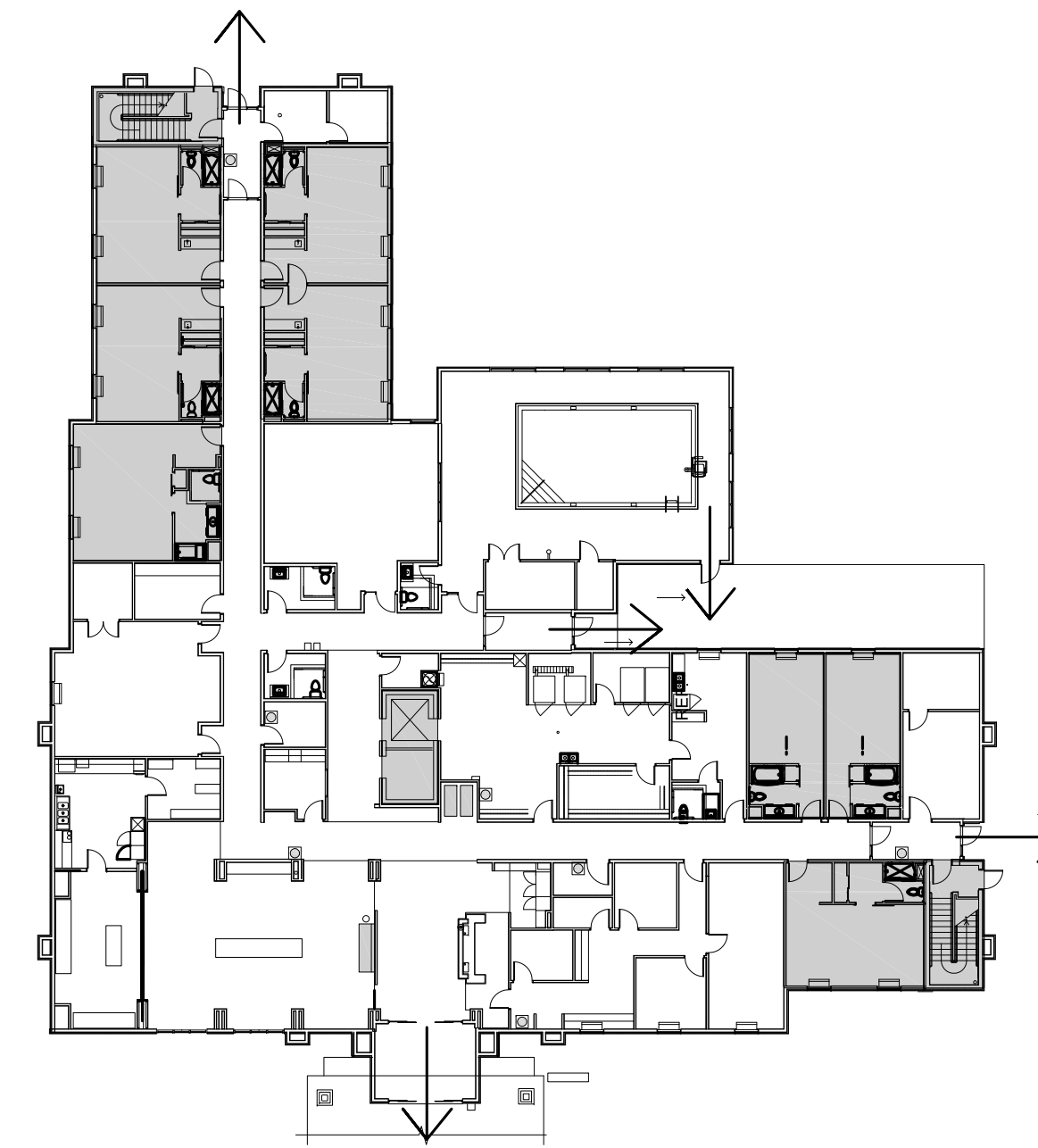


Hampton Inn & Suites

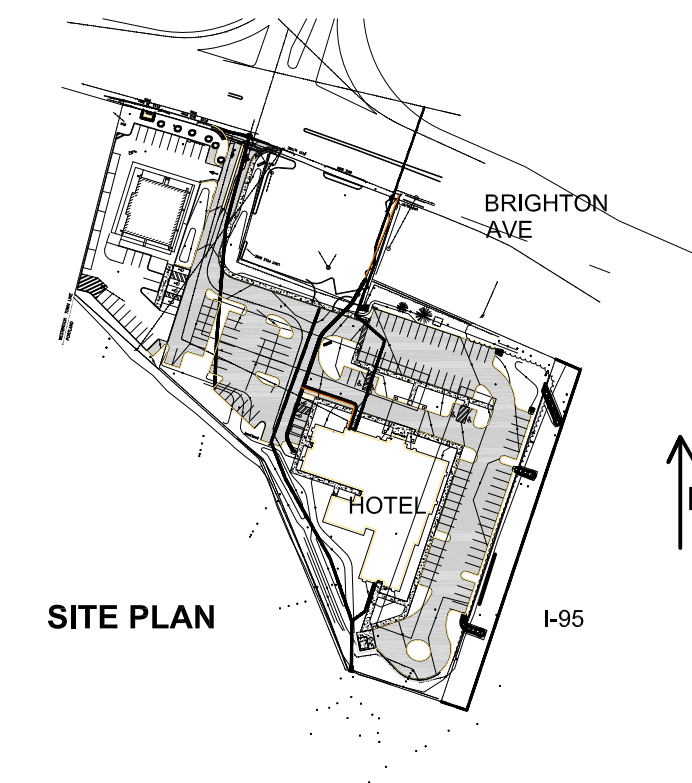
1200 Brighton Ave
Portland, Maine



KEY PLAN
N.T.S.



KEY SECTION
N.T.S.



SITE PLAN

DRAWING LIST

- STRUCTURAL DRAWINGS**
- S1.0 GENERAL NOTES
 - S1.1A FOUNDATION PLAN 'A'
 - S1.1B FOUNDATION PLAN 'B'
 - S1.1C FOUNDATION PLAN 'C'
 - S1.2A SECOND FLOOR FRAMING PLAN 'A'
 - S1.2B SECOND FLOOR FRAMING PLAN 'B'
 - S1.2C SECOND FLOOR FRAMING PLAN 'C'
 - S1.3A THIRD FLOOR FRAMING PLAN 'A'
 - S1.3B THIRD FLOOR FRAMING PLAN 'B'
 - S1.3C THIRD FLOOR FRAMING PLAN 'C'
 - S1.4A FOURTH FLOOR FRAMING PLAN 'A'
 - S1.4B FOURTH FLOOR FRAMING PLAN 'B'
 - S1.4C FOURTH FLOOR FRAMING PLAN 'C'
 - S1.5A ROOF FRAMING PLAN 'A'
 - S1.5B ROOF FRAMING PLAN 'B'
 - S1.5C ROOF FRAMING PLAN 'C'
 - S1.6 PORTE COCHERE PLANS
 - S2.1 SECTIONS
 - S2.2 SECTIONS

- ARCHITECTURAL DRAWINGS**
- A1.01 FIRST FLOOR PLAN
 - A1.02 SECOND FLOOR PLAN
 - A1.03 THIRD FLOOR PLAN
 - A1.04 FOURTH FLOOR PLAN
 - A1.05 ROOF PLAN
 - A2.01 BUILDING ELEVATIONS
 - A2.02 BUILDING ELEVATIONS
 - A3.01 BUILDING SECTION
 - A3.03 WALL SECTION & DETAIL
 - A3.11 ELEVATOR SECTION & DETAILS
 - A3.12 STAIR SECTIONS AND DETAILS
 - A3.14 PORTE COCHERE PLAN & DETAILS
 - A3.15 TRASH ENCLOSURE
 - A3.16 POOL DETAILS
 - A4.00 WALL TYPES
 - A4.01 WALL & FLOOR TYPES
 - A5.01 EXTERIOR DETAILS
 - A6.00 DIMENSIONED UNIT PLANS
 - A6.01 UNIT ELEVATIONS
 - A6.02 UNIT ELEVATIONS
 - A6.03 UNIT ELEVATIONS
 - A6.04 GUEST BATHROOM ELEVATIONS
 - A6.05 GUEST BATHROOM ELEVATIONS
 - A6.06 ENLARGED BOH PLANS & ELEV
 - A6.07 ENLARGED BOH PLANS & ELEV
 - A6.08 INTERIOR DETAILS
 - A7.01 FIRST FLOOR - RCP
 - A7.02 UPPER FLOORS - RCP
 - A8.01 DOOR SCHEDULE
 - A8.02 DOOR PLANS
 - A8.03 WINDOW SCHEDULE
 - A8.02 MILLWORK DETAILS
 - A8.03 MILLWORK DETAILS
 - A8.04 MILLWORK DETAILS

- MECHANICAL DRAWINGS**
- M1.01 FIRST FLOOR MECHANICAL PLAN
 - M1.02 SECOND FLOOR MECHANICAL PLAN
 - M1.03 THIRD FLOOR MECHANICAL PLAN
 - M1.04 FOURTH FLOOR MECHANICAL PLAN
 - M1.05 ROOF MECHANICAL PLAN
 - M3.01 MECHANICAL LEGEND & SCHEDULES
 - M3.02 MECHANICAL SCHEDULES & DETAILS
 - M3.03 MECHANICAL DETAILS
 - M3.04 MECHANICAL DETAILS
 - M3.05 MECHANICAL DETAILS
 - M3.06 MECHANICAL DETAILS

- PLUMBING DRAWINGS**
- M2.01 FIRST FLOOR SANITARY PLUMBING PLAN
 - M2.01A FIRST FLOOR DOMESTIC PLUMBING PLAN
 - M2.02 SECOND FLOOR SANITARY PLUMBING PLAN
 - M2.03 THIRD FLOOR SANITARY PLUMBING PLAN
 - M2.03A THIRD FLOOR DOMESTIC PLUMBING PLAN
 - M2.04 FOURTH FLOOR SANITARY PLUMBING PLAN
 - M2.05 ROOF SANITARY PLUMBING PLAN

- ELECTRICAL DRAWINGS**
- E1.01 FIRST FLOOR LIGHTING PLAN
 - E1.02 SECOND FLOOR LIGHTING PLAN
 - E1.03 THIRD FLOOR LIGHTING PLAN
 - E1.04 FOURTH FLOOR LIGHTING PLAN
 - E2.01 FIRST FLOOR ELECTRICAL PLAN
 - E2.02 SECOND FLOOR ELECTRICAL PLAN
 - E2.03 THIRD FLOOR ELECTRICAL PLAN
 - E2.04 FOURTH FLOOR ELECTRICAL PLAN
 - E2.05 ROOF ELECTRICAL PLAN
 - E3.01 TYPICAL UNIT LAYOUTS
 - E4.01 LEGEND, GENERAL NOTES & ABBREVIATIONS
 - E4.02 ONE-LINE DIAGRAM/AREA OF REFUGE RISER
 - E4.03 ELECTRICAL PANEL SCHEDULES
 - E4.04 ELECTRICAL PANEL SCHEDULES
 - E4.05 ELECTRICAL PANEL SCHEDULES

CONTACTS

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ACOUSTICAL PERFORMANCE MINIMUM CRITERIA
STC=SOUND TRANSMISSION COEFFICIENT / IIC=IMPACT INSULATION CLASS

FUNCTION/MEETING ROOMS
54 STC MEETING ROOM - OPERABLE PARTITIONS
MEETING ROOM - BAFFLES ABOVE CEILING/PARTITIONS
BOARDROOM

52 STC MEETING ROOM - OPERABLE PARTITIONS
SERVICE ROOM ADJACENT TO MEETING ROOM

GUESTROOM
50 STC GUESTROOM EXTERIOR
GUESTROOM TO GUESTROOM
GUESTROOM FROM CORRIDOR
GUESTROOM FLOOR/CEILING
60 STC GUESTROOM SWIMMING POOL OR FITNESS CENTER
GUESTROOM TO EQUIPMENT ROOM
GUESTROOM TO ELEVATOR LOBBY

BACK OF HOUSE
50 STC CORRIDOR TO MECHANICAL, LAUNDRY, SERVICE ROOMS

FLOOR IMPACT
55 IIC GUESTROOM TO GUESTROOM
GUESTROOM SLEEPING AREA TO MECHANICAL ROOM

12 DEC 2016 - 50% SUBMISSION TO HILTON
10 FEB 2016 - BUILDING PERMIT SUBMISSION
26 FEB 2016 - 100% SUBMISSION TO HILTON
29 JULY 2016 - RESPONSES TO BUILDING INSPECTIONS

OCCUPANCY CALCS

FIRST FLOOR = 286 (REFER TO FIRST FLOOR PLAN)
EXIT CAPACITY = 2047/2 = 1,020

UPPER FLOORS = $13 \frac{750}{200} = 69$
STAIR CAPACITY = $447/3 = 146 \times 2 = 292$

RELEVANT CODES

INTERNATIONAL BUILDING CODE 2009	REFERENCE
CONSTRUCTION TYPE 5A	T601
SPRINKLED WITH NFPA 13	903.3.1.1
OCCUPANCY	
R-1 (RESIDENTIAL) ON FLOORS 2 THRU 4	310
A-2 BREAKFAST RM., A-3 MEETING RM., A-3 FITNESS & POOL (NO SPECTATORS) 1ST FL. ONLY	303
NOTE: ASSEMBLY USE = 3781 SF IN 14938 SF FOOTPRINT EXCEEDS 10%	508.2
A-2 HEIGHT AND AREA	T508.4
ALLOWABLE AREA - 34,500 S.F. (11,500 + 2(11,500)) W/ SPRINKLER INCREASE	506.1
PROPOSED FLOOR AREA = 15,938 SQ.F.T.	
ALLOWABLE HEIGHT = 3 STORIES (2 STORIES + 1 STORY SPRINKLER INCREASE)	T503
PROPOSED BUILDING HEIGHT = 4 STORIES THEREFOR "A" USES MUST BE SEPARATED	
R-1 (RESIDENTIAL / NON-SEPARATED USES)	
PROPOSED FLOOR AREA = 15,938 SQ.F.T.	
ALLOWABLE HEIGHT (4) STORIES (3 STORIES + 1 SPRINKLER INCREASE)	504.2
PROPOSED HEIGHT (4) STORIES	
Note: Proposed bldg is 4 stories. A-2 use is only allowed 3 therefore A-2 must be separated	
SEPARATION OF OCCUPANCIES (R AND A) = 1 HOUR W/ SPRINKLER	T508.4
FIRE RATING FOR FRAME, BEARING WALLS, FLOOR AND ROOF = 1 HOUR	T601
FIRE RESISTANCE RATING NON-BEARING WALLS AND PARTITIONS (0 HOURS)	T601
Parapet not required if not required by T602 for FSD	705.11 ex 1
LAUNDRY CHUTE ENCLOSURES	708.13.3 & 4
ACCESS & TERMINATION OPENINGS FOR LAUNDRY CHUTES TO BE IN 1 HOUR ROOMS	
W/3/4 HOUR DOORS W/ CLOSERS	
SPRINKLER HEADS TO BE LOCATED AT TOP & ALTERNATE FLOORS	708.13.6
ELEVATOR LOBBY NOT REQUIRED W/ SPRINKLER	708.14.1.4

FIRE PROTECTION	REFERENCE
DWELLING UNIT SEPARATION - 1HR FIRE PARTITION	709.3
NON BEARING CORRIDOR WALLS - 1/2 HR, 1 HOUR @ BEARING WALLS	T-1018.1
CORRIDOR DOORS .33 HOURS IN 1 & 1/2 HOUR WALL	T-715.4
CORRIDOR DOORS TO HAVE SMOKE CONTROL	715.3.3.15.3.3
4-STORY SHAFT - 2 HOURS	
DRAFTSTOPPING OR SPRINKLER CONCEALED SPACES	717.3.2 (Ex. 2)
INTERIOR FINISH	
R-1 & A EXITS CORRIDORS ROOMS	T803.9
FIRE PROTECTION SYSTEMS	
STANDPIPE REQUIRED (>30 FT. ABOVE GRADE)	905.3.1
MANUAL FIREALARM NOT REQ. IN "A" OCC. W/ SPRINKLER	907.2.1EX
1 MANUAL FIRE ALARM IS REQ. IN "R" OCC. W/ SPRINKLER	
NOTIFICATION LOCATION TO BE APPROVED BY FIRE	907.2.8.1
SMOKE DETECTORS REQUIRED IN R-1 BEDROOMS	907.2.11.1
MEANS OF EGRESS	
R-T OCCUPANT LOAD FL.2 THRU 4= 13,750/200=69	T1004.1.1
EGRESS WIDTH, 69 x .3"=21" FOR STAIRS, 69 x .2"= 13.8	1005.1
MINIMUM REQUIRED CORRIDOR WIDTH - 44"	1018.2
ROOF HATCH - 16sf. (MIN. DIM. 2')	1009.13.1
DEAD END CORRIDORS < 50 FT.	1018.4
TRAVEL DISTANCE 250 FEET -SEE NFPA101	T-10.16.1
ACCESSIBLE MEANS OF EGRESS	
ELEVATOR NOT REQUIRED WHERE < 5 STORIES	1007.2.1
48" STAIR WIDTH NOT REQUIRED W/ SPRINKLER	1007.3.4
AREA OF REFUGE NOT REQUIRED W/SPRINKLER	1007.3.3
ELEVATOR MACHINE ROOM - 2-HOUR	3006.4
3' ELEVATOR VENT REQUIRED	3007.3
ROOF ACCESS PERMITTED BY HATCHWAY	1009.13.1 EX
IECC 2009	
INSULATION REQUIREMENTS FOR COMMERCIAL BUILDINGS ZONE 6A	
ATTIC = R20 CI	
WALL = R13 + 7.5 CI	
SLAB ON GRADE= R 10 DOWN 24" AT PERIMETER	

NFPA 101 - 2009	REFERENCE
OCCUPANCY - NEW HOTEL	6.1.8.1.3
OCCUPANCY ASSEMBLY (<300)	6.1.2.1
SEPARATION BETWEEN OCCUPANCIES - 1 HOUR (SPRINKLED)	T 8.1.4.4.1 (a)
CONSTRUCTION TYPE V(111)	T A 8.2.1.2
SPRINKLED WITH NFPA 13 (ASSEMBLY) 1ST FLOOR	28.3.5.1
STAIR MATERIALS SAME AS BUILDING CONSTRUCTION	7.2.2.3.1.2
STAIRS ARE AN ACCESSIBLE MEANS OF EGRESS	7.2.12.2.2
ANY ASSEMBLY ALLOWED AT LED FOR V(III)	T 12.1.6
ORDINARY HAZARD	28.1.5.1
NO CONSTRUCTION REQUIREMENT	28.1.6
SPRINKLED BLDG. EXIT ENCLOSURE 1 HOUR(2 HOUR PER IBC)	28.2.2.1.2
AREA OF REFUGE NOT REQUIRED	28.2.2.12.2
COMMON PATH IN GUEST ROOM= 50'	28.2.5.4
CORRIDOR = 44"	28.2.3.3
DEAD END CORRIDOR < 50 FT.	28.2.5.6
TRAVEL DISTANCE TO EXIT = 200'	28.2.6.3.3.1
VERTICAL OPENINGS 1 HOUR(2 HOURS PER IBC)	28.3.1.1.3
HAZARDOUS AREAS-BOILER RM & GUESTLAUNDRY= 1 HOUR	T28.3.2.2.2
FINISHES, EXIT "A", LOBBY & CORRIDOR "B", OTHERS "C"	28.3.3.2
ALARM INITIATION	28.3.4.2
-MANUAL PER 9.6.3	
-MANUAL @ DESK	
-AUTO DETECTION REQUIRED BEYOND SMOKES IN IN ROOMS	
ACCESSIBILITY	
ACCESSIBILITY CODE TO BE ICC/ANSI A117.1 - 2003	
FAIR HOUSING ACT (DESIGN MANUAL)	