



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division

Location: 1210 BRIGHTON AVE

CBL: 265- A-001-001

Issued to: PORTLAND HOTELS INC

Date Issued: 3/16/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-02-425-UI, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

MANAGERS SUITE

APPROVED OCCUPANCY

USE GROUP R-1/R-3
TYPE 5B
IBC 2003

Approved:
3-16-2012

(Date)

David M. McKeon
Inspector

[Signature]
Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 101124

05 2011-02-425

OCT 7 2010

Please Read Application And Notes, If Any, Attached

This is to certify that Portland Hotels Inc.

has permission to Convert six motel rooms into one dwelling unit

AT 1210 Brighton Ave CBL 265 A001001 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. X. Gauthier

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeannine Banker
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

907

NED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1124	Issue Date:	CBL: 265 A001001
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Location of Construction: 1210 Brighton Ave	Owner Name: Portland Hotels Inc.	Owner Address: 1200 Brighton Avenue	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-4

Past Use: Commercial motel unit rental unit	Proposed Use: Commercial motel residential unit - Convert six motel rooms into one dwelling unit	Permit Fee: \$145.00	Cost of Work: \$4,500.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>R-1/R-3</i> Type: <i>IBC 2003</i>	

Proposed Project Description: Convert six motel rooms into one dwelling unit	Signature: <i>(KG)</i>	Signature: <i>AMB 10/1/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 09/08/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p> <p style="color: red; font-weight: bold; font-size: 1.2em;">PERMIT ISSUED</p> <p style="color: red; font-weight: bold; font-size: 1.2em;">OCT 18 7 2010</p> <p style="color: red; font-weight: bold; font-size: 1.2em;">City of Portland</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>08/22/10</i> Date: <i>9/22/10</i> <i>AM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>AM</i> Date:</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1124	Date Applied For: 09/08/2010	CBL: 265 A001001
-----------------------	---------------------------------	---------------------

Location of Construction: 1210 Brighton Ave	Owner Name: Portland Hotels Inc.	Owner Address: 1200 Brighton Avenue	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial motel residential unit - Convert six motel rooms into one dwelling unit	Proposed Project Description: Convert six motel rooms into one dwelling unit
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/22/2010

Note: A motel is defined as a building that contains guest rooms or dwelling units. It also says that it is intended to be used principally by automobile transients for compensation. A transient is defined as someone who occupies a facility on an overnight basis for compensation and whose occupancy is limited to no more than fifteen days out of a sixty day period. These definitions apply to the use of this dwelling unit. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:**

Note: 10/5/10 Routed from Tammy M. **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Those renovating dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 09/28/2010

Note: **Ok to Issue:**

- 1) All construction shall comply with City Code Chapter 10.
- 2) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.

Comments:

10/6/2010-jmb: Spoke with Mr. Patel about the structural support of the new 6' door opening, he will submit a detail when he picks up the permit.

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1200 Brighton Ave.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>265</u> Block# <u>A</u> Lot# <u>B</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Kamlesh Patel</u> Address <u>1200 Brighton Ave.</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207 807 1127</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4,500.-</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>175</u>
Current legal use (i.e. single family) <u>motel</u> Number of Residential Units <u>122</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Drill Unit</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>living unit</u> <u>Drill Unit</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Kamlesh Patel</u> Telephone: <u>207 807 1127</u> Mailing address: <u>1200 Brighton Ave. Portland ME 04102</u>		


Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

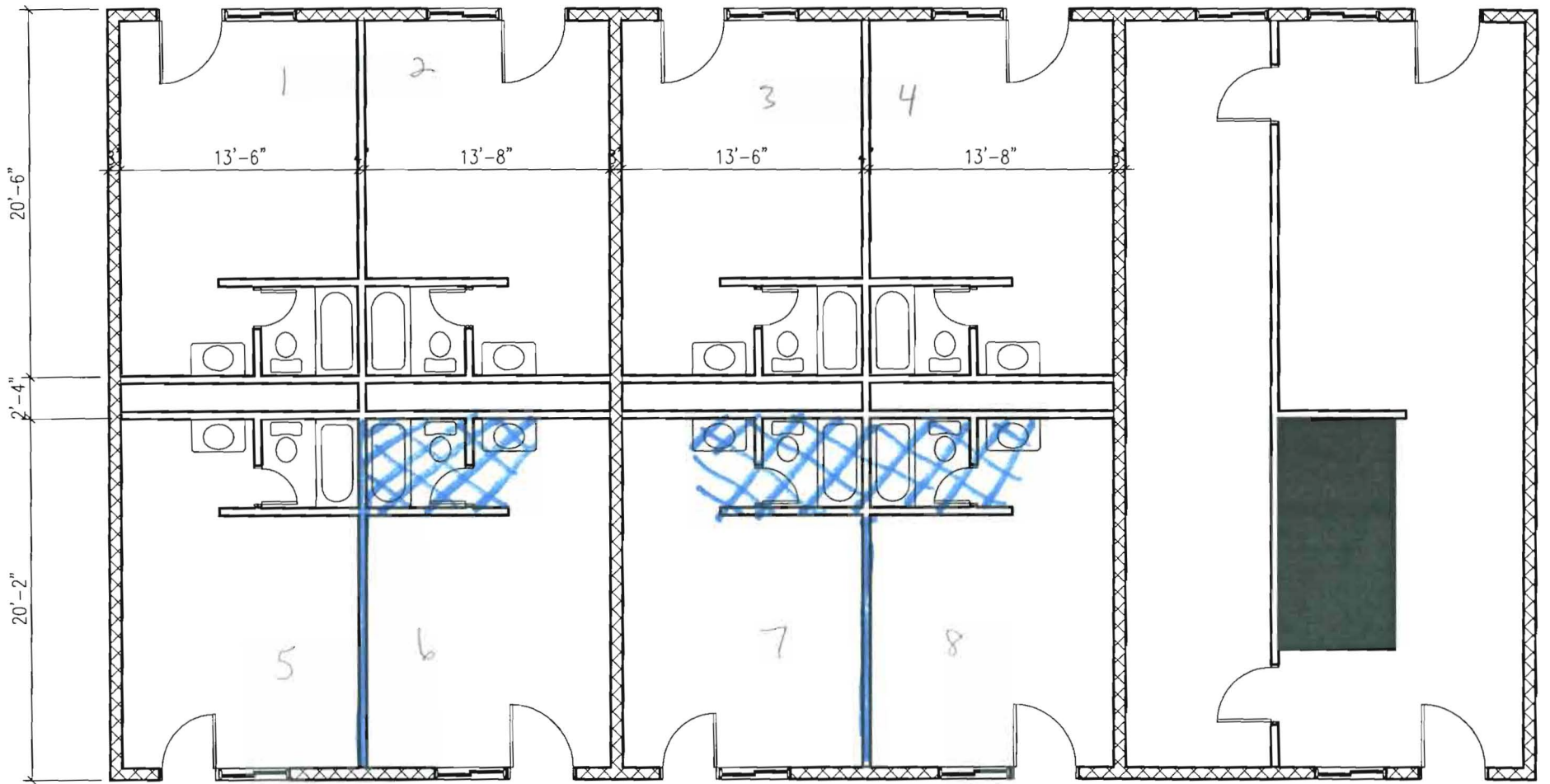
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Dept. of Building Inspections

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

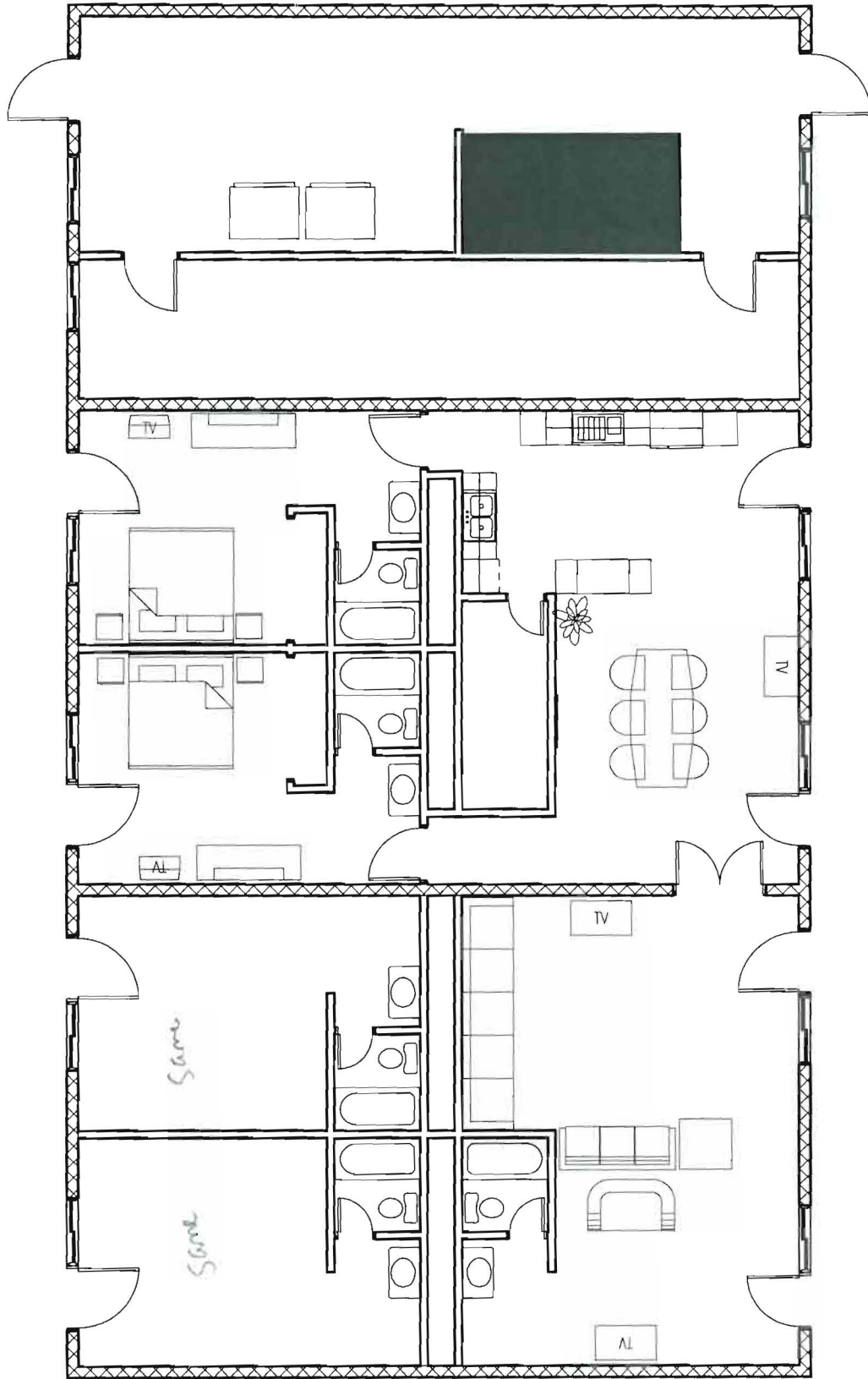
Signature: 	Date: <u>9/8/2010</u>
--	-----------------------

This is not a permit; you may not commence ANY work until the permit is issue



As is layout off the ROOM

- Removing
- CMU 8" BLOCK
- METAL 2X4 AND SHEET ROCK



CMU 8" BLOCK

METAL 2X4 AND SHEET ROCK

NEW LOOK ROOM

Same

Same

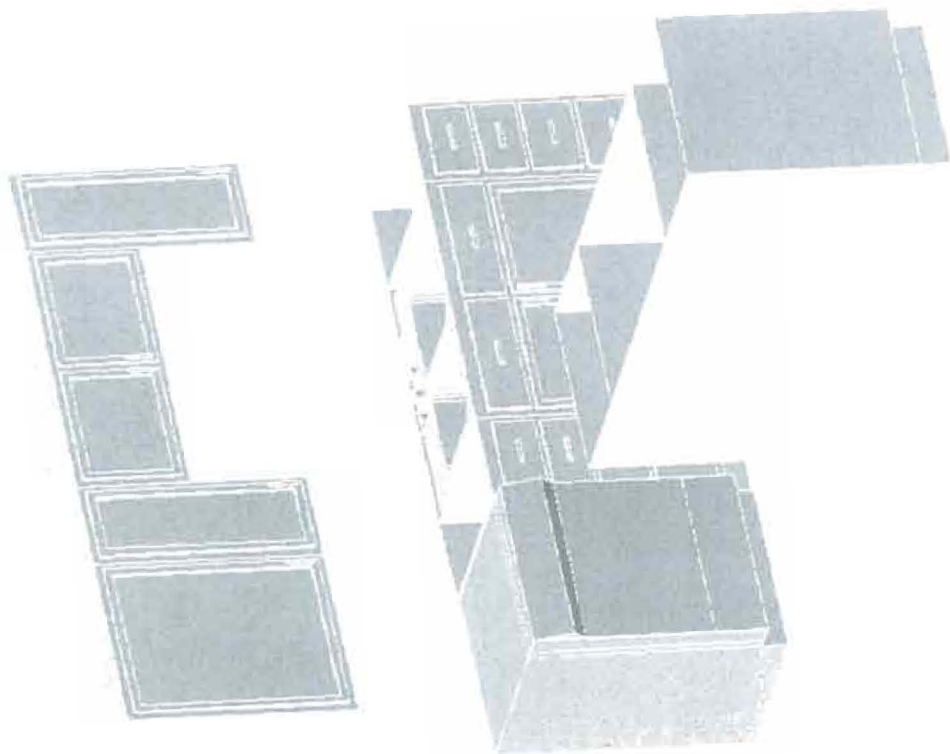
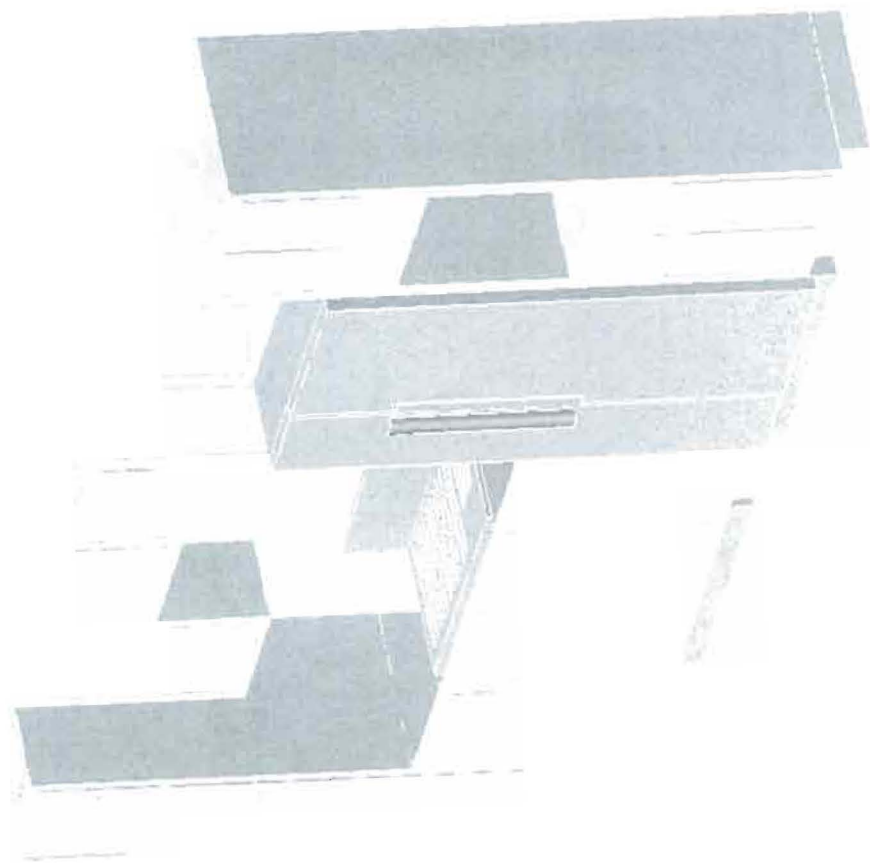
TV

AI

TV

AI

TV





Structural Steel Wide Flange Section Properties
 Moment of Inertia, Steel Beam Size, Cross Section Area

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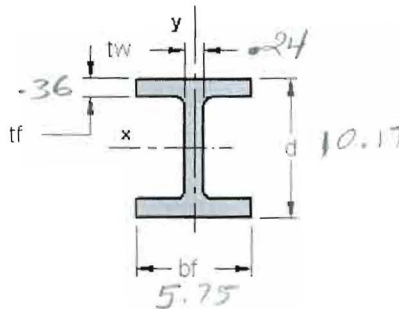
Steel Specification Guide

NEW update guidelines on AHSS steel information on forming auto parts
www.ahssinfo.org

Applications and Design

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Structural Steel Wide Flange (I Beam) Section Properties
 Moment of Inertia, Steel Beam Size, Cross Section Area



in x lb/ft	Area (in ²)	d (in)	bf (in)	tf (in)	tw (in)	Ixx (in ⁴)	Iyy (in ⁴)
W12x336	98.8	16.82	13.385	2.955	1.775	4060	1190
W12x305	89.6	16.32	13.235	2.705	1.625	3550	1050
W12x279	81.9	15.85	13.14	2.47	1.53	3110	937
W12x252	74.1	15.41	13.005	2.25	1.395	2720	828
W12x230	67.7	15.05	12.895	2.07	1.285	2420	742
W12x210	61.8	14.71	12.79	1.9	1.18	2140	664
W12x190	55.8	14.38	12.67	1.735	1.06	1890	589
W12x170	50	14.03	12.57	1.56	0.96	1650	517
W12x152	44.7	13.71	12.48	1.4	0.87	1430	454
W12x136	39.9	13.41	12.4	1.25	0.79	1240	398
W12x120	35.3	13.12	12.32	1.105	0.71	1070	345
W12x106	31.2	12.89	12.22	0.99	0.61	933	301
W12x96	28.2	12.71	12.16	0.9	0.55	833	270
W12x87	25.6	12.53	12.125	0.81	0.515	740	241
W12x79	23.2	12.38	12.08	0.735	0.47	662	216
W12x72	21.1	12.25	12.04	0.67	0.43	597	195
W12x65	19.1	12.12	12	0.605	0.39	533	174
W12x58	17	12.19	10.01	0.64	0.36	475	107
W12x53	15.6	12.06	9.995	0.575	0.345	425	95.8
W12x50	14.7	12.19	8.08	0.64	0.37	394	56.3
W12x45	13.2	12.06	8.045	0.575	0.335	350	50
W12x40	11.8	11.94	8.005	0.515	0.295	310	44.1
W12x35	10.3	12.5	6.56	0.52	0.3	285	24.5
W12x30	8.79	12.34	6.52	0.44	0.26	238	20.3
W12x26	7.65	12.22	6.49	0.38	0.23	204	17.3
W12x22	6.48	12.31	4.03	0.425	0.26	156	4.66
W12x19	5.57	12.16	4.005	0.35	0.235	130	3.76
W12x16	4.71	11.99	3.99	0.265	0.22	103	2.82
W12x14	4.16	11.91	3.97	0.225	0.2	88.6	2.36
W10x112	32.9	11.36	10.415	1.25	0.755	716	236
W10x100	29.4	11.1	10.34	1.12	0.68	623	207
W10x88	25.9	10.84	10.265	0.99	0.605	534	179
W10x77	22.6	10.6	10.19	0.87	0.53	455	154
W10x68	20	10.4	10.13	0.77	0.47	394	134

*1240 Brighton Ave.
 we are using
 W10x22
 Kamlesh Patel
 207 807-1127*

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OCT 18 2010

Dept. of Building Inspections
 City of Portland Maine

W10x60	17.6	10.22	10.08	0.68	0.42	341	116
W10x54	15.8	10.09	10.03	0.615	0.37	303	103
W10x49	14.4	9.98	10	0.56	0.34	272	93.4
W10x45	13.3	10.1	8.02	0.62	0.35	248	53.4
W10x39	11.5	9.92	7.985	0.53	0.315	209	45
W10x33	9.71	9.73	7.96	0.435	0.29	170	36.6
W10x30	8.84	10.47	5.81	0.51	0.3	170	16.7
W10x26	7.61	10.33	5.77	0.44	0.26	144	14.1
W10x22	6.49	10.17	5.75	0.36	0.24	118	11.4
W10x19	5.62	10.24	4.02	0.395	0.25	96.3	4.29
W10x17	4.99	10.11	4.01	0.33	0.24	81.9	3.56
W10x15	4.41	9.99	4	0.27	0.23	68.9	2.89
W10x12	3.54	9.87	3.96	0.21	0.19	53.8	2.18
W8x67	19.7	9	8.28	0.935	0.57	272	88.6
W8x58	17.1	8.75	8.22	0.81	0.51	228	75.1
W8x48	14.1	8.5	8.11	0.685	0.4	184	60.9
W8x40	11.7	8.25	8.07	0.56	0.36	146	49.1
W8x35	10.3	8.12	8.02	0.495	0.31	127	42.6
W8x31	9.13	8	7.995	0.435	0.285	110	37.1
W8x28	8.25	8.06	6.535	0.465	0.285	98	21.7
W8x24	7.08	7.93	6.495	0.4	0.245	82.8	18.3
W8x21	6.16	8.28	5.27	0.4	0.25	75.3	9.77
W8x18	5.26	8.14	5.25	0.33	0.23	61.9	7.97
W8x15	4.44	8.11	4.015	0.315	0.245	48	3.41
W8x13	3.84	7.99	4	0.255	0.23	39.6	2.73
W8x10	2.96	7.89	3.94	0.205	0.17	30.8	2.09
W6x20	5.87	6.2	6.02	0.365	0.26	41.4	13.3
W6x16	4.74	6.28	4.03	0.405	0.26	32.1	4.43
W6x15	4.43	5.99	5.99	0.26	0.23	29.1	9.32
W6x12	3.55	6.03	4	0.28	0.23	22.1	2.99
W6x9	2.68	5.9	3.94	0.215	0.17	16.4	2.19
W5x19	5.54	5.15	5.03	0.43	0.27	26.2	9.13
W5x16	4.68	5.01	5	0.36	0.24	21.3	7.51
W4x13	3.83	4.16	4.06	0.345	0.28	11.3	3.86

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Disclaimer

Donald McPherson - 1210 Brighton Plans Submitted to City

From: Donald McPherson
To: kpatel@maine.rr.com
Date: 2/14/2012 12:41 PM
Subject: 1210 Brighton Plans Submitted to City
CC: Jeanie Bourke
Attachments: 101124.pdf; StrEngCalcs.pdf; 2011-02-425-UI-2011-140307-AMEND.pdf

Kamlesh,

Attached are both sets of plans. Page 8 of 101124 is the original floor plan. This is what we need for the revised plan.

The pictures that I took on 11-29-2011 showed a flat piece of metal over the doors. Your pictures show the 'L' brackets but I can not see the "Cont. 1/4" x 11" plate stop within 1/2" from each face of opening each end". Please have your engineer verify that the modifications were installed as designed.

Thank you,
Don

Don McPherson
Code Enforcement Officer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8705
Support Staff: 207.874.8701
DMcPherson@portlandmaine.gov

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date _____
 Permit # 2011-1444
 CBL# J65-A1

LOCATION: 1700 Brighton Ave METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Ken Patel (Travel Lodge)
 TENANT _____ PHONE # 807-1127

TOTAL EACH FEE

OUTLETS	8	Receptacles	6	Switches	3	Smoke Detector	.20	
FIXTURES	20	Incandescent		Fluorescent		Strips	.20	
SERVICES		Overhead		Underground		TTL AMPS <800	15.00	
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
	MISC. (number of)		Air Cond/win					3.00
			Air Cond/cent				Pools	10.00
			HVAC		EMS		Thermostat	5.00
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
	E Lights					1.00		
	E Generators					20.00		
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
MINIMUM FEE/COMMERCIAL 55.00						MINIMUM FEE	45.00	

26592

Dept. of Building Inspections
City of Portland Maine

OCT 24 2011

RECEIVED

CONTRACTORS NAME Twin Electric MASTER LIC. # 60018773
 ADDRESS 32 Garfield Street Westbrook LIMITED LIC. # _____
 TELEPHONE 318-8808

SIGNATURE OF CONTRACTOR

PLUMBING APPLICATION

APPLICANT: BERUBE LPSJ-8116-11011's 04042
 Department of Health and Human Services
 Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation: Portland
 Street Subdivision Lot #: 1240 Brighton Ave Portland ME 04042

PROPERTY OWNERS NAME

Last: _____ First: _____
 Applicant Name: Francoise Berube
 Mailing Address of Owner/Applicant (if Different): 158 Berube Way Portland ME 04042

PORTLAND Date Permit Issued: 2/14/11 PERMIT # 11554 TOWN COPY \$ 36 FEE Double Fee Charged
 Local Plumbing Inspector Signature: _____ L.P.I. # 10811
065 A 007

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit

Signature of Owner/Applicant: _____ Date: 2-10-11

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
 2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
 2. MODULAR OR MOBILE HOME
 3. MULTIPLE FAMILY DWELLING
 4. OTHER - SPECIFY Hotel

Plumbing To Be Installed By:

1. MASTER PLUMBER
 2. OIL BURNERMAN
 3. MFG'D. HOUSING DEALER/MECHANIC
 4. PUBLIC UTILITY EMPLOYEE
 5. PROPERTY OWNER

LICENSE # 1, 2, 2, 3, 7

265A1

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

Column 2 Number Type of Fixture

	Hosebib / Sillcock
	Floor Drain
	Urinal
	Drinking Fountain
	Indirect Waste
	Water Treatment Softener, Filter, etc
	Grease / Oil Separator
	Roof Drain
	Bidet
	Other _____

Column 1 Number Type of Fixture

	Bathtub (and Shower)
	Shower (Separate)
1	Sink
	Wash Basin
1	Water Closet (Toilet)
	Clothes Washer
1	Dish Washer
1	Garbage Disposal
	Laundry Tub
	Water Heater

RECEIVED

FEB 14 2011

OR

TRANSFER FEE (\$6.00)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

36
10
46

5	Fixtures (Subtotal) Column 1
	Fixtures (Subtotal) Column 2
	Total Fixtures
	Fixture Fee
	Transfer Fee
	Hook-Up & Relocation Fee
	Permit Fee (Total)

205-1001

10 1124

Donald McPherson - Fwd: Door opening engineering

From: Kamlesh Patel <kpatel@maine.rr.com>
To: "dmcperson@portlandmaine.gov" <dmcperson@portlandmaine.gov>
Date: 1/10/2012 10:04 AM
Subject: Fwd: Door opening engineering

Sent from my iPhone

Begin forwarded message:

From: chris beckwith <chrisbeckwith@gmail.com>
Date: January 9, 2012 3:51:38 PM EST
To: Kamlesh Patel <kpatel@maine.rr.com>
Subject: Re: Door opening engineering

January 9, 2012

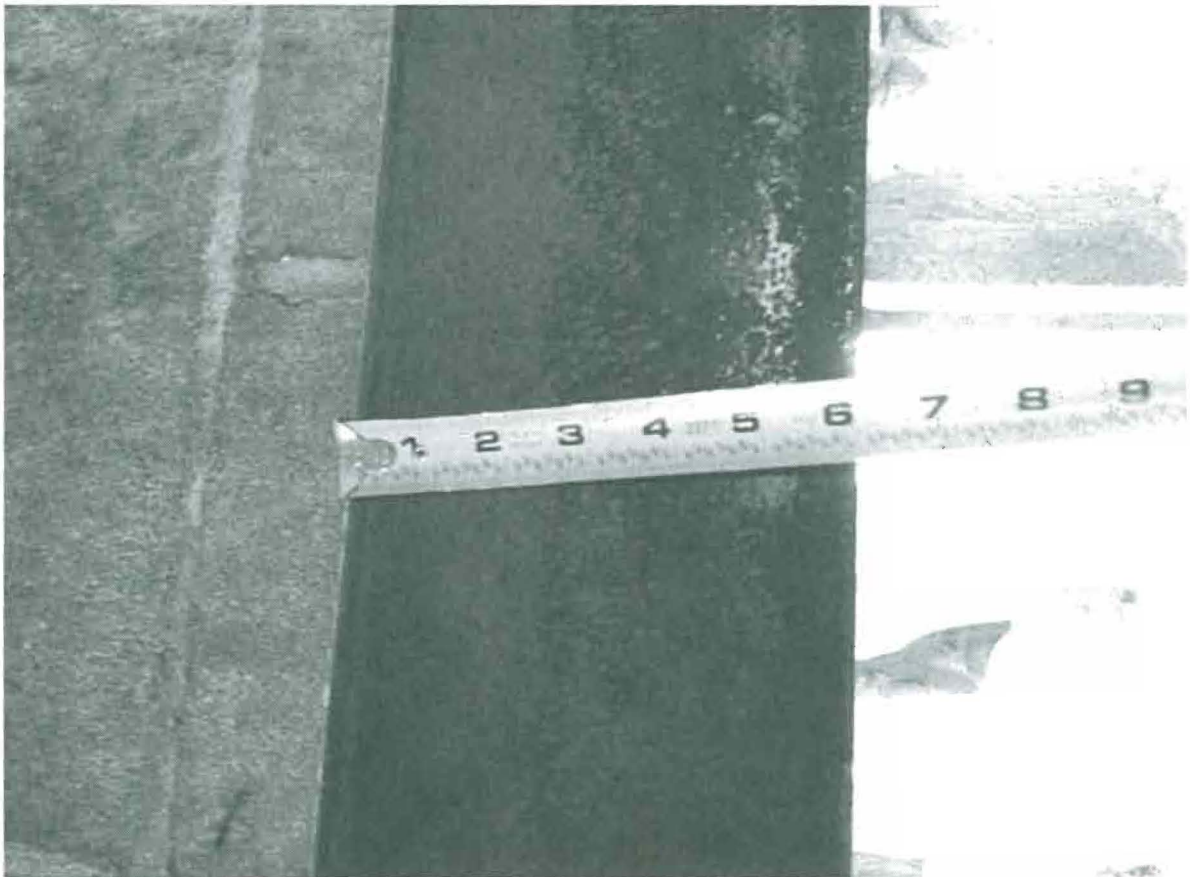
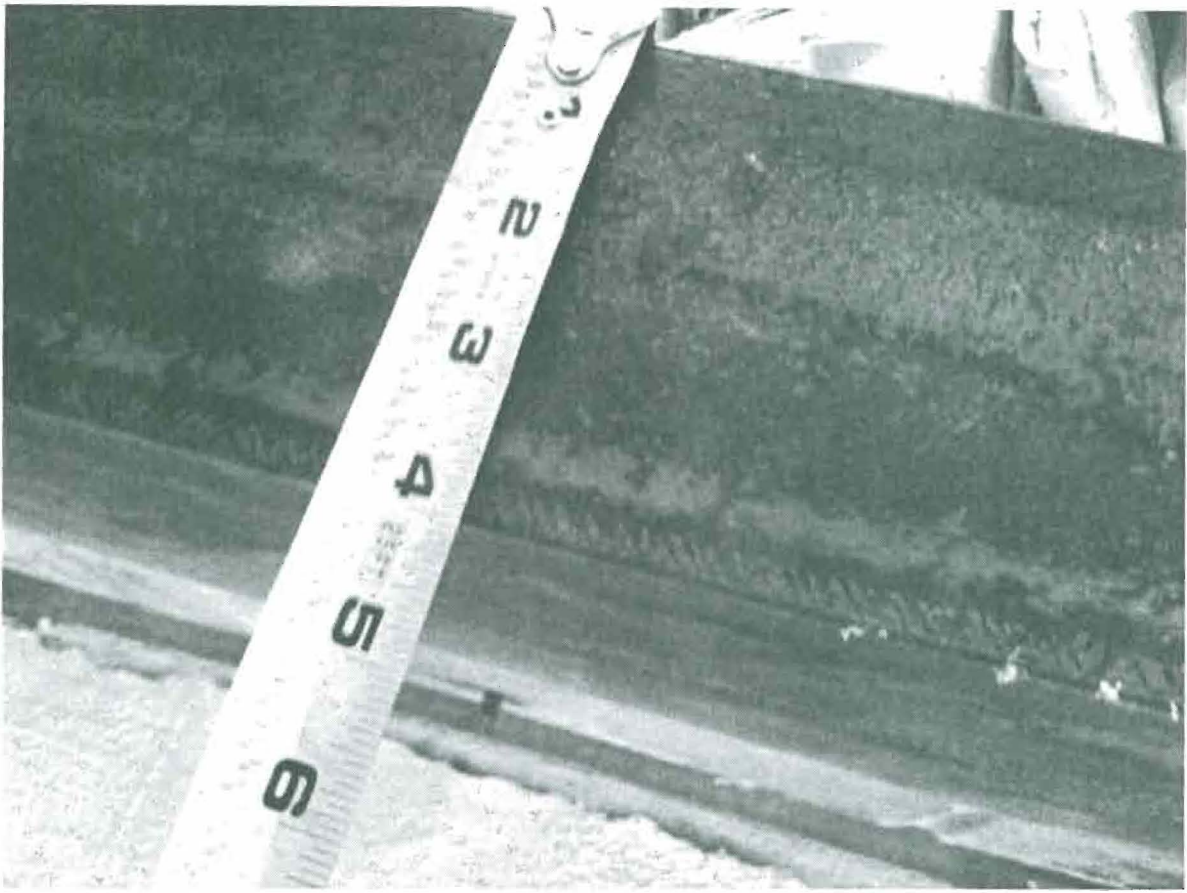
Travelodge of Portland
1200 Brighton Avenue
Portland, ME 04102

Mr. Don McPherson
Code Enforcement Officer, Inspection Services Program
Planning and Urban Development Department
389 Congress St, Room 308
Portland, Maine 04101

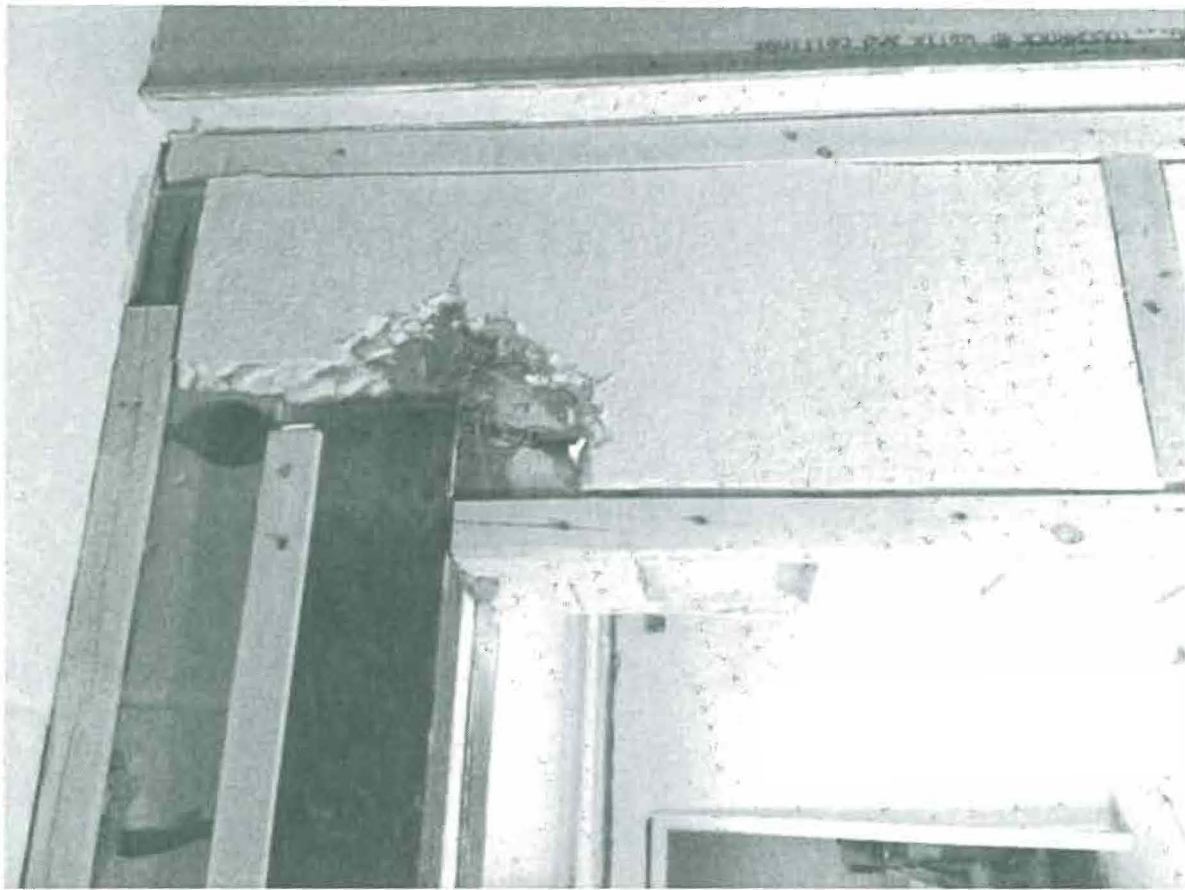
Dear Tom:

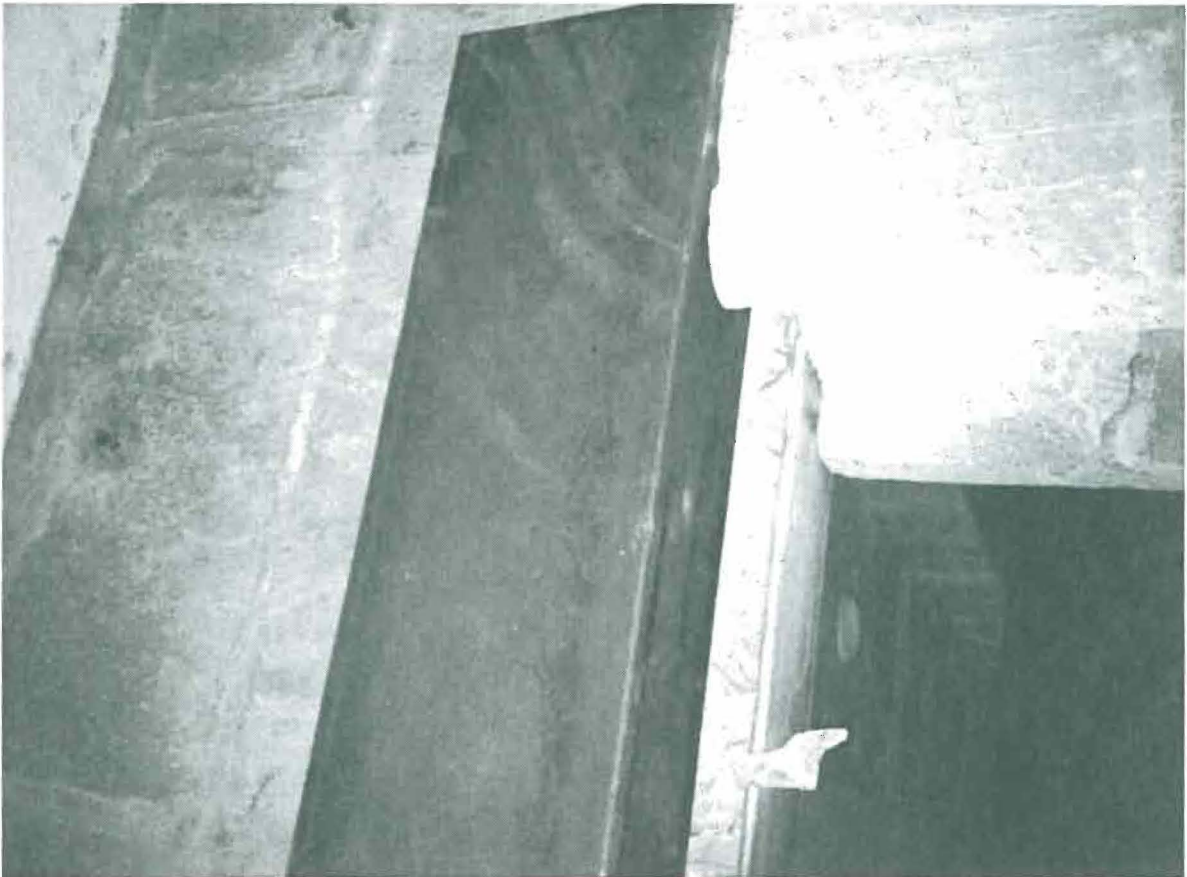
Just following up with you regarding the engineering study you requested for the door opening. The study was completed on December 7, 2012 and was hand-delivered to the Planning Office on the 8th or 9th of December. Please find attached photos documenting our work.

Sincerely,
Kamlesh Patel

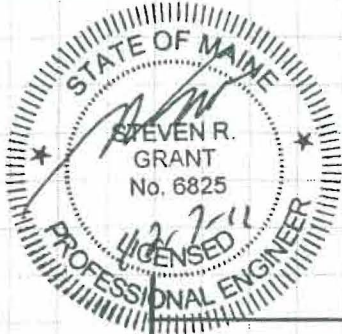




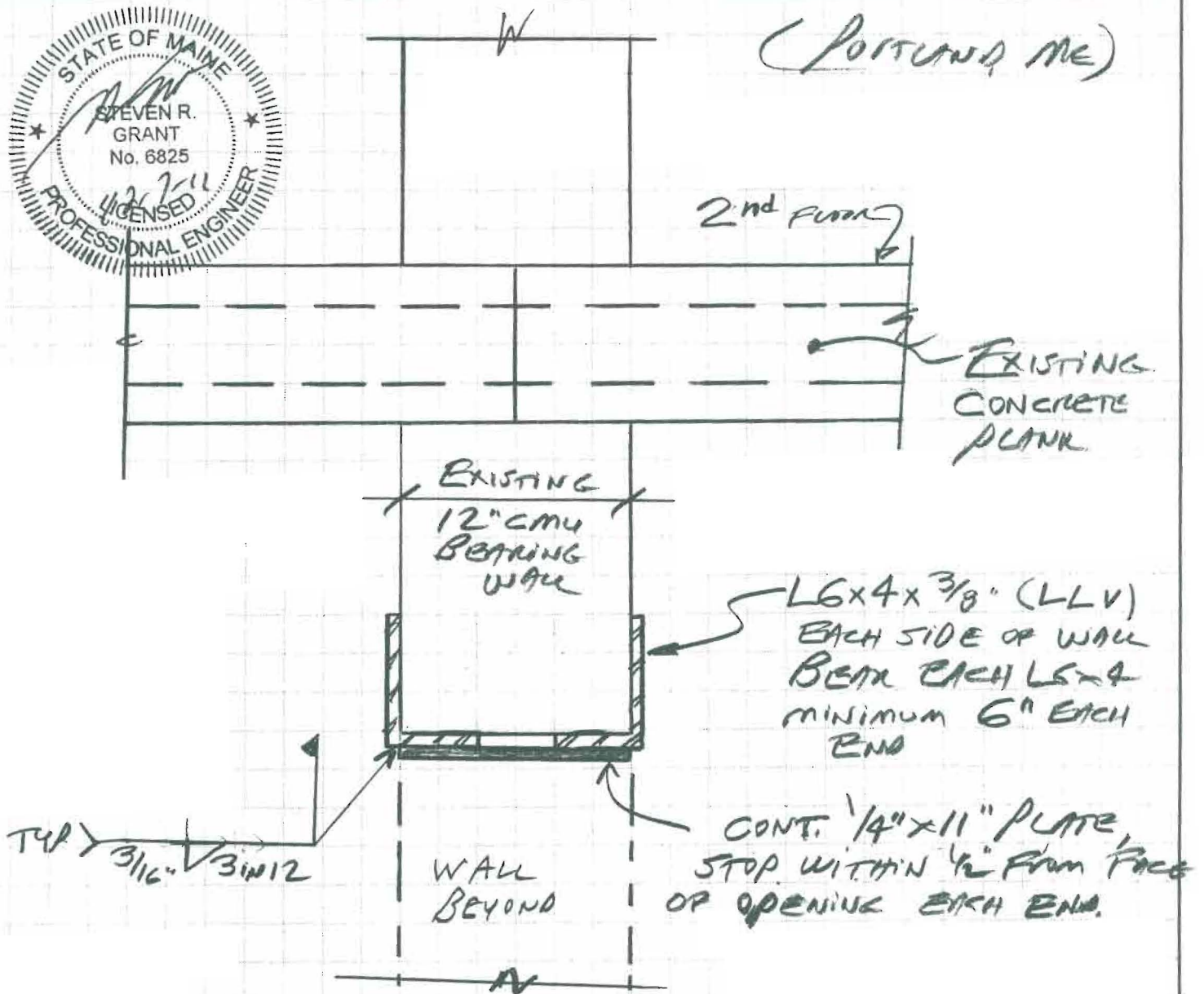








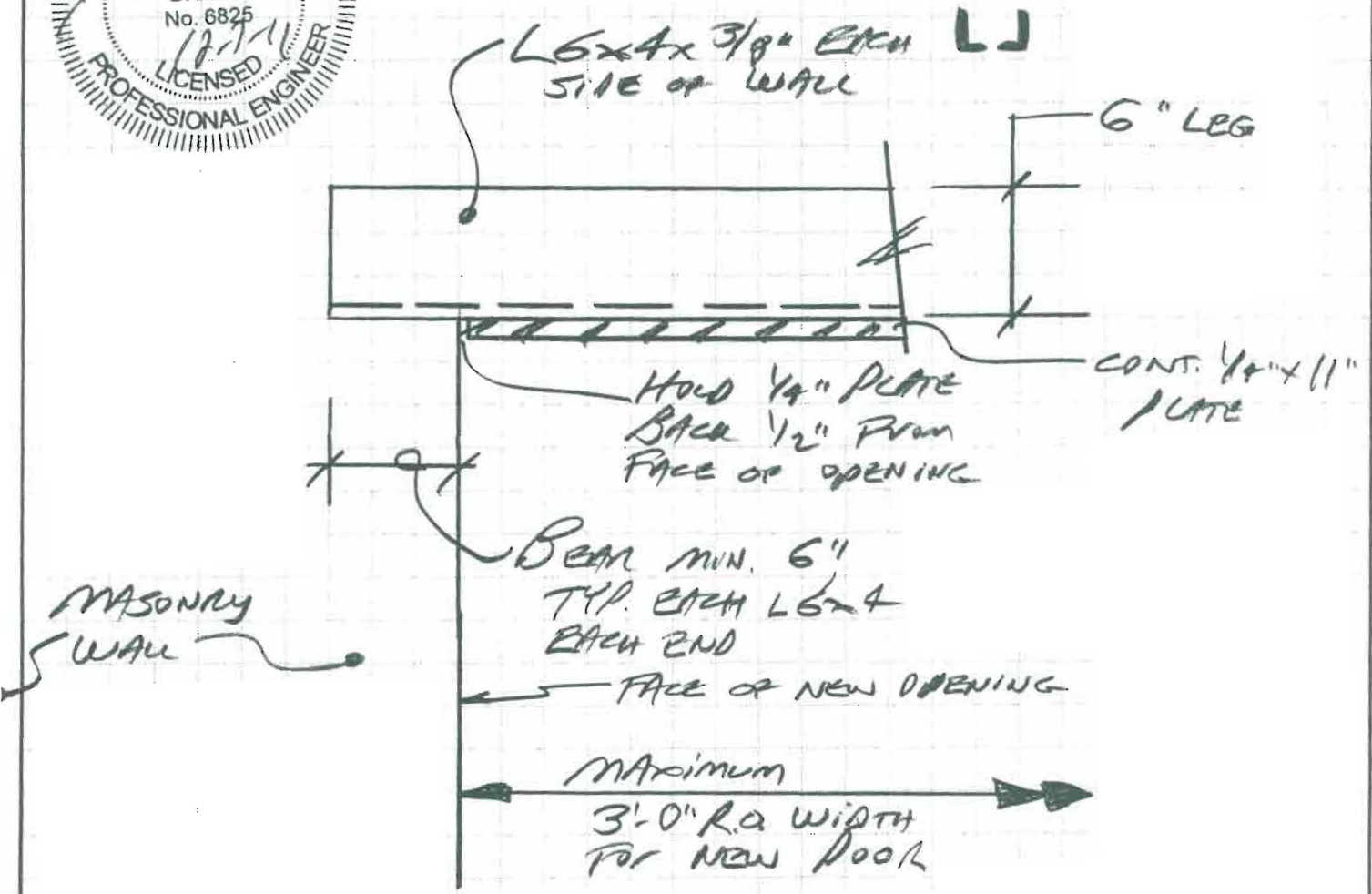
(PORTLAND, ME)



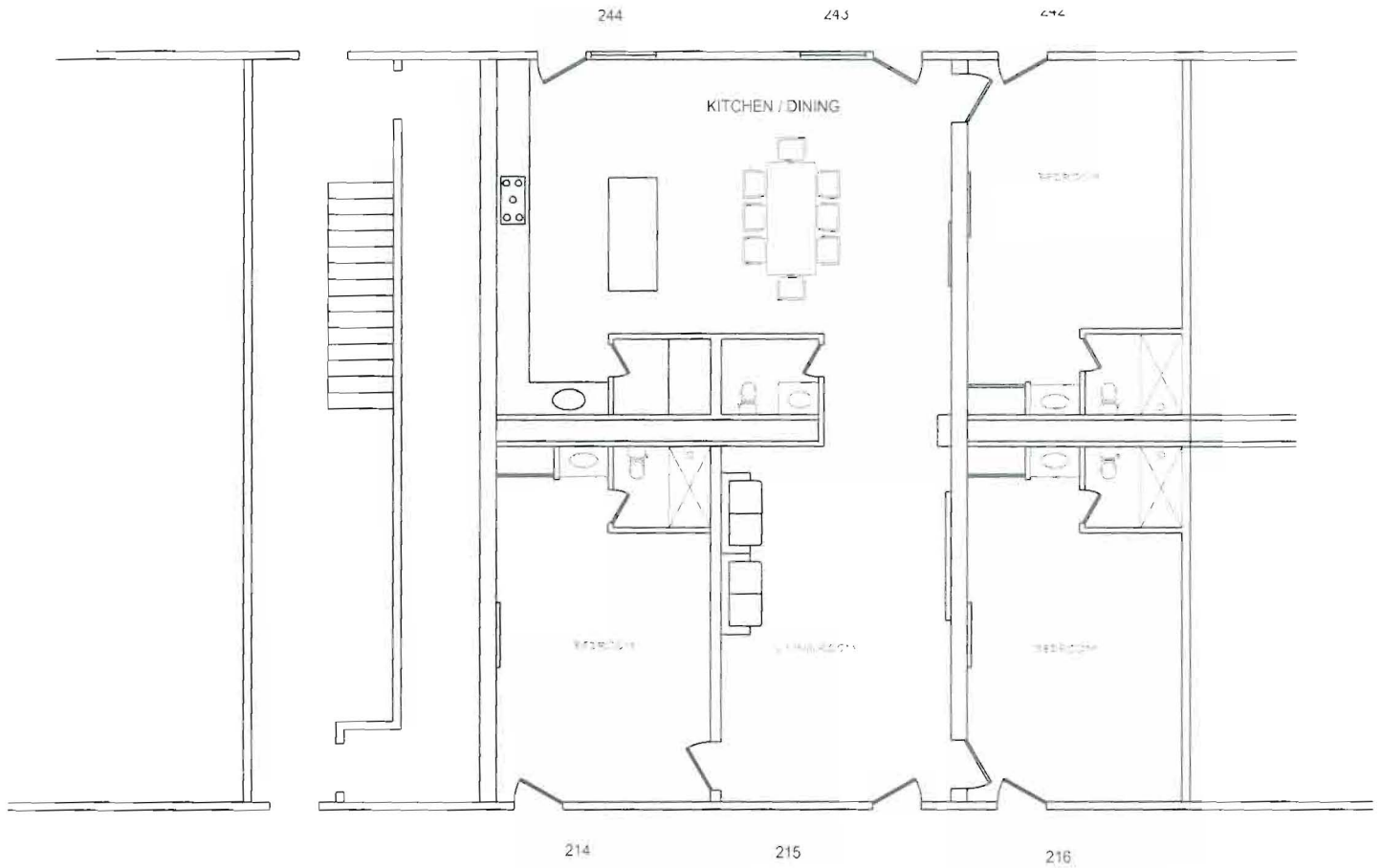
SECTION AT NEW DOOR OPENING

NOTES

- 1) BASED ON SAG VISIT 05 DEC 2011
- 2) MAXIMUM DOOR R.O. WIDTH IS 36."
- 3) STEEL ASTM A36
- 4) WELDS E70 SERIES.
- 5) SEE SK-2.
- 6) LOCATION: TRAVEL LODGE OF PORTLAND ON 1200 BRIGHAM AVE.
- 7) DESIGN CASE 2009 RBC.



ELEVATION VIEW: TYPICAL BEARING
(REFER TO SK-1)



NEW LAYOUT

RECEIVED

FEB 16 2012

Dept. of Building Inspections
City of Portland Maine

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that HOTELS INC PORTLAND

Located At 1210 BRIGHTON AVE

Job ID: 2011-02-425-UI/2011-14307 AMEND

CBL: 265-A-001-001

has permission to Amend Permit # 2011-02-425, to add closets & TV stands on wall in manager's bedrooms # 214, 216, 242 provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 2/13/10

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-02-425-U1 2011-14307 AMEND	Date Applied: 12/27/2011	CBL: 265- A-001-001	
Location of Construction: 1210 BRIGHTON AVE	Owner Name: HOTELS INC PORTLAND	Owner Address: 1200 BRIGHTON AVE PORTLAND, ME 04102	Phone: 807-1127
Business Name:	Contractor Name: Owner- Kamlesh Patel	Contractor Address:	Phone: (207)807-1127
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG AMEND	Zone: B-4
Past Use: Motel	Proposed Use: Same: Motel – to amend original permit to add closet and TV stand on wall in room #214, 216, 242	Cost of Work: \$1,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-1/R-3 Type: IBC-2009
Proposed Project Description: 1210 Brighton Ave Permit #10-1124		Signature: <i>Capt. Malone</i> 1/15/12	Signature: <i>Brub</i>
		Pedestrian Activities District (P.A.D.)	2/13/12
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>ok</i> 12/30/11</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupance/Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-425-UI

Located At: 1210 BRIGHTON
AVE

CBL: 265- A-001-001

Conditions of Approval:

Building

1. All conditions apply from the previous permit #10-1124 approval.

Fire

1. All conditions from the previous approval apply.

Blyg Amand

2011-14307

B-4



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1210 Brighton Ave.</u>		
Total Square Footage of Proposed Structure/Area <u>30</u>	Square Footage of Lot <u> </u>	Number of Stories <u> </u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>265 A001 001</u> <u>265</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Kumlesh Patel</u> Address <u>1210 Brighton Ave.</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>603 877 1127</u>
Lessee/DBA (If Applicable) RECEIVED <u>DEC 27</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>500 -</u> C of O Fee: \$ <u> </u> Total Fee: \$ <u>30 -</u>
<p>Dept. of Building Inspections City of Portland Maine</p> <p>Current legal use (i.e. single family) <u>Hotel (Hotels)</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Assembling existing permit. to add closet as TV stand on wall. in Room #214, 216, 218</u></p>		
Contractor's name: <u>Self</u> <input checked="" type="checkbox"/> Existing Permit Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

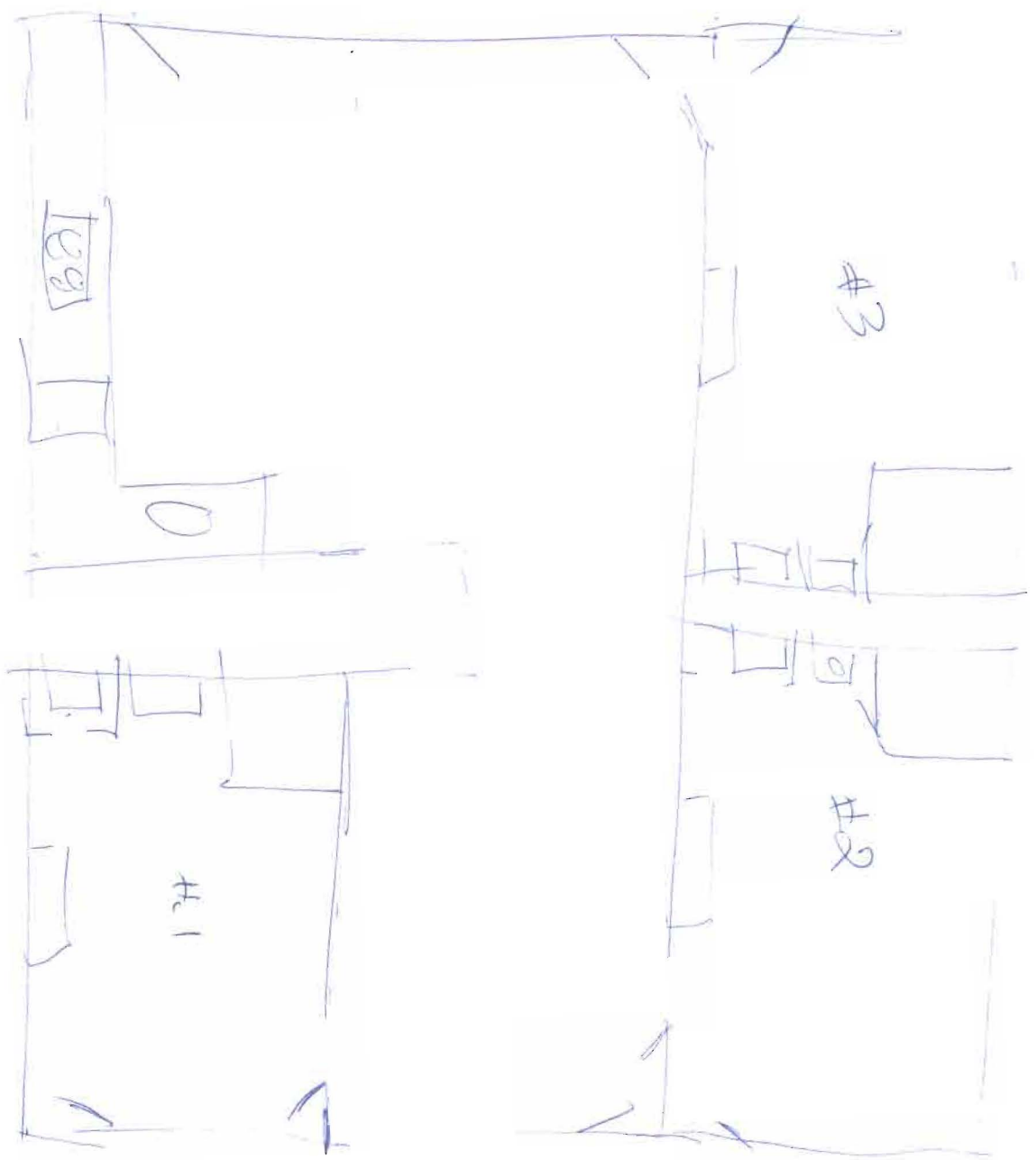
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

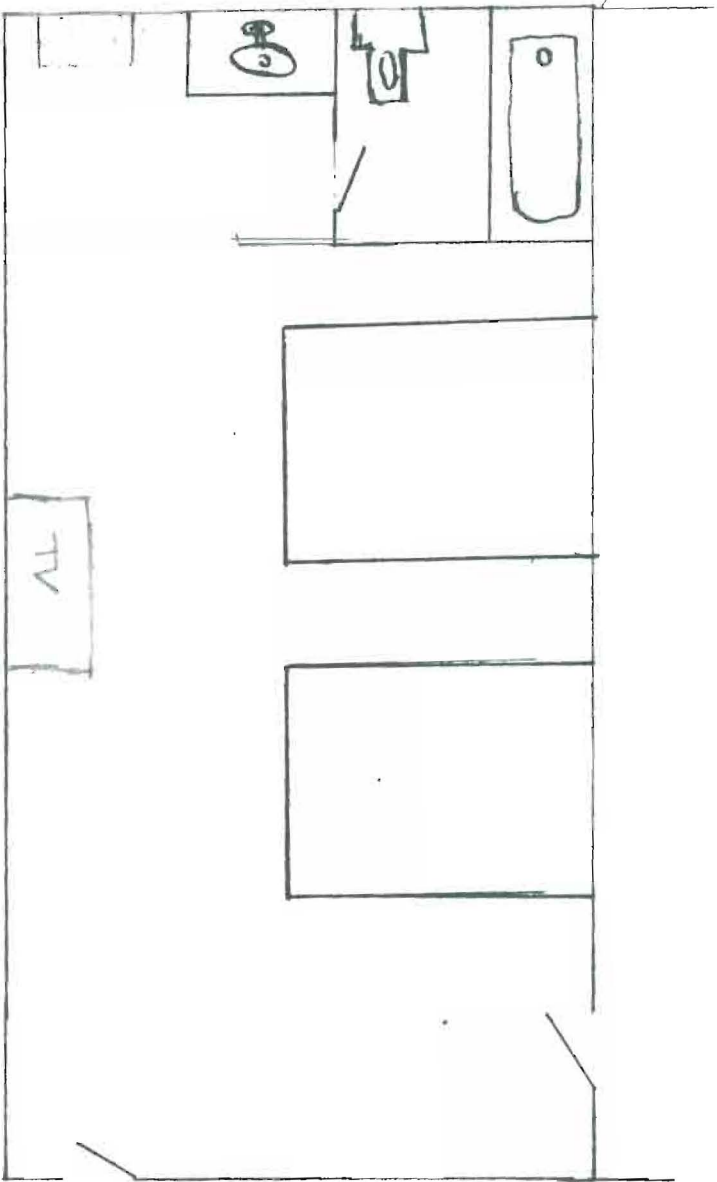
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued; I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/27/2011

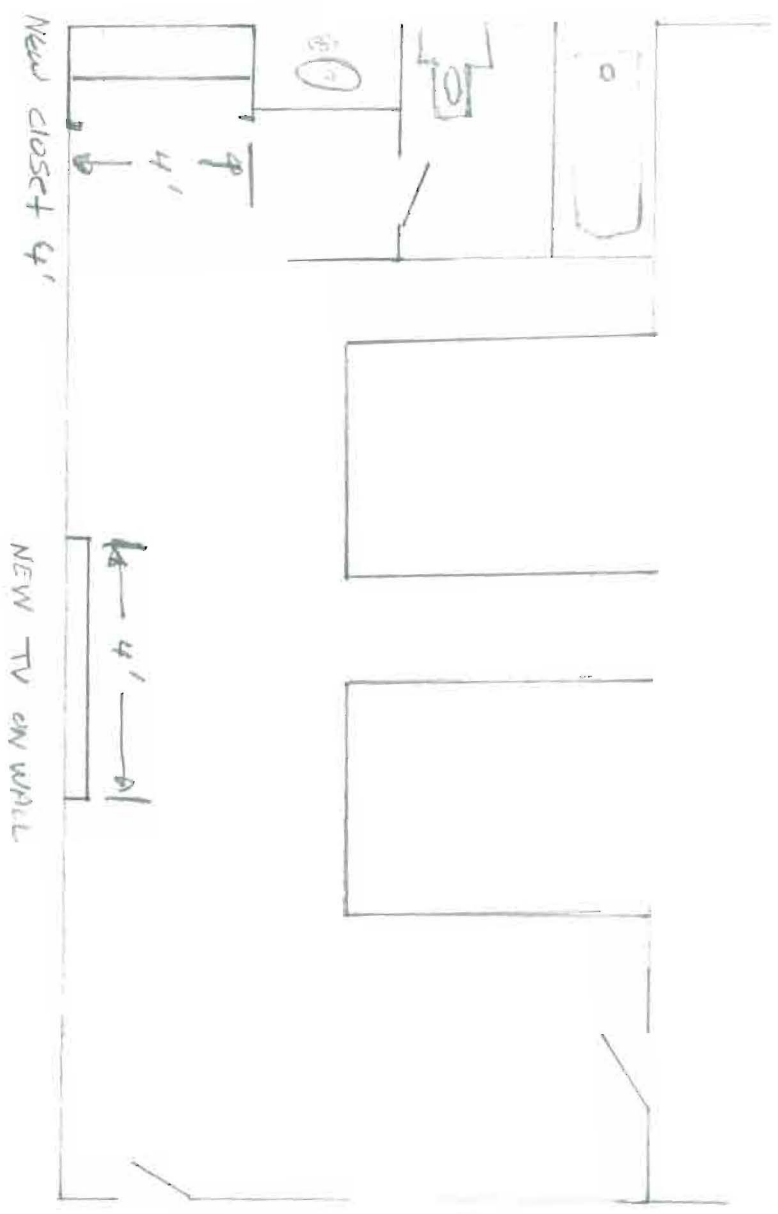
This is not a permit; you may not commence ANY work until the permit is issue



As is Room # 214, 216, 242



NEW Layout Room # 214, 216, 212R
with GM Living Spaces.



- 02-29-11 ~~Plumber~~ DWM ^{Verimlah 632-5116} ~~Jamlesh 807-1127~~ Plumbing OK
- 11-29-11 DWM Jamlesh 807-1127 Provide Str Cables for openings in cur.
- 1-11-12 DWM Kamlesh Final fail: Seal holes in walls at sinks, Photo Electric SD, Tamper resistant plugs, Fire & Blue Fail
- 2-14-12 DWM Reed Str cables
- 3-12-12 DWM / Steve Cory / John Markel Kamlesh Fail
Interconnected SDs TR plugs in bathrooms