

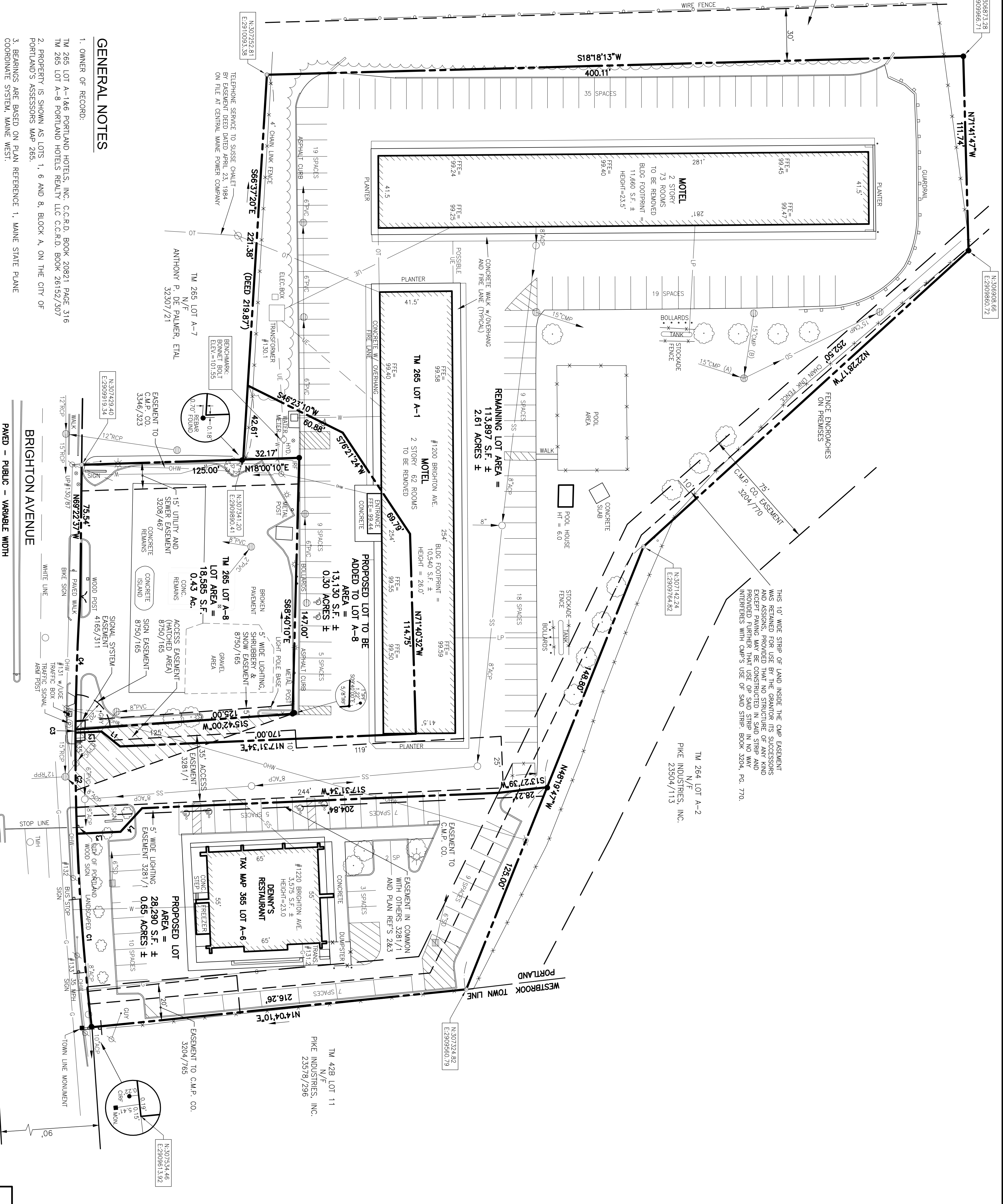
N/F
MAINE TURNPIKE AUTHORITY
INTERSTATE 95
PLAN REF. #4

N/F
CITY OF PORTLAND
ESTABLISHED
PORTLAND PLANE
ACCESS EASEMENT
FROM SUSSE CHALET
3348/257

UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACQUIRED AS POSSIBLE FROM THE MAIN UNDERGROUND UTILITIES CO. (M.U.C.) AT LEAST THRETEEN BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. OTHER CONCEALED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PLAN REFERENCES

1. STANDARD BOUNDARY SURVEY FOR EXMOR CORPORATION, PROJECT NUMBER 612B, DATED OCTOBER 1986 BY WRIGHT AND PIERCE OF TOPSHAM, ME.
2. RIGHT OF WAY MAP - MAINE STATE HIGHWAY COMMISSION #12, PORTLAND TO WESTBROOK - PROJECT NUMBER U-012-1(502) - FILE 3-165 DATED 1963 RECORDED IN PLAN BOOK 74 PAGE 3.
3. CITY PROPERTY AT BRIGHTON AVENUE AND RIVERSIDE STREET - FILE 574-7 OF PUBLIC WORKS - CITY OF PORTLAND DATED 5/4/70.
4. MAINE TURNPIKE AUTHORITY - SECTION II - PORTLAND TO AUGUSTA, WE SHEET NO. 14, DATED 1993. RECORDED IN PLAN BOOK 56 PAGE 10.
5. STANDARD BOUNDARY SURVEY FOR SUSSE CHALET MOTOR LODGE OF PORTLAND, 1200 BRIGHTON AVE., PORTLAND MAINE, DATED 12/14/90 BY GESI ASSOCIATES, INC. OF SOUTH PORTLAND, MAINE.
6. RIGHT OF WAY MAP STATE HIGHWAY #12 F.A.P. #M-0830 (1) SECTION 4 DATED JUNE 1977 SHEET #9 D.O.T. FILE #3-245 RECORDED IN PLAN BOOK 128 PAGE 7.
7. A17A/AS/N LAND TITLE SURVEY FOR SUSSE CHALET MOTOR LODGE OF PORTLAND DATED DEC. 1993 REVISED 12/29/1993 BY GESI ASSOCIATES, INC. RECORDED IN PLAN BOOK 194 PAGE 73.
8. PLAN OF BRIGHTON STREET AS Laid OUT BY COUNTY COMMISSIONERS IN 1892 IN COMMISSIONERS PLAN BOOK 3 PAGE 34.
9. A17A/AS/N LAND TITLE SURVEY FOR SUSSE CHALET PROJECT, 1200 BRIGHTON AVENUE, PORTLAND, MAINE APRIL 25, 1997 MAY 2, 1997 BY OWEN HASKELL, INC.
10. A17A/AS/N LAND TITLE SURVEY, 1200 BRIGHTON AVENUE, PORTLAND, COMBERLAND COUNTY, MAINE MADE FOR RECORD OWNER EXMOR MODEL OIL CORPORATION APRIL 14, 2008 REVISED JUNE 17, 2008 BY OWEN HASKELL, INC.
11. BOUNDARY & TOPOGRAPHIC SURVEY AT 1200 BRIGHTON AVE, PORTLAND, MAINE MADE FOR WASH ENGINEERING DATED JULY 2, 2014 REVISED THROUGH 2/10/15 BY OWEN HASKELL, INC.



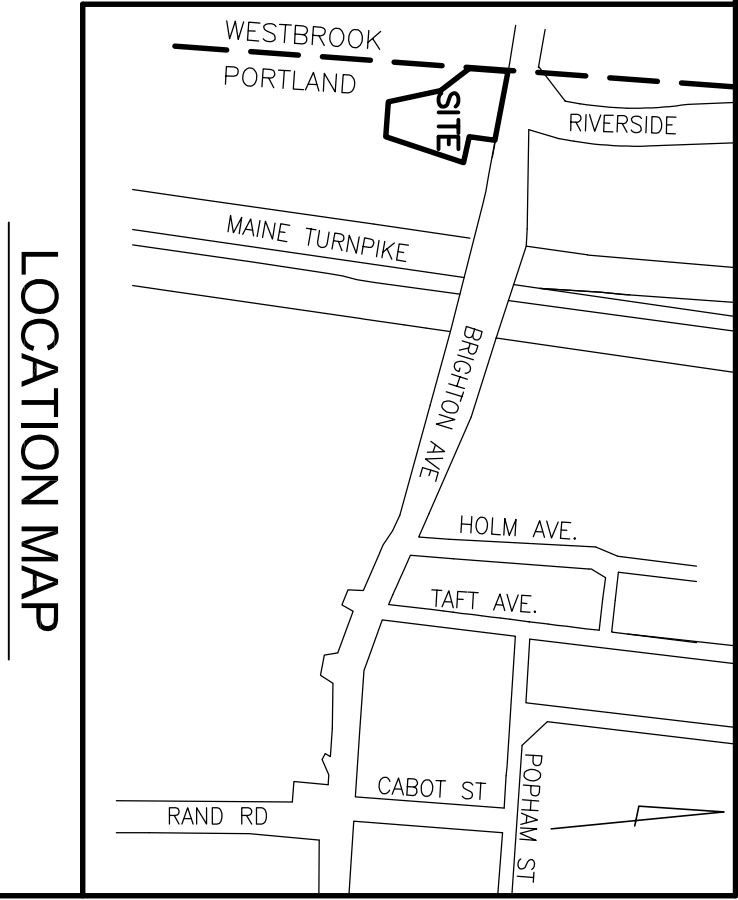
GENERAL NOTES

1. OWNER OF RECORD:
2. TM 285 LOT A-1-168 PORTLAND HOTELS, INC. C.C.R.D. BOOK 20821 PAGE 316
3. TM 285 LOT A-6-PORTLAND HOTELS REALTY LLC C.C.R.D. BOOK 20152/307
4. PROPERTY IS SHOWN AS LOTS 1, 6 AND 8, BLOCK A, ON THE CITY OF PORTLAND'S ASSESSORS MAP 265.
5. BEARINGS ARE BASED ON PLAN REFERENCE 1, MAINE STATE PLANE COORDINATE SYSTEM, MAINE WEST.
6. PROPERTY IS LOCATED IN B-4 (BUSINESS) ZONE. ZONING IS SUBJECT TO REVIEW BY THE CITY PLANNER.
7. BY SCALING, THE PROPERTY IS LOCATED WITHIN ZONE C, AREA OF MINIMAL FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE, COMMUNITY PANEL NUMBER 230051-006-B EFFECTIVE DATE 003/17, 1998.
8. SEWER IS LOCATED IN PORTLAND BUT FLOWS TO THE CITY OF WESTBROOK'S TREATMENT PLANT. BILLING FOR SEWER IS DONE BY THE CITY OF WESTBROOK.
9. ELEVATIONS ARE BASED ON NAD 1929 DATUM.
10. FEATURES SHOWN ARE TAKEN FROM PLAN REFERENCE 11. NO NEW FIELD WORK HAS BEEN COMPLETED. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DIVISION LINE BETWEEN LOT A-8 AND LOT A-1.

CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT ACCURATELY REPRESENTS THE BOUNDARY AND DIMENSIONS OF THE LAND SURVEYED CURRENT STANDARDS OF PRACTICE.

DATE _____ RANDY R. LOUBER, PLS NO. 2407



LEGEND

- IRON PIPE OR ROD FOUND
- CAPPED IRON ROD SET
- MONUMENT FOUND
- UTILITY POLE
- MANHOLE
- SIGN
- CATCH BASIN
- HORIZONTAL
- WATER VALVE OR SHUTOFF
- LIGHT POLE
- DECIDUOUS TREE
- FENCE
- CURB
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- WATER LINE
- GAS LINE
- TELEPHONE
- STORM DRAIN
- SANITARY SEWER

LINE	BEARING	DISTANCE
1	N68°40'29"E	13.68
2	S71°31'34"W	13.00
3	S71°31'34"W	29.00
4	S67°28'28"E	18.38

CHORD RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	138.07	111.48	S72°20'44"E
C2	138.07	18.17	S68°53'30"E
C3	138.07	76.49	S67°58'07"E

PROPOSED LOT DIVISION

1210 BRIGHTON AVENUE, PORTLAND, MAINE
MADE FOR
PINKHAM & GREER
28 VANNAH AVE., PORTLAND, ME 04103

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, RAMOTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	Check By	Date	Scale	Job No.	Drawn No.
RRL	JLW	APRIL 6, 2017	1" = 30'	2017-063P	1