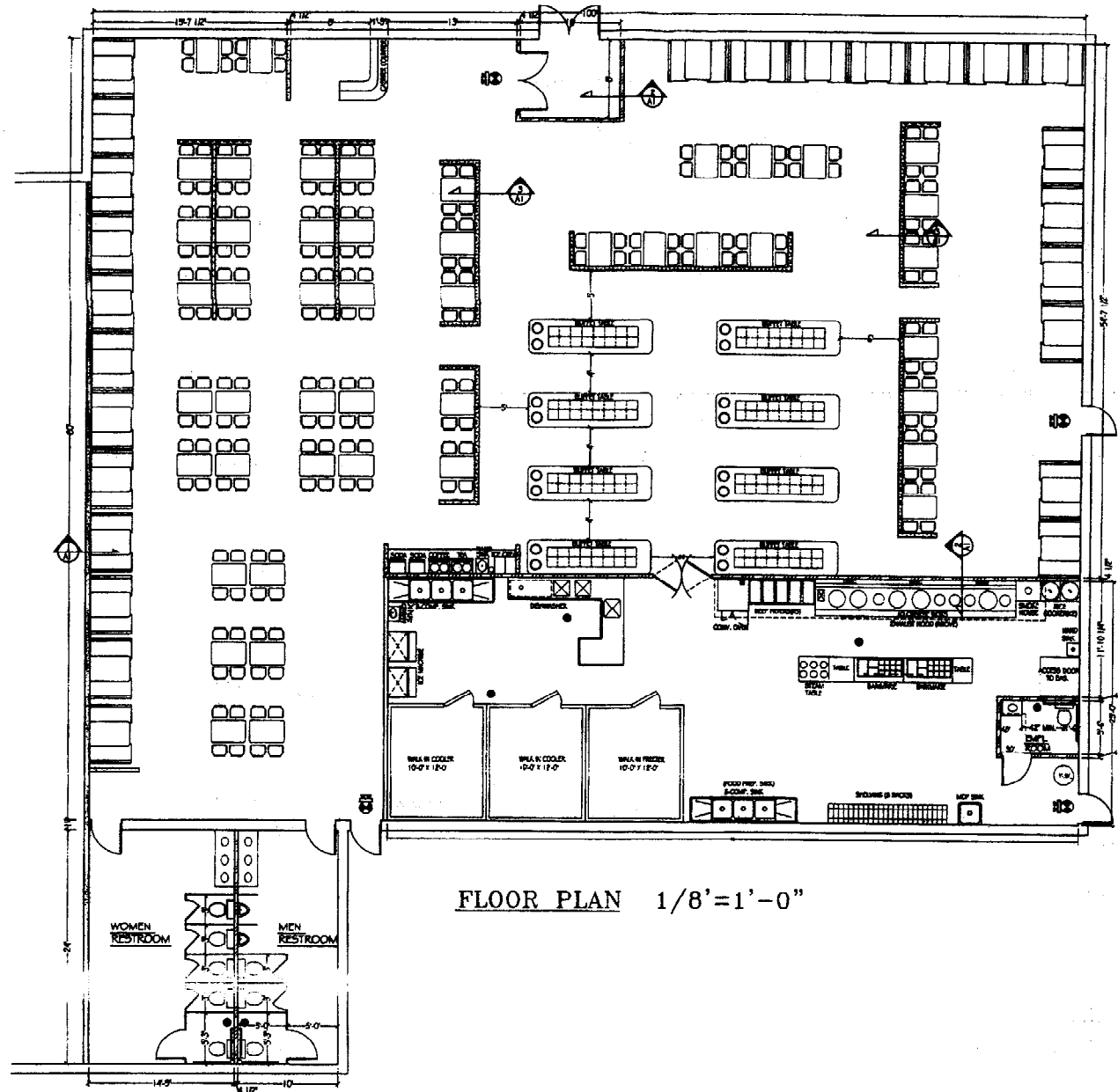
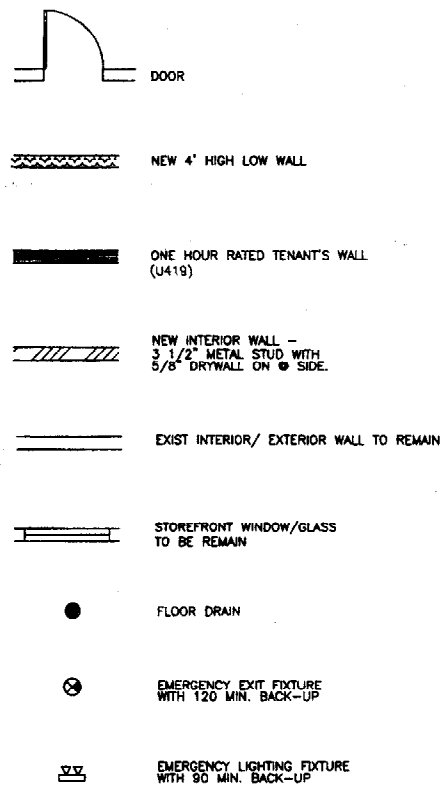
PAY TO THE ORDER OF The Boulos Company \$ 7000.00
Seven thousand DOLLARS

 **Fleet**
www.fleet.com
8402 First Community Bank
Fleet - Boston, Massachusetts

MEMO Yanyou

⑆011000138⑆ 94564 27038⑈ 0097

LEGEND



FLOOR PLAN 1/8"=1'-0"

EQUIPMENT SCHEDULE

NO.	ITEM	MODEL NO.	NSF	AGA	UL	MANUFACTURER
1	CONV. OVEN	OS22	V	V		SOUTHBEND
2	WORK TABLE	CUSTOM				WIN
3	DEEP Fryer (2S)	FMP-40	V		V	CECLINARE
4	CHEESE SHRE	WH-1000	V	V		WIN
5	COFFEE URNS	WPU-303	V			CECLINARE
6	EXHAUST HOOD	WH-200	V			WIN
7	RICE COOKER	REKSA-N	V			GREAT CHINA
8	BAIN MARIE	SURBO-24M	V			BEVERAGE-A-R
9	WALK-IN COOLER (2)	MSA-10-F	V			EMBLE
10	WALK-IN FREEZER	107112	V			AMERICOOLER
11	HOT BUFFET TABLE	CUSTOM	V		V	WIN
12	SAND TABLE	CUSTOM	V		V	WIN
13	MOP SINK	1810-1	V			EAGLE
14	HOT WATER HEATER	BRC-189	V	V		A.O.SMITH
15	ICE MACHINE(2)	800LPS	V			MAPPROOC
16	ICE CREAM REF.	SC-210	V		V	CARWELL
17	TEA URN	ZL-100	V		V	CECLINARE
18	STEAM TABLE	WST-3	V			WIN

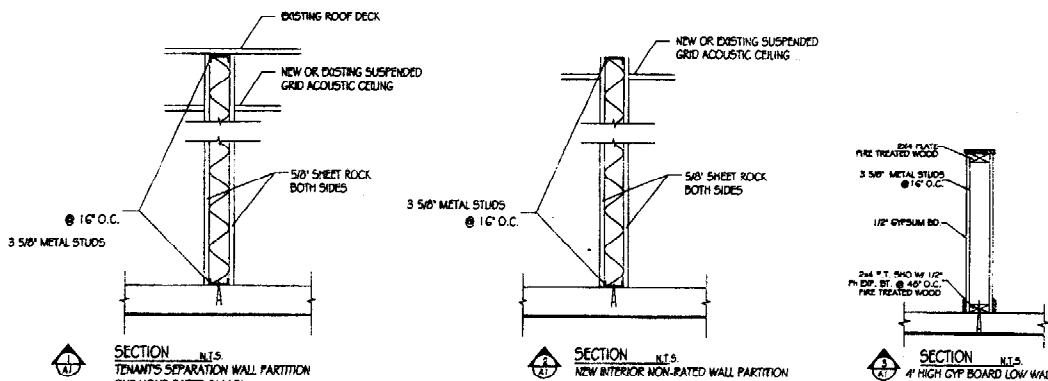
ROOM	FLOOR	CEILING	WALL
DINING AREA	CARPET, COMMERCIAL GRADE, COVERED TO THE WALL.	2X2 LAY-IN ACoustICAL CEILING, COMMERCIAL GRADE	FORMICA/ WALL PANEL
KITCHEN	QUARRY TILE, COVERED TO THE WALLS, COMMERCIAL GRADE	2X4 LAY-IN ACoustICAL CEILING, NON-PERFORATED, NON-PRESSURED, SMOOTH, WASHABLE, LIGHT-IN COLOR	STAINLESS STEEL & GYPSUM FIRECODE PAINTED W/2-COATS OF EPOXY PAINT, SMOOTH SURFACE, WASHABLE, LIGHT-IN COLOR
REST ROOM	CERAMIC TILE, COVERED TO THE WALLS, COMMERCIAL GRADE	2X2 LAY-IN ACoustICAL CEILING, COMMERCIAL GRADE	GYPSUM PAINTED W/2-COATS SEMI-GLOSS ENAMEL, SMOOTH SURFACE, WASHABLE

DOOR SCHEDULE:

NO.	DOOR	FRAME	GLASS	REMARKS
1	FRONT ENTRANCE	ALUMINUM	7'-0" x 7'-0"	MEETING CODE WITH ADAAG
2	REAR EXIT	METAL	7'-0" x 7'-0"	EXISTING WITH GLASS, MEETING CODE WITH ADAAG
3	ENTRY ROOM	WOOD	7'-0" x 7'-0"	SELF-CLOSING
4	WALK-IN COOLER/FREEZER	ALUMINUM	7'-0" x 7'-0"	INSULATED DOOR (BY MANUFACTURER)
5	RESTROOM	WOOD	7'-0" x 7'-0" (double)	SELF-CLOSING, WITH DOUBLE LATCH OF 20K LB.

DOOR NOTES:

- Latch side clearances at all doorways shall be in accordance with ADAAG 4.13.16
- Interior doors to be labeled as to intended use.
- Doors not require high grasping, high reaching or twisting of the wrist to operate.
- All doors to be lever type with door closers and 1/2" threshold.



PROJECT DATA:

"MAINE SUPPER BUFFET"
1140 BRIGHTEN AVE
PORTLAND, ME

- INTERIOR ALTERATION PLAN ONLY.
- CONSTRUCTION TYPE: 2C-no structural change Fully Sprinkler Building
- USE GROUP: A-3 RESTAURANT
- TOTAL FLOOR AREA: app. tox. 8,500 sq. ft.
- OCCUPANCY LOAD: 28-4 SEATS
10 EMPLOYEE
TOTAL: 294 OCCUPANTS
- STORIES: 1 with basement

-RENOVATED EXISTING 'VALLEY STEAK HOUSE' RESTAURANT into Chinese Buffet Restaurant.

FIRE SAFETY NOTE:

- INTERIOR FINISH MATERIAL SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF ASTM CLASS II (26-75).
- SMOKE DEVELOPMENT RATINGS SHALL NOT EXCEED 450 (BOCA TABLE 603.4).
- ALL MATERIAL UTILIZED FOR WALL/PARTITIONS IN BUILDING SHALL BE NON-COMBUSTIBLE IN ACCORDANCE WITH BOCA 603.1, TABLE 602, (PRT)2310.0.
- INSULATING MATERIALS SHALL HAVE A FLAME SPREAD RATING OF 75 OR LESS AND A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E-84, BOCA SECTION 722.3.
- FIRE EXTINGUISHER, PER 1991 N.F.P. 01-7-7.4.1.
- KITCHEN SUPPRESSION SYSTEM PROTECTION, PER APPLICABLE PROVISIONS 1991 N.F.P.A. #96.

GENERAL NOTES:

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.
- ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOKS; I.E. TILE COUNCIL OF AMERICA, HANDBOOK FOR CERAMIC TILE INSTALLATION; ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS," ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKERS AND OCCUPANTS AT ALL TIMES.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS.
- REMODEL WORK SHALL NOT OBSTRUCT OR CAUSE TO BE INOPERATIVE, EXISTING FIRE PROTECTION SYSTEMS. MODIFICATION TO FIRE PROTECTION SYSTEMS SHALL BE PERFORMED BY A FIRE PROTECTION CONTRACTOR, WHO SHALL OBTAIN A PERMIT FROM FIRE LOSS MANAGEMENT PRIOR TO WORK.
- DECORATIVE MATERIALS, DRAPES, HANGINGS, ETC., SHALL BE NON FLAMMABLE OR FLAME-PROOF PER STATE FIRE MARSHALL REQUIREMENTS.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- BARRIER-FREE ACCESSIBILITY INTO THROUGHOUT SPACE, STATE ACCESSIBILITY CODE AND ADAAG CODES.



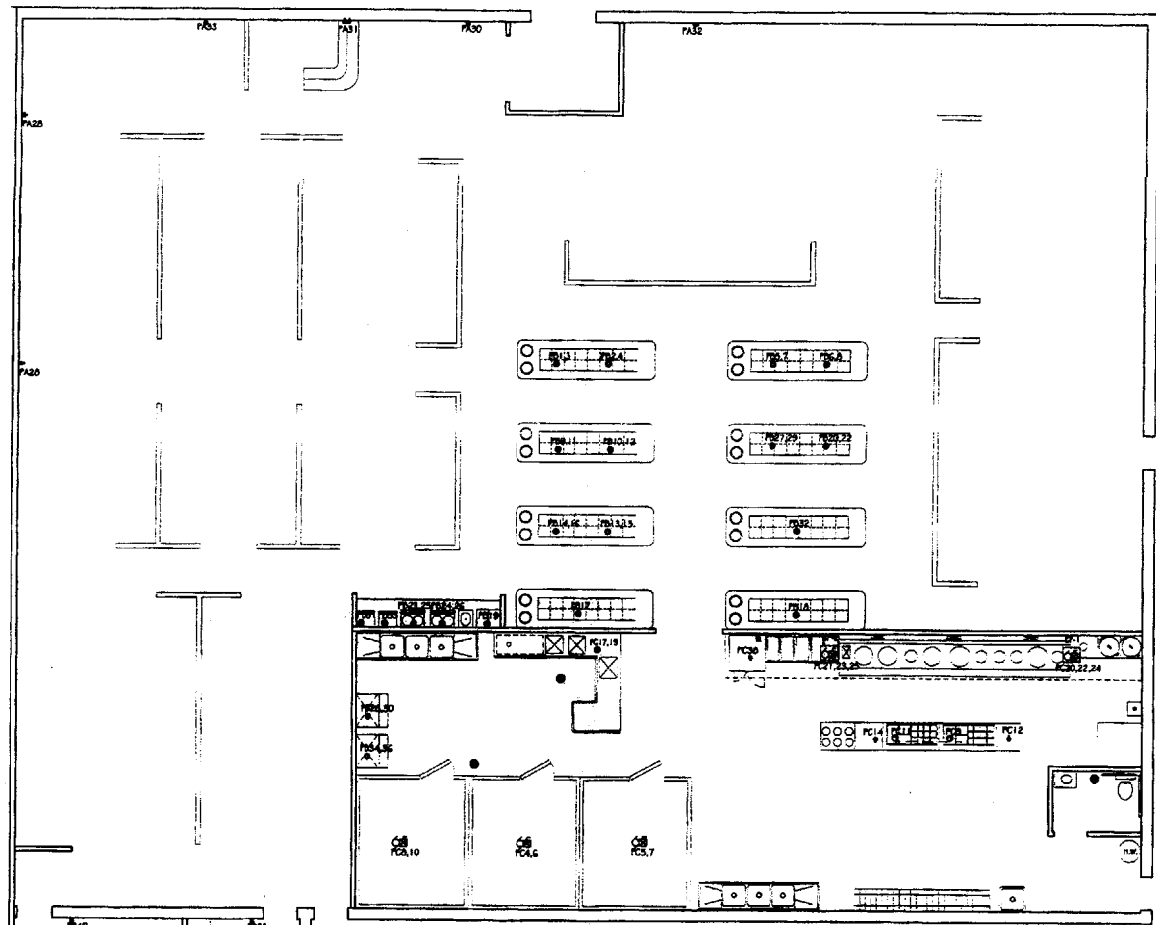
DATE: 06/22/2002

REVISION

KING'S ASSOCIATES INC.
84 CANAL STREET, NYC, NY 10002
TEL: (212) 274-8833
FAX: (212) 274-8889

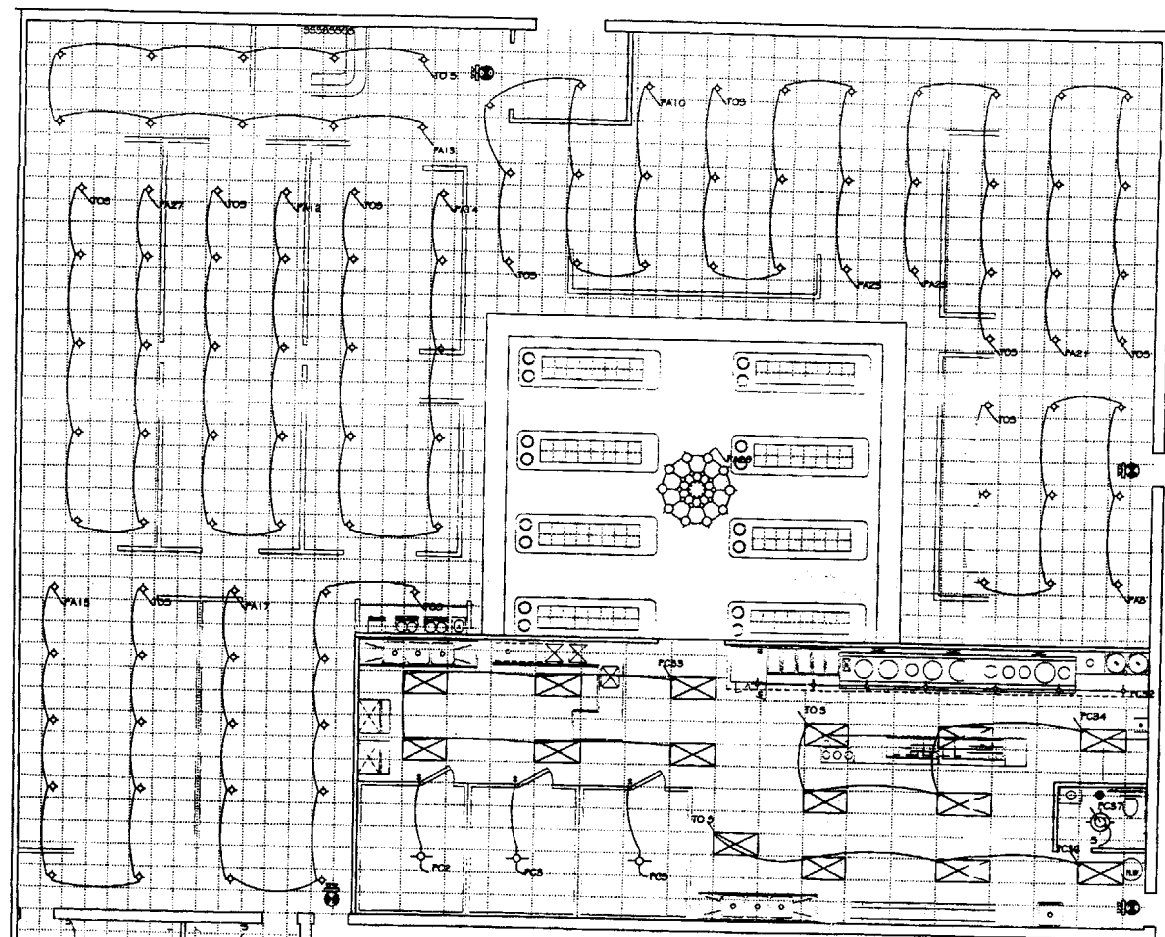
MAINE SUPER BUFFET
1140 BRIGHTEN AVE,
PORTLAND, ME

PROJECT DATA
FLOOR PLAN



CEILING PLAN-ELECTRICAL 1/8"=1'-0"

- ELECTRICAL NOTES & REQUIREMENTS**
- ALL WIRING TO COMPLY WITH N.E.C., 1996.
 - MINIMUM CIRCUIT TO BE 20 AMP. BREAKER, 0.412 BY 3/4" CONDUIT (+GND) UNLESS SHOWN OTHERWISE.
 - WIRE SIZE BASED ON THE COPPER ALLOY.
 - PROVIDE RECOMMENDED MARS AT ALL MOTOR LOADS.
 - VERIFY ALL REQUIREMENTS FOR EXISTING EQUIPMENT WITH EQUIPMENT SUPPLIER.
 - MADE ALL FINAL CONNECTIONS.
 - IDENTIFY ALL ELECTRICAL DEVICES AND SPECIFICATIONS AS REQUIRED BY THE ADA AND THE LOCAL STATE BARBER FRAUD ACT.
 - PROVIDE ALL NOTICES AND MOTOR ASSEMBLIES AS ACCORDANCE WITH THE N.E.C., 1996 AND MANUFACTURER'S RECOMMENDATIONS.
 - BALANCE THE LOADS EVENLY BETWEEN THE PHASES OF THE SYSTEM AND NEUTRAL LINE.
 - COORDINATE ALL WORK WITH ARCHITECTURAL, MECHANICAL AND PLUMBING TRADES IN FIELD.
 - VERIFY ALL EXISTING PERMITS AND ACCORDANCE AS REQUIRED FOR A COMPLETE INSTALLATION.
 - ELECTRICAL PANEL SHALL BE ENCLOSED INTO THE WALL.



ELECTRICAL PLAN 1/8"=1'-0"

LEGEND

- EMERGENCY LIGHTING FIXTURE WITH 90 MIN. BACK-UP
- 2'x4' RECESSED 4 TUBE FLUORESCENT
- 60 WATT LIGHT BULB
- SWITCH
- DUPLEX CONVENIENCE OUTLET
- POWER OUTLET
- MOTOR AND DISCONNECT SWITCH
- COMBINATION FAN/LIGHT UNIT MTD CEILING RECESSED 1-100W A 80 CFM EXHAUST WALL OR ROOF
- CHANDELIER
- 400 CFM E-AUST FAN VENT TO ROOF

TYPE LOAD CENTER		PANEL A		MAIN BUS 800A	
SERVICE VOLTAGE	3ø/4w	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
VOLTAGE	120/208	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
POLES	4ø	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
19800	75/3	3 HWV2	3	75/3	19800
19800	75/3	3 HWV3	3	75/3	19800
750	20/1	12 DINING ROOM LIGHTING	12	20/1	875
750	20/1	12 PARTY ROOM LIGHTING	12	20/1	875
525	20/1	12 PARTY ROOM LIGHTING	12	20/1	750
---	---	12 SPARE	12	20/1	800
600	20/1	12 WAITER AREA LIGHTING	12	20/1	800
525	20/1	12 PARTY ROOM LIGHTING	12	20/1	800
675	20/1	12 PARTY ROOM LIGHTING	12	20/1	800
750	20/1	12 DINING ROOM LIGHTING	12	20/1	1000
800	20/1	12 BUFFET AREA LIGHTING	12	20/1	1000
1000	20/1	12 COUNTER REC	12	20/1	1000
1000	20/1	12 DINING ROOM REC.	12	20/1	1500
1000	20/1	12 EMERGENCY LIGHT	12	20/1	1000
33,490	200/3	34 SUB-PANEL 'C'	34	200/3	38,600
81,085					98,175

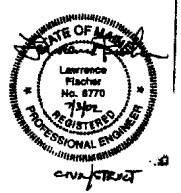
I = 179,240 VA = 497.54 A @ 208v/3ø

TYPE LOAD CENTER		SUB-PANEL B		MAIN BUS 400A	
SERVICE VOLTAGE	3ø/4w	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
VOLTAGE	120/208	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
POLES	4ø	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
4000	30/2	10 HOT BUFFET BAR	10	30/2	4000
4000	30/2	10 HOT BUFFET BAR	10	30/2	4000
4000	30/2	10 HOT BUFFET BAR	10	30/2	4000
4000	30/2	10 HOT BUFFET BAR	10	30/2	4000
4000	30/2	10 HOT BUFFET BAR	10	30/2	4000
1200	20/1	12 SALAD BAR	12	20/1	1200
1500	20/1	12 ICE CREAM REF.	12	20/1	1200
---	---	12 SPARE	12	20/1	4000
4000	40/2	8 TEA URN	8	40/2	4000
4000	20/2	10 HOT BUFFET BAR	10	30/1	3000
1000	20/1	12 SODA ERC.	12	20/1	1200
1000	20/1	12 SODA ERC.	12	20/1	3000
1000	20/1	12 MEN ROOM FAN & LIGHT	12	20/1	1000
1000	20/1	12 WOMEN ROOM FAN & LIGHT	12	20/1	1000
---	---	12 SPARE	12	20/1	1000
32,200					34,400

I = 66,600 VA = 184.87 A @ 208v/3ø

TYPE LOAD CENTER		SUB-PANEL C		MAIN BUS 200A	
SERVICE VOLTAGE	3ø/4w	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
VOLTAGE	120/208	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
POLES	4ø	DESCRIPTION	10,000 AC	NEUTRAL FULL	LOCATION
800	20/1	12 WALK IN COOLER/FREEZER LIGHT	12	20/1	800
800	20/1	12 WALK IN COOLER/FREEZER LIGHT	12	20/1	2770
2770	30/2	10 WALK IN FREEZER	10	30/2	2770
1200	20/1	12 BAK. WAIR	12	20/1	2770
1200	20/1	12 BAK. WAIR	12	20/1	1000
---	---	12 SPARE	12	20/1	1000
---	---	12 SPARE	12	20/1	1000
3170	30/2	10 DSH WISHER	10	30/2	3170
---	---	12 SPARE	12	30/2	3170
3170	30/2	10 DSH	10	30/2	3170
---	---	12 SPARE	12	30/2	4170
800	20/1	12 HOOD LIGHTS	12	20/1	800
900	20/1	12 RESTROOM LIGHTS & FAN	12	20/1	840
900	20/1	12 KITCHEN LIGHTING	12	20/1	800
---	---	12 SPARE	12	20/1	840
---	---	12 SPARE	12	20/1	1000
15,370					18,120

I = 33,490 VA = 92.96 A @ 208v/3ø



DATE: 06/22/2002

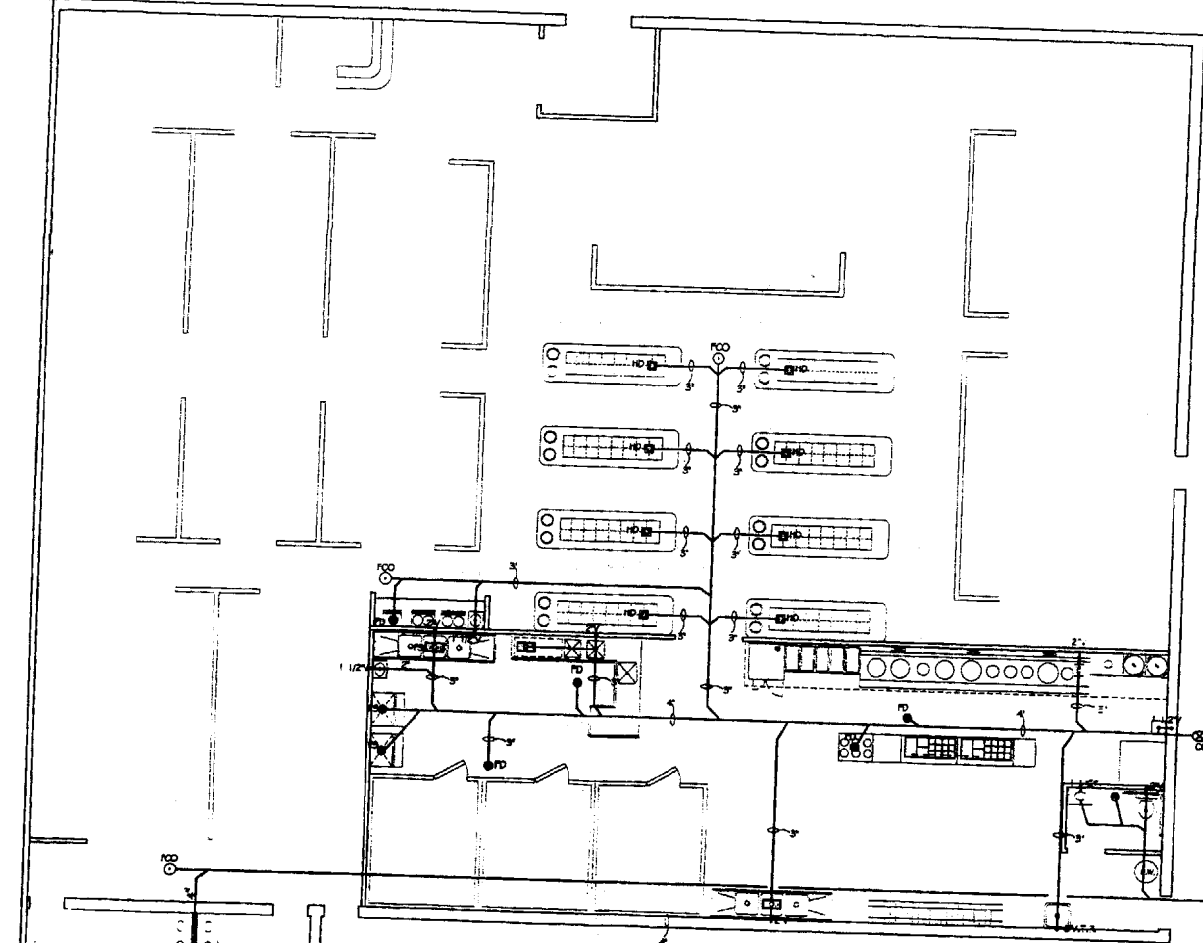
REVISION

KING'S ASSOCIATES INC.
84 CANAL STREET, NYC, NY 10002
TEL: (212) 274-8833
FAX: (212) 274-8809

MAINE SUPER BUFFET
1140 BRIGGENTEN AVE.
PORTLAND, ME

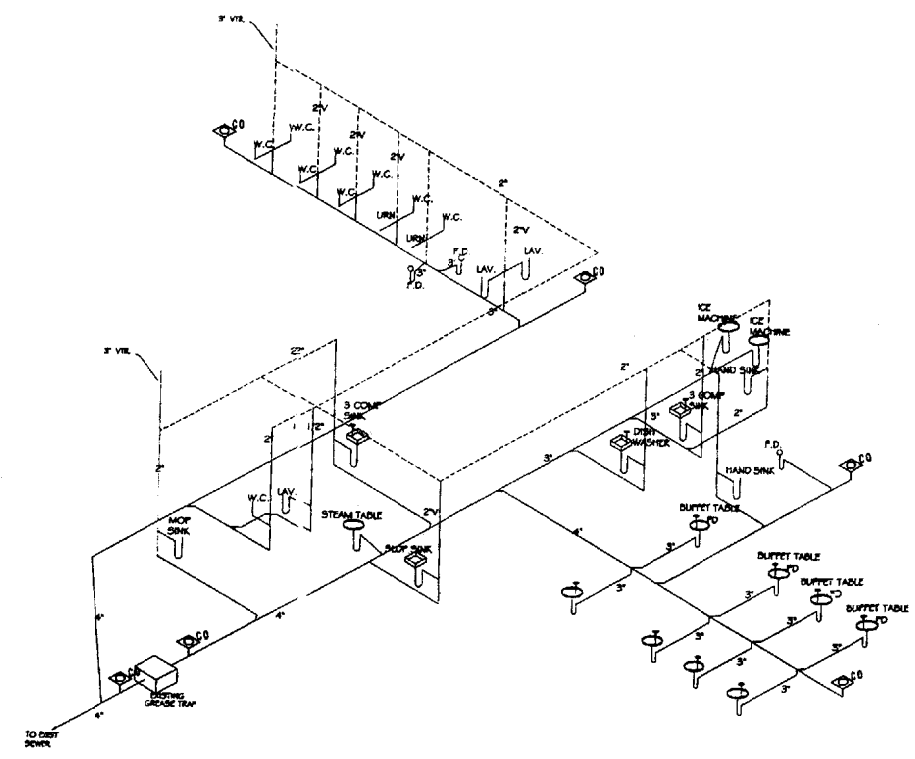
CEILING PLAN-ELECTRICAL
PANEL SCHEDULE

WG. NO. 1E020622
A-2

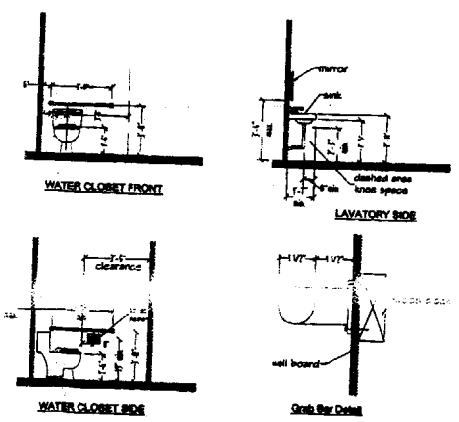


PLUMBING RISER 1/8" = 1'-0"

- PLUMBING REQUIREMENTS**
1. ALL PLUMBING SHALL COMPLY WITH THE LOCAL PLUMBING & HEATING DEPARTMENT REQUIREMENTS.
 2. INSULATE ALL HOT & COLD WATER LINES ABOVE GRADE WITH 3/4" FIBERGLASS PIPE INSULATION, WITH VAPOUR BARRIER.
 3. VERIFY ALL FINAL CONNECTIONS TO KITCHEN EQUIPMENT WITH KITCHEN SUPPLIER. VERIFY NOTES IN ARCHITECTURE WITH SAME.
 4. MATERIALS SHALL BE AS FOLLOWS:
 - A. WATER PIPING TO BE TYPE 'C' COPPER BELOW GRADE, TYPE 'L' COPPER ABOVE GRADE.
 - B. WASTE PIPING TO BE CAST IRON OR PVC PLASTIC.
 - C. VENTS TO BE CAST IRON, GALVANIZED STEEL OR PVC PLASTIC PIPE.
 - D. GAS PIPING TO BE SCHEDULE 40, BLACK STEEL PIPE. PROVIDE AUTOMATIC GAS SHUT-OFF VALVE IN COOKING EQUIPMENT SUPPLY MAIN AS REQUIRED FOR COOKING EQUIPMENT FIRE PROTECTION SYSTEM. VERIFY & COORDINATE WITH KITCHEN EQUIPMENT SUPPLIER.
 5. ALL DRAINAGE WASTES EXCEEDING 2" IN LENGTH SHALL BE TRAPPED.
 6. PROVIDE CLEANOUTS AS REQUIRED, & AT THE BASE OF ALL STACKS.
 7. ALL MATERIALS USED WITHIN RETURN AIR FLENDING SHALL BE APPROVED FOR SUCH USE.
 8. PROVIDE FIXTURE STOPS AT ALL PLUMBING FIXTURES.
 9. PROVIDE ALL FITTING & ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
 10. HOT WATER SUPPLIED TO LAVATORY FIXTURES SHALL NOT EXCEED 120°F.
 11. SEARCAAP PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ADA REQUIREMENTS & LOCAL STATE BARBER FEES REQUIREMENTS.
 12. COORDINATE ALL WORK IN FIELD WITH ARCHITECTURAL, MECHANICAL & ELECTRICAL TRADES.
 13. VERIFY ALL EXISTING JOB CONDITIONS & AS REQUIRED FOR A COMPLETE INSTALLATION.

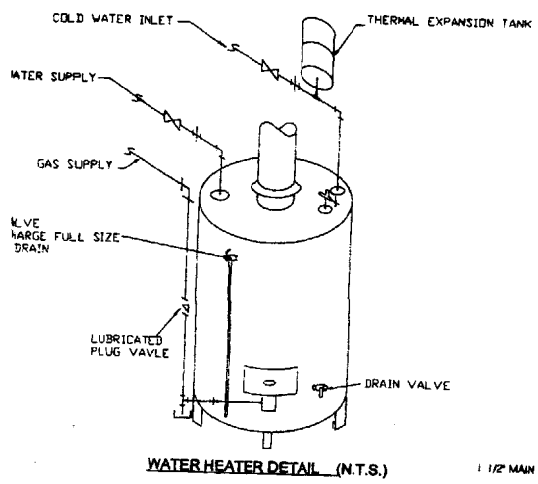


PLUMBING RISER NTS

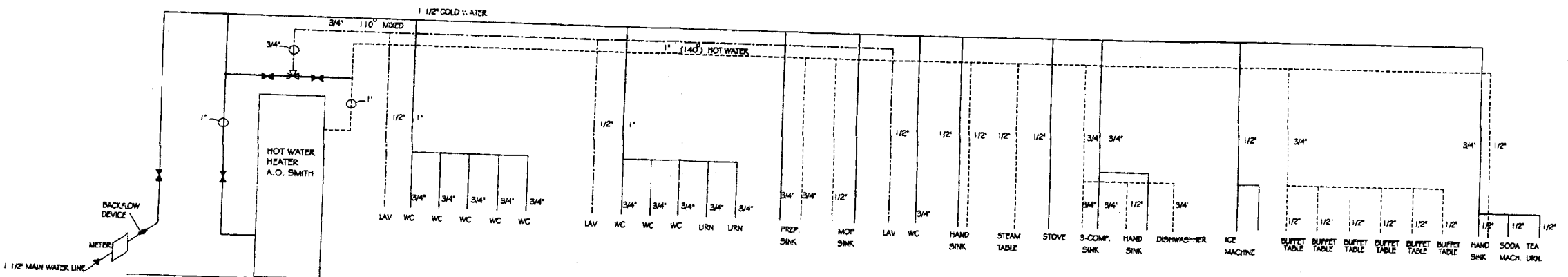


ADA DETAILS

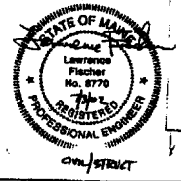
- ADA REQUIREMENT NOTES**
- RESTROOM CONDITIONS**
- Toilet paper dispensers must permit continuous paper flow and mounted 14" center to 8" floor.
 - Hot water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact.
 - There shall be no sharp or abrasive surfaces under lavatories.
 - Toilet seats shall be made of a material that is smooth, non-porous, and non-absorbent.
 - All stresses on grab bars and components shall be based on 250 lb.
 - Paper towel dispenser to be located at a height of 44" above finished floor maximum.
 - Provide loop type accessible door hardware on toilet stalls.
 - Provide signage on restroom doors adjacent to latch side of door at 60" above 8" floor.
 - Use non-glare finish grade 2 braille and raised letters (1/32").
 - All doors min. width 2'-0" clear at 90 degree open.



WATER HEATER DETAIL (N.T.S.)



WATER SUPPLY DIAGRAM



DATE: 06/22/2002

REVISION

KING'S ASSOCIATES INC.
84 CANAL STREET, NYC, NY 10002
TEL: (212) 274-8833
FAX: (212) 274-8889



MAINE SUPER BUFFET
1140 BRIGHTEN AVE.
PORTLAND, ME

PLUMBING PLAN
PLUMBING RISER DIA.
WATER RISER DIA.

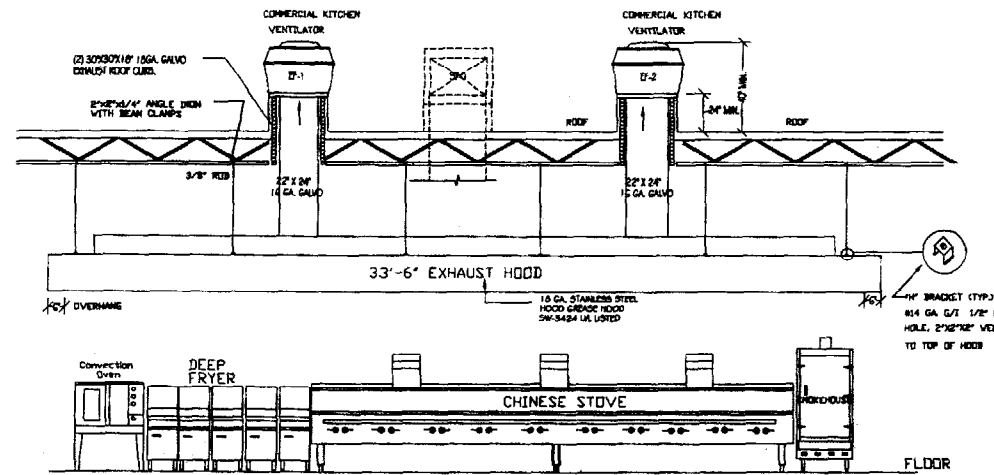
HOOD1 SIZE: 33'-6" L X 4'-0" W
 FACE AREA OF HOOD: 134 SQ. FT.
 QUANTITY OF EXHAUST AIR AT HOOD: 13,400 CFM(100%) BOCA
 QUANTITY OF MAKE UP AIR HOOD: 11,390 CFM(85%)
 DUCT SIZE: 24" X 22" X 2
 AIR VELOCITY IN DUCT: 1,830 FPM

HOOD VENTILATION SYSTEM NOTES:

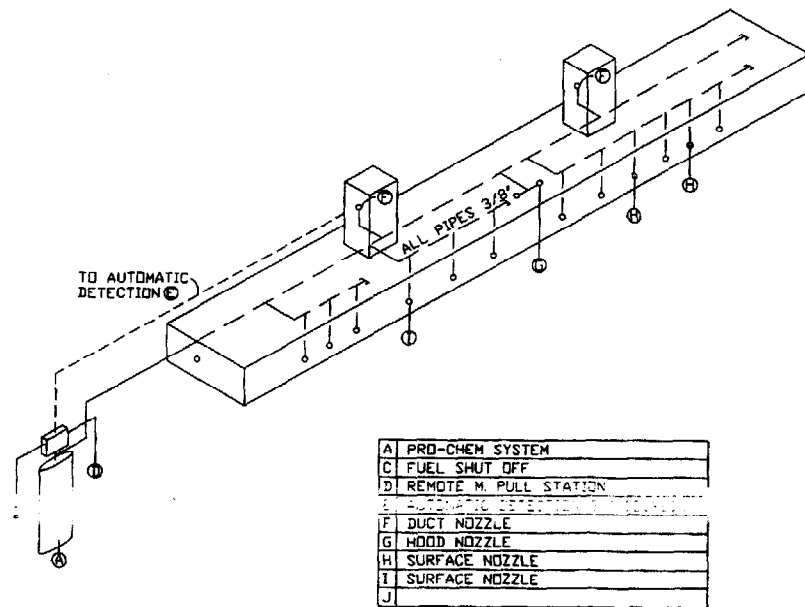
1. Fire suppression system shall be installed by license of installer underneath the hood.
2. Contractor shall submit shop drawing and manufacturer's data before installation.
3. All wiring and electrical equipment shall comply with NFPA 70 the National Electrical Code.
4. Provide clean out at the base of each vertical riser that over 20", and horizontal duct every 12'.
5. Hood is fabricated as according to NFPA code 96. All seams, joints and penetrations are continuously welded as liquid tight and constructed with No. 18 ga. Stainless steel.
6. Ducts are constructed with 16 ga. metal iron and shall be welded as liquid tight.
7. Hood and duct shall have a minimum clearance of 18" from any combustible material.
8. The kitchen exhaust system shall be installed per State and local code and International Mechanical Code and manufacturer's specification.
9. Make up fan and Exhaust fans shall be electrically interlocked, and provide one switch for both fans.
10. Exhaust Fan: 2 Dayton 7A710 (UL list, YZHW, subject 752), 1 1/2 HP, wheel dia.25", 230/460V, 6,820 cfm at 1/4" sp., fan at 1041 rpm.
11. Make up air fan: Dayton 7H395 (UL list), 5 HP, wheel dia. 18", 208/220V, 11,500 cfm at 250" sp. fan at 609 rpm.

FIRE SUPPRESSION SYSTEM NOTES

1. Fire suppression system shall be installed by licensed contractor.
2. Contractor shall submit shop drawing for approval before installation.
3. The mechanical pull station shall located 10'-25' from the range hood.
4. Nozzles height from cooking equipment min. 12" and max. 50".
5. There must be 16" between fryer and any open flames.

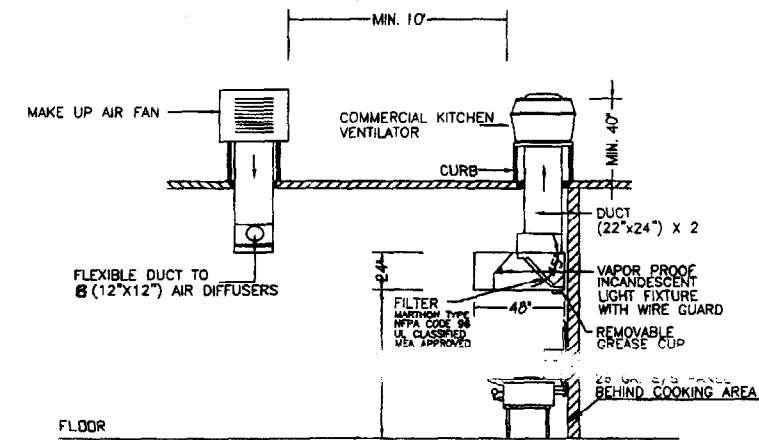


FRONT VIEW N.T.S.

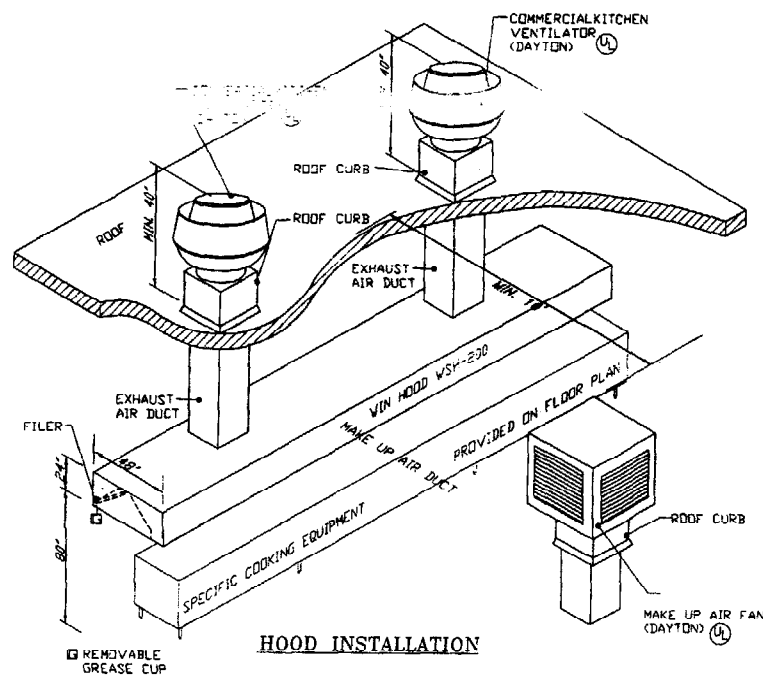


A	PRO-CHEM SYSTEM
C	FUEL SHUT OFF
D	REMOTE M. PULL STATION
E	AUTOMATIC DETECTION
F	DUCT NOZZLE
G	HOOD NOZZLE
H	SURFACE NOZZLE
I	SURFACE NOZZLE
J	SURFACE NOZZLE

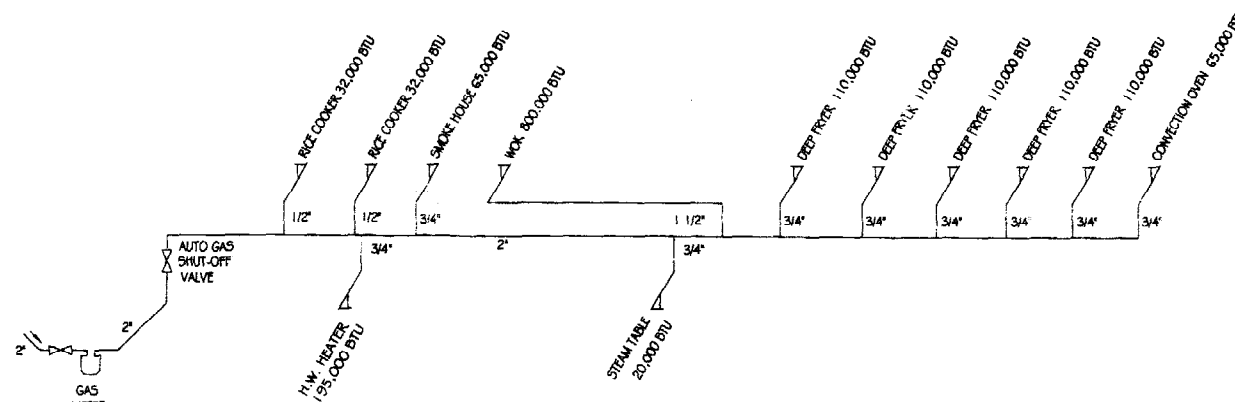
FIRE SYSTEM N.T.S. FOR HOOD



HOOD SECTION N.T.S. (SIDE VIEW)



HOOD INSTALLATION



GAS RISER DIAGRAM

GAS CALCULATION

STEAM TABLE	20,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
DEEP FRYER	110,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
WOK	80,000 BTU	3/4"
CONV. OVEN	65,000 BTU	3/4"
SMOKE HOUSE	65,000 BTU	3/4"
RICE COOKER	31,200 BTU	1/2"
RICE COOKER	31,200 BTU	1/2"
WATER HEATER	195,000 BTU	3/4"

DATE: 06/22/2002

REVISION

KING'S ASSOCIATES INC.
 84 CANAL STREET, NYC, NY 10002
 TEL: (212) 274-8833
 FAX: (212) 274-8889



MAINE SUPER BUFFET
 1140 BRIGHTEN AV
 PORTLAND, ME

HOOD SECTION
 GAS RISER DIA.

