

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0861	Issue Date: JUL 31 2001	CEL: 265 A001001
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Location of Construction: 1210 Brighton Ave	Owner Name: Him Portland Llc	Owner Address: 87 Pilgrim Rd CITY OF PORTLAND	Phone: 23-525-5295
Business Name: n/a	Contractor Name: DeVito Builders, Inc.	Contractor Address: 6029 Memorial Highway Tampa	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B-4

Past Use: Commercial / Hotel Motel	Proposed Use: Same: Convert Susse Chalet to Travelodge; Per Plans	Permit Fee: \$1,524.00	Cost of Work: \$250,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-1 Type: 2C 30 PERMIT ISSUED WITH REQUIREMENTS	

Proposed Project Description:
Interior Alterations To Convert Susse Chalet Into Travelodge

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cih	Date Applied For: 07/13/2001	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: _____</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

PERMIT ISSUED WITH REQUIREMENTS

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

01-0861

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹²¹⁰ 1200 BRIGHTON AVENUE

Total Square Footage of Proposed Structure: 22,180 EXISTING + 90 NEW
Square Footage of Lot: 155,074 + 29,011 LEASED RESTAURANT

Tax Assessor's Chart, Block & Lot Number 30408 Chart# 265 Block# A Lot# J	Owner: HIM PORTLAND, LLC E. LONGMEADOW, MA. 01028	Telephone#: 413-525-5295
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Lessee/Buyer's Name (If Applicable) N/A	Owner's/Purchaser/Lessee Address: PO BOX 833 E. LONGMEADOW, MA 01028	Cost Of Work: \$ 250,000 Fee: \$ 1,500
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Current use: HOTEL/MOTEL WITH RESTAURANT (LEASED)
 If the location is currently vacant, what was prior use: N/A
 Approximately how long has it been vacant: N/A
 Proposed use: HOTEL/MOTEL (SAME)
 Project description: Carpets, paint, tile flooring
 SUSSE CHALET TO TRAVELODGE CONVERSION

Contractor's Name, Address & Telephone: TEL: 813-243-1000	DEVITO BUILDERS, INC. 6029 MEMORIAL HIGHWAY TAMPA, FLORIDA 33615
Applicants Name, Address & Telephone: TEL: 603-673-1991	BMA ARCHITECTURAL GROUP, P.C. 12 MIDDLE STREET AMHERST, NEW HAMPSHIRE 03031
Who should we contact when the permit is ready: Telephone: 603-673-1991	BMA ARCHITECTURAL GROUP, P.C.
If you would like the permit mailed, what mailing address should we use: New XXX	BMA, P.C. 12 MIDDLE STREET AMHERST, NH 03031

DEPT. OF BUILDING INSPECTION
JUL 13 2001
Rec'd By: [Signature]

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

BMA, P.C. *[Signature]* PRESIDENT

Date:

24 MAY 2001

BUILDING PERMIT REPORT

DATE: 18/July/01 ADDRESS: 1210 Brighton Ave. CBL: 265-A-001

REASON FOR PERMIT: Alterations To Buildings

BUILDING OWNER: Him Portland LLC

PERMIT APPLICANT: /CONTRACTOR DeViTo Bldg. Inc

USE GROUP: A-1 CONSTRUCTION TYPE: RC CONSTRUCTION COST: 250,000 PERMIT FEES: 1,524.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *11, *13, *16, *21, *28, *36, 22, 24, 38, 39 # 32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

7/13

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

* 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

* 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

29. All requirements must be met before a final Certificate of Occupancy is issued.

30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements. *Any new signage requires a separate permit. There shall be no increase in the number of units.*

33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

34. Bridging shall comply with Section 2305.16.

35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

* 38. THIS PERMIT IS BEING ISSUED WITH THE UNDERSTANDING THAT THE WORK ON THE BALCONY SHALL BE REVIEWED BY A DESIGN PROFESSIONAL (STRUCTURAL ENGINEER). SEE PAGE 175 OF APPROVED PLANS. ALSO SECTION 114.0 OF THE BLDG. CODE REQUIRES THIS. BEFORE WORK ON BALCONY IS STARTED THE NAME, NUMBER OF THE DESIGN ENGINEER OF RECORD SHALL BE SUBMITTED TO THIS OFFICE.

39. The fire alarm system shall be connected to the Portland Fire Dept via the masterbox system.

39. State Fire Marshall approval required.

P. Samuel Jones, Building Inspector
Cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator
Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

TRAVELODGE CONVERSION

Travelodge

1200 BRIGHTON AVENUE
 PORTLAND, MAINE 04102
 HOTEL RENOVATIONS

SYMBOLS LEGEND

	SECTION REFERENCE		PARTITION TYPE REF: SHEET A2.2
	DETAIL REFERENCE		INTERIOR/EXTERIOR ELEVATION REFERENCE
	ROOM NUMBER		SPOT ELEVATION
	DOOR NUMBER		FURRING TYPE
	WINDOW/FRAME TYPE REF: SHEET A2.0		
	REVISION		

ABBREVIATIONS

ACUST	ACOUSTICAL	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MO	MASONRY OPENING
ANDD	ANODIZED	MTL	METAL
ARCH	ARCHITECT (URAL)	NA	NOT APPLICABLE
AUTO	AUTOMATIC	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BLGG	BLOCKING	OD	OUTSIDE DIAMETER
BRC	BEARING	OPG	OPENING
CJ	CONTROL JOINT	PART	PARTITION
CL	CENTER LINE	PL	PLATE
CLG	CEILING	PLAS LAM	PLASTIC LAMINATE
CLO	CLOSET	PR	PAIR
CLR	CLEAR(ANCE)	PSI	POUNDS/SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PVC	POLYVINYL CHLORIDE
COL	COLUMN	R	RADIUS
CONC	CONCRETE	REF	REFER
CONSTR	CONSTRUCTION	REFR	REFRIGERATOR
CONT	CONTINUE/CONTINUOUS	RENF	REINFORCE
CTR	CENTER	REQ	REQUIRED
DBL	DOUBLE	RH	RIGHT HAND
DA	DIAMETER	RHRB	RIGHT HAND REVERSE BEVEL
DM	DIVISION	RO	ROUGH OPENING
DTL	DETAIL	ROW	RIGHT OF WAY
DWG	DRAWING	R&S	ROD & SHELF
EA	EACH	SCW	SOLID CORE WOOD
EJ	EXPANSION JOINT	SCHED	SCHEDULE
ELEC	ELECTRIC(AL)	SECT	SECTION
ELEV	ELEVATION	SHT	SHEET
EQ	EQUAL	SM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EW	ELECTRIC WATER COOLER	SS	STAINLESS STEEL
EXT	EXTERIOR	STD	STANDARD
FIN	FINISH	STL	STEEL
FL	FLOOR(ING)	STO	STORAGE
FOOT	FOOT	STRUC	STRUCTURAL
GA	GAUGE	SUSP	SUSPENDED
GALV	GALVANIZED	SYM	SYMMETRICAL
GI	GALVANIZED IRON	SYS	SYSTEM
GWB	GYPSUM WALL BOARD	TELE	TELEPHONE
GYP	GYPSUM	T&G	TONGUE & GROOVE
HB	HOSE BIB	TC	TOP OF CURB
HC	HOLLOW CORE	TP	TOP OF PAVEMENT
HH	HEAD HEIGHT	TV	TELEVISION
HM	HOLLOW METAL	TYP	TYPICAL
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HVAC	HEAT/VENT/AIR CONDITION	VAT	VINYL ASBESTOS TILE
ID	INSIDE DIAMETER	W/	WITH
INCL	INCLUDE(D)	WC	WATER CLOSET
INSUL	INSULATION	WO	WOOD
INT	INTERIOR	WO	WITHOUT
JT	JOINT	WV	WELDED WIRE FABRIC
LAM	LAMINATE		
LAV	LAVATORY		
LH	LEFT HAND		
LHRB	LEFT HAND REVERSE BEVEL		
MAS	MASONRY		
MAT	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFG	MANUFACTURER		

GENERAL NOTES

- ALL WORK TO COMPLY WITH ALL LOCAL AND STATE CODES, CURRENT EDITION.
- ALL WORK TO COMPLY WITH NFPA 101 LIFE SAFETY CODE, CURRENT EDITION.
- ALL WORK TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) CURRENT EDITION.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- ALL REQUIRED PERMITS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL INTERIOR FURNISHINGS BY OWNER UNLESS NOTED ON DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEHIND LIMIT OF WORK AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- REMOVE INTERIOR FINISHES AS REQUIRED TO ACCOMMODATE NEW WORK.
- FINISHES INDICATED AS "MATCH EXISTING" ARE TO MATCH IN COLOR, TEXTURE, MANUFACTURER AND SIZE.
- ALL SPECIFIED ITEMS SHALL BE INSTALLED PER WRITTEN INSTRUCTIONS BY THE SPECIFIED MANUFACTURER.

INDEX OF DRAWINGS

ARCHITECTURAL	
A0	PARTIAL SITE PLAN-PROPOSED
A1	PLANS, WINDOW & DOOR ELEVATIONS & NOTES
A2	REFLECTED CEILING PLANS
A3	ENLARGED PLANS & ELEVATIONS
A4	EXTERIOR ELEVATIONS
A5	SECTIONS & DETAILS

LOCATION MAP



PROJECT TEAM

Owner
HIM Portland, LLC
 East Longmeadow, Massachusetts

BMA Architectural Group

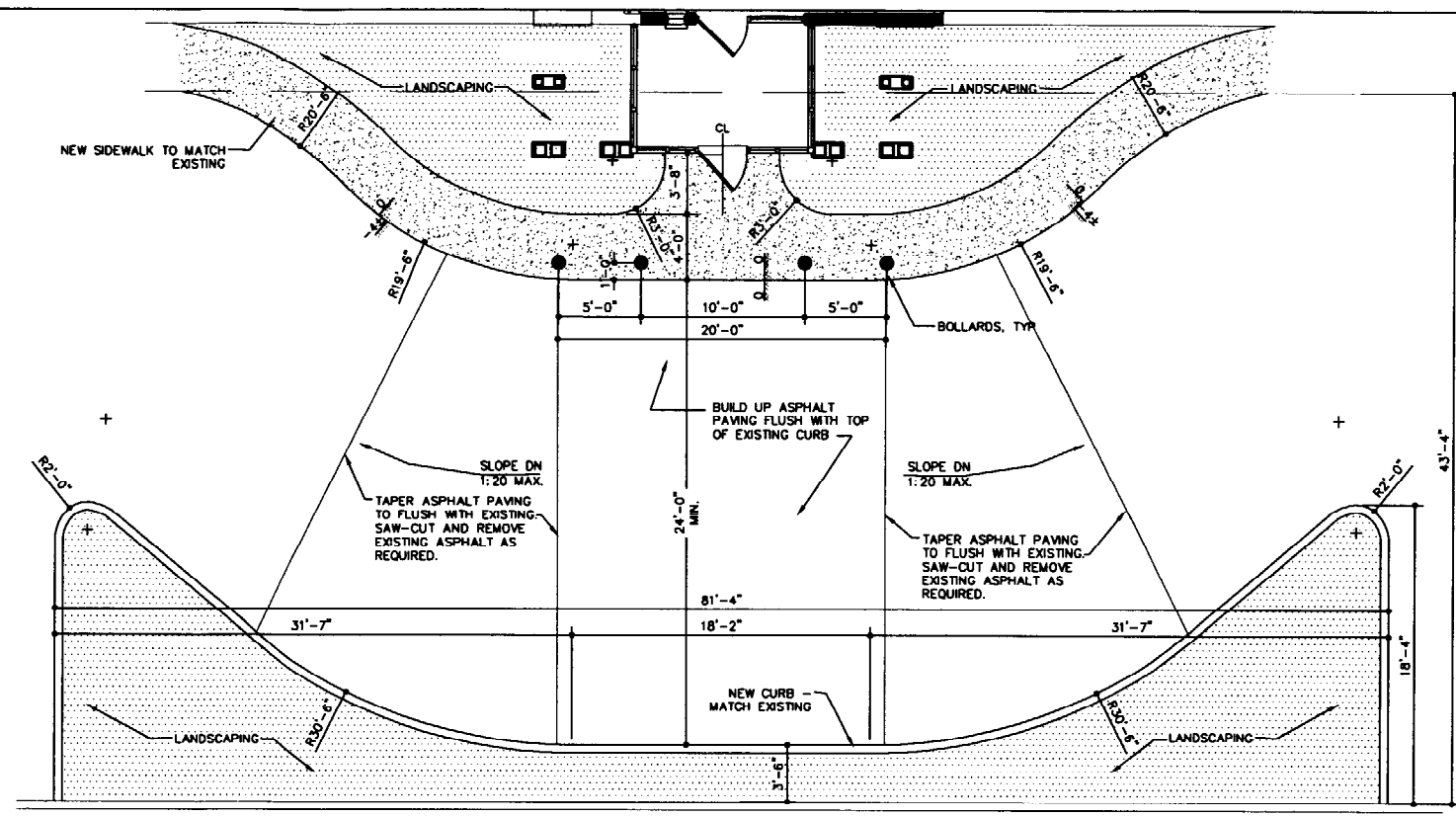
Professional Corporation
 Amherst, New Hampshire

19/5/24/01 18 May 2001
 Permit reviewed on
 Larger plans



MATERIALS LEGEND

	EARTH		BATT INSULATION
	GYP BOARD/SHEATHING		RIGID INSULATION
	CONCRETE		WOOD SECTION
	CONCRETE BLOCK		PLYWOOD
	PRECAST CONCRETE		WOOD FRAME CONT.
	STEEL		WOOD BLOCKING

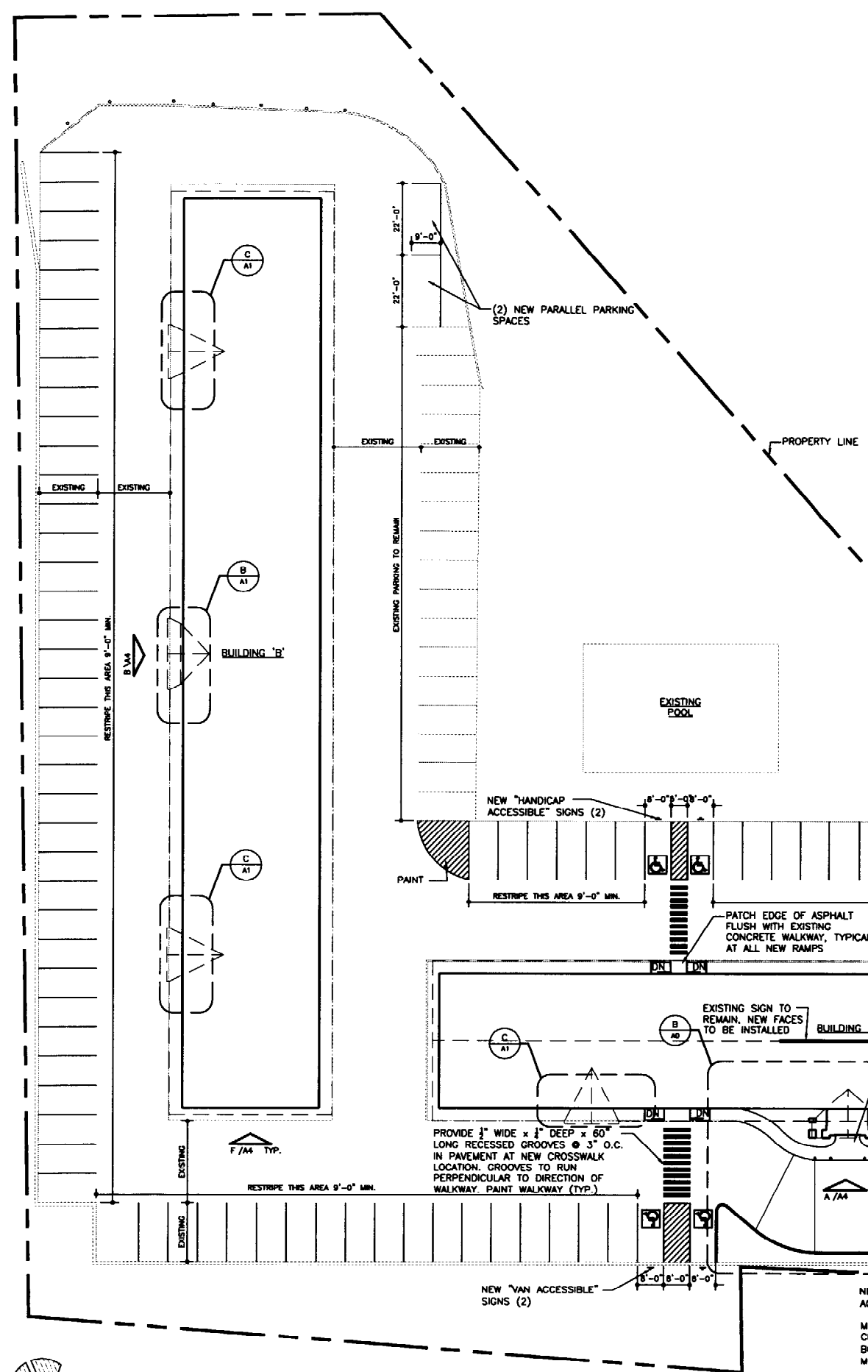


B PARTIAL SITE PLAN @ LOBBY
SCALE: 3/16"=1'-0"

EXISTING PARKING SPACES	109
NEW PARKING SPACES	2
TOTAL PROPOSED PARKING SPACES	111*

*(INCLUDES 5 NEW HANDICAP SPACES)
EXISTING HOTEL GUESTROOMS 132

- GENERAL NOTES:**
- ALL HANDICAP ACCESSIBLE SIGNS, SYMBOLS AND MARKINGS SHALL BE IN ACCORDANCE WITH ADAAG REQUIREMENTS.
 - ALL PARKING LOT STRIPING TO BE WHITE.



A PARTIAL SITE PLAN-PROPOSED
SCALE: 1"=20'-0"

Job No.	2498
Drawn By:	MSP
Checked By:	RKB
CONSTRUCTION	

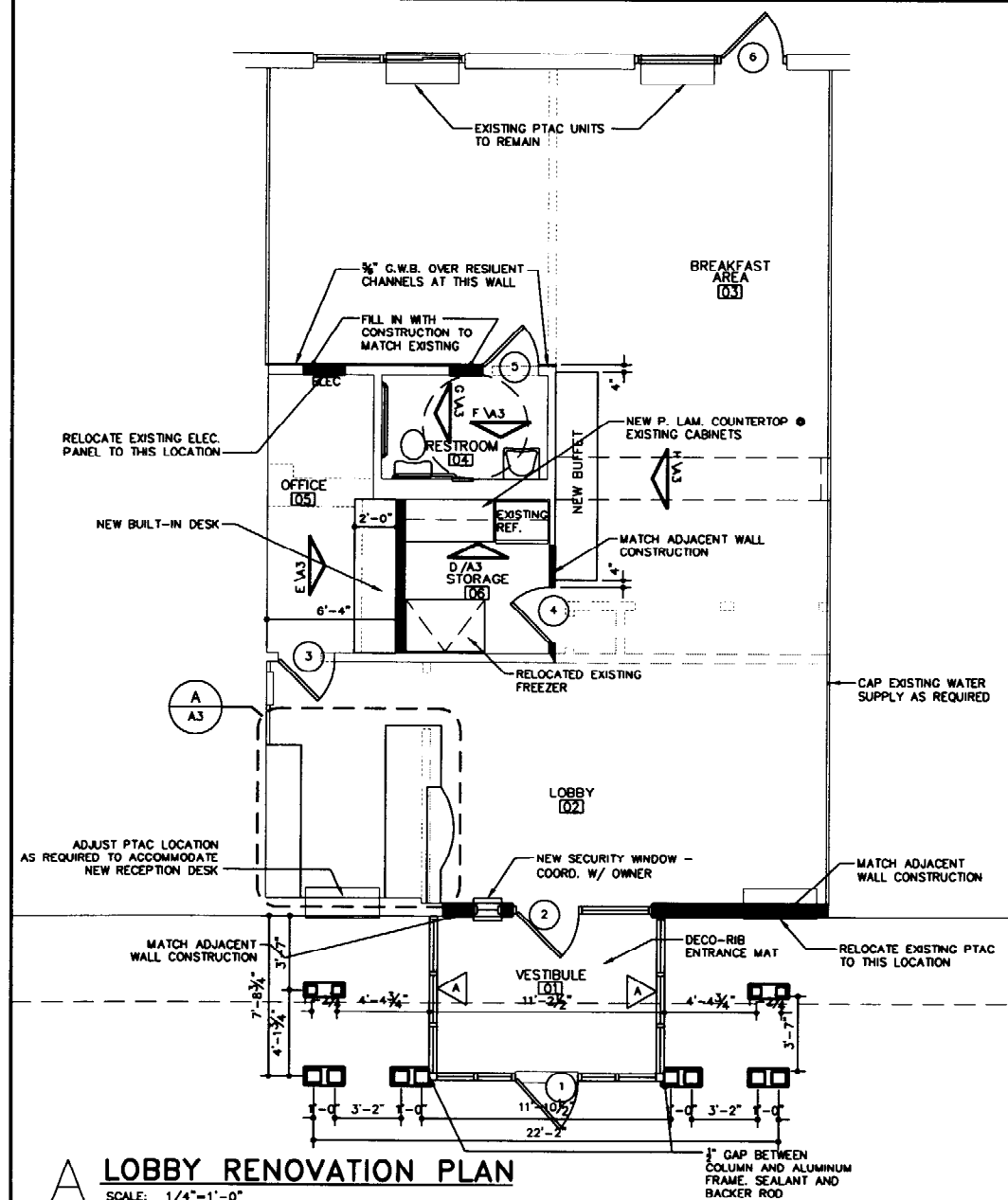
Revisions:	

Drawing Title:
**PARTIAL
SITE PLAN
PROPOSED**

Sheet Number:
A0
Issue Date: 18 MAY 2001

Owner:

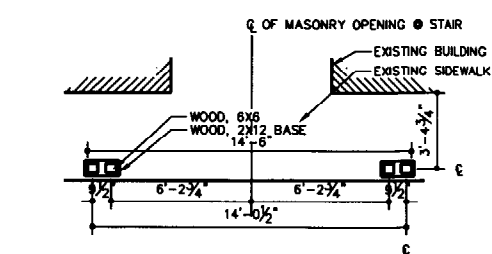
**HIM PORTLAND,
LLC**
PO BOX 833
EAST LONGMEADOW, MA



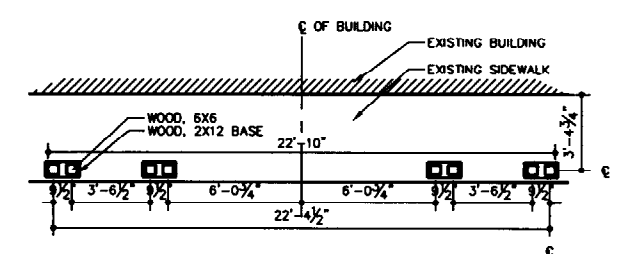
A LOBBY RENOVATION PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION: 3 5/8" MTL STUDS @ 16" O.C. WITH (1) LAYER 5/8" G.W.B. EACH SIDE (UNLESS OTHERWISE NOTED)

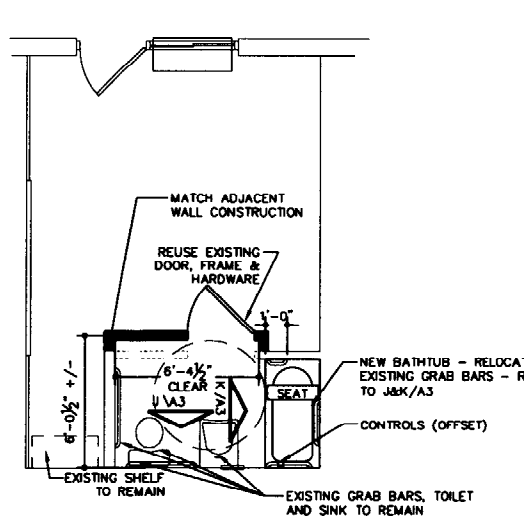
- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO CENTERLINE OF WALL UNLESS OTHERWISE NOTED.
 - ALL FINISHES TO BE COORDINATED WITH OWNER.
 - PROVIDE TRANSITION STRIPS AT ALL FLOOR FINISH CHANGES.



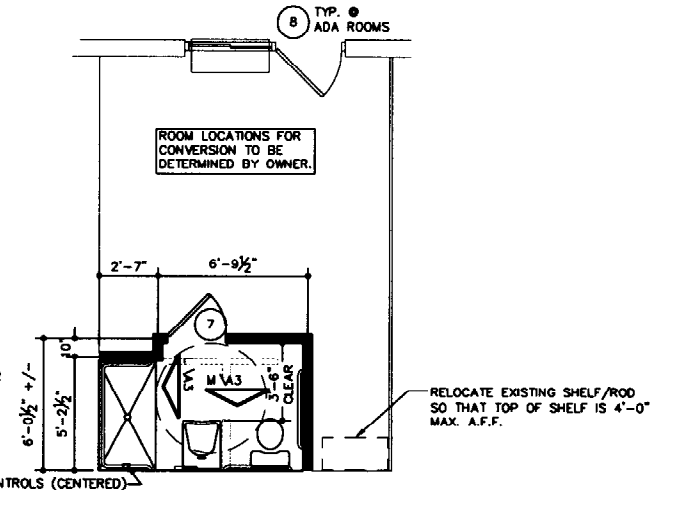
B PLAN @ STAIR ENTRY
SCALE: 1/4"=1'-0"



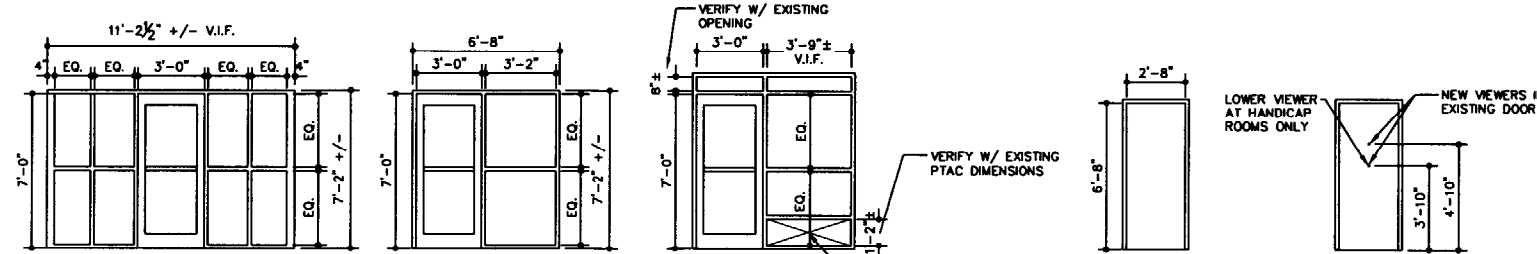
C PLAN @ BUILDING 'B'
SCALE: 1/4"=1'-0"



D ADA GUESTROOM RENOVATION
SCALE: 1/4"=1'-0"

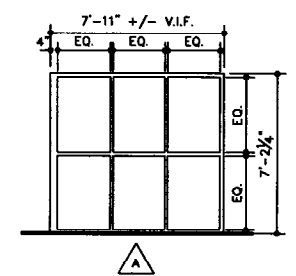


E ADA GUESTROOM CONVERSION
SCALE: 1/4"=1'-0"



- ALUM. MEDIUM STILE DOOR WITH 1" INSULATED GLAZING, ALUM. FRAME, YKK 45T THERMALLY BROKEN FRAME OR EQUAL 3070 ALUMINUM (HW#1)
- ALUM. MEDIUM STILE DOOR WITH 1" INSULATED GLAZING, ALUM. FRAME, YKK 45T THERMALLY BROKEN FRAME OR EQUAL 3070 ALUMINUM (HW#2)
- ALUM. MEDIUM STILE DOOR WITH 1" INSULATED GLAZING, ALUM. FRAME, YKK 45T THERMALLY BROKEN FRAME OR EQUAL 3070 ALUMINUM (HW#3)
- S.C.W. W/ HM FRAME 2868 SCW (HW#4)
- S.C.W. W/ HM FRAME 2868 SCW (HW#5)
- S.C.W. W/ HM FRAME 2868 SCW (HW#6)
- S.C.W. W/ HM FRAME 2868 SCW (HW#6)
- EXISTING DOOR @ ADA ROOM EXISTING DOOR (HW#7)

- DOOR NOTES:**
- COORDINATE ALL DOOR, FRAME AND HARDWARE FINISHES WITH OWNER.
 - EXISTING SALVAGED DOORS AND HARDWARE TO BE REUSED AS DIRECTED BY OWNER.
 - ALL NEW EXTERIOR WINDOWS TO RECEIVE 1" INSULATED GLAZING.
 - PROVIDE WALL/FLOOR STOPS @ ALL DOORS WITHOUT CLOSERS- COORDINATE WITH OWNER.
 - FIELD VERIFY ALL EXISTING OPENINGS TO RECEIVE NEW DOORS PRIOR TO ORDERING.
 - ELECTRIC LOCKSET @ HW#2 TO BE CONTROLLED BY BUTTON FROM FRONT DESK, CARD READER AND PANIC DEVICE.
 - ALL GUESTROOMS TO RECEIVE NEW CARD READER LOCKSETS, 180° ONE-WAY VIEWERS @ 4'-10", AND U-BAR LOCKS @ INTERIOR. SEE HW#7 FOR ADA GUESTROOM SPECIFIC INFORMATION. VERIFY W/ OWNER.
 - ALL THRESHOLDS TO BE ADA COMPLIANT.
 - ALL ALUMINUM FRAME DIMENSIONS ARE BASED ON YKK 45T FRAME WITH DIMENSIONS OF 2 1/2" x 4 1/2". ADJUST DIMENSIONS IF OTHER MANUFACTURER IS SUBSTITUTED.
 - ALL GLAZING TO BE TEMPERED AS REQUIRED BY CODE.
- HARDWARE SETS:**
- HW#1 1/2 PAIR BUTTS, CLOSER, LOCKSET, THRESHOLD, PUSH/PULL HARDWARE, WEATHERSTRIPPING
- HW#2 1/2 PAIR BUTTS, CLOSER, ELECTRIC LOCKSET, THRESHOLD, PANIC DEVICE, WEATHERSTRIPPING, CARD READER
- HW#3 1/2 PAIR BUTTS, CLOSER, THRESHOLD, PANIC DEVICE, WEATHERSTRIPPING, CARD KEY LOCKSET
- HW#4 3 SPRING HINGES, OFFICE LOCKSET, SILENCERS
- HW#5 3 SPRING HINGES, STORAGE LOCKSET, SILENCERS
- HW#6 1/2 PAIR BUTTS, PRIVACY LOCKSET W/ LEVER HANDLE, WEATHERSTRIPPING THRESHOLD (1/2" MAX. HEIGHT)
- HW#7 REMOVE EXISTING LOCKSET: NEW HARDWARE= CARD READER LOCKSET W/ LEVER HANDLE, 180° ONE-WAY VIEWER, U-BAR LOCK @ INTERIOR



Job No.	2498
Drawn By:	RPF
Checked By:	RKB
CONSTRUCTION	

Revisions:	

Drawing Title:
**PLANS, WINDOW/
DOOR ELEVATIONS
AND NOTES**

Sheet Number:
A1
Issue Date: 18 MAY 2001

Owner:

**HIM PORTLAND,
LLC**

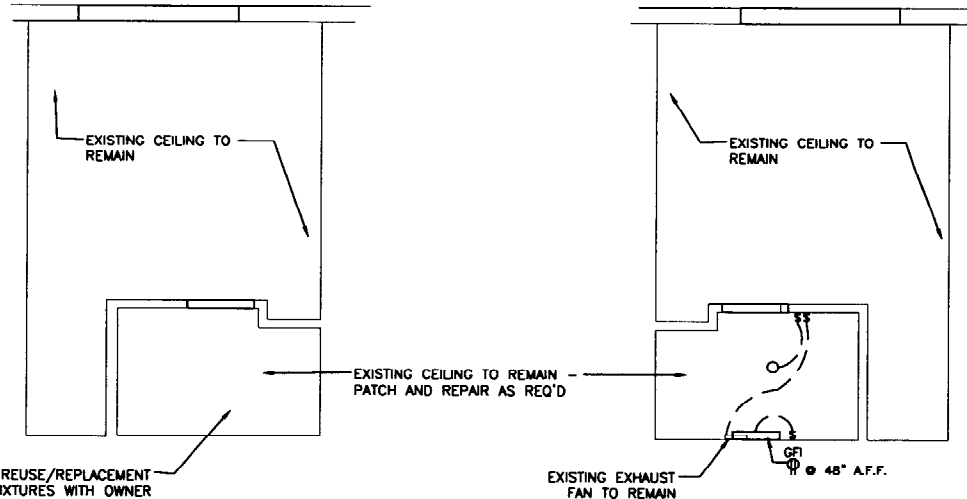
PO BOX 833
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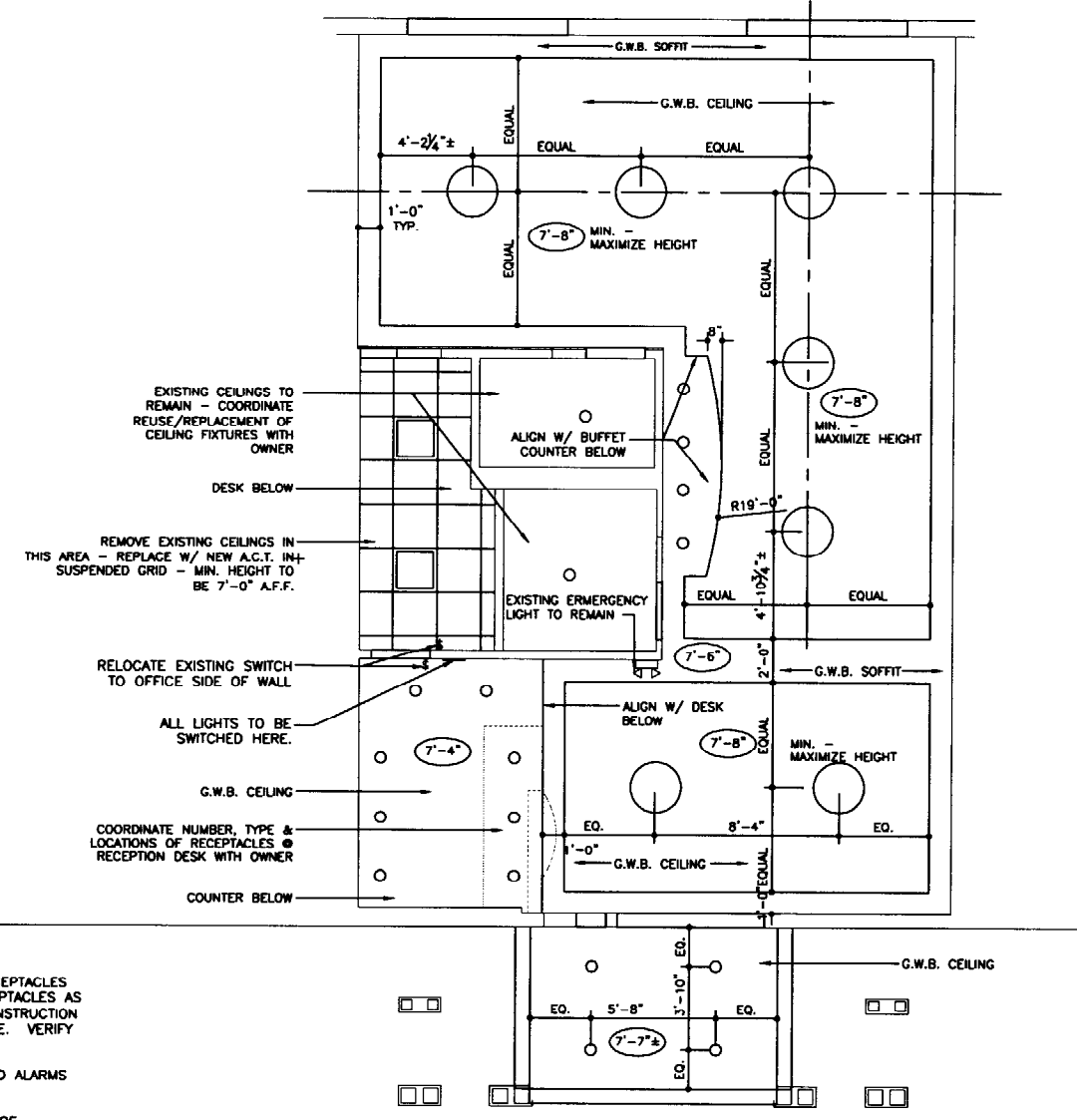


**B ADA GUESTROOM RENOVATION
REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"

**C ADA GUESTROOM CONVERSION
REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



A LOBBY REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

- NOTES:**
1. REMOVE & RELOCATE EXISTING RECEPTACLES & SWITCHES, AND ADD NEW RECEPTACLES AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION AND AS REQUIRED BY LOCAL CODE. VERIFY IN FIELD.
 2. INCREASE EMERGENCY LIGHTING AND ALARMS AS REQUIRED PER LOCAL CODE.
 3. COORDINATE RELOCATION/ADDITION OF EXISTING SECURITY CAMERA WITH OWNER.
 4. REMOVE EXISTING DECORATIVE CEILING IN LOBBY AS REQUIRED.
 5. COORDINATE ALL SWITCHING OF LIGHTS WITH OWNER.

CEILING LEGEND	
(X'-X')	CEILING HEIGHT A.F.F.
○	LIGHT FIXTURE - COORDINATE W/ OWNER
□	2'x2' FLUORESCENT LIGHT FIXTURE
⊕	SWITCH
⊖	RECEPTACLE

Job No.	2498
Drawn By:	RPF
Checked By:	RKB

Revisions:	

Drawing Title:
**REFLECTED CEILING
PLANS**

Sheet Number:
A2
Issue Date: 18 MAY 2001

Owner:

HIM PORTLAND,
LLC

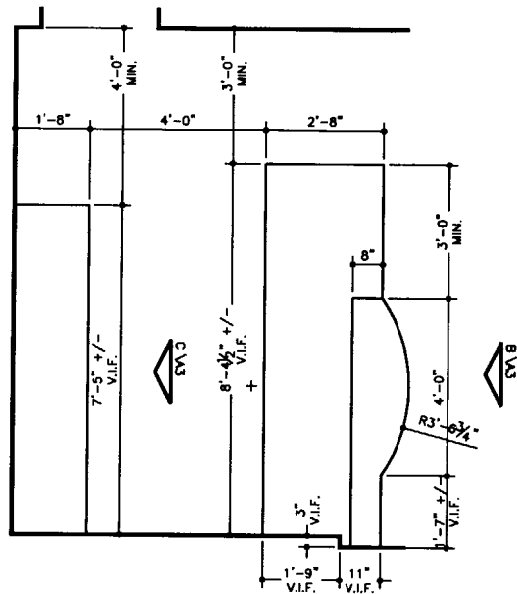
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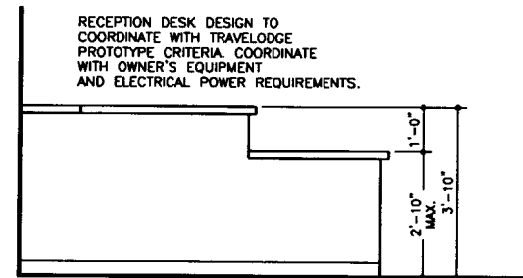
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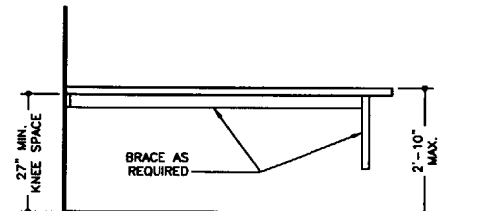
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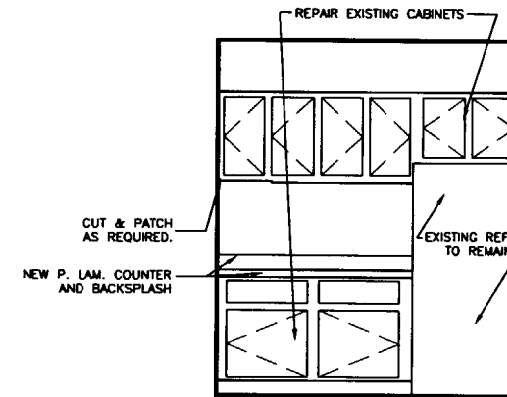
A RECEPTION DESK PLAN
SCALE: 1/2"=1'-0"



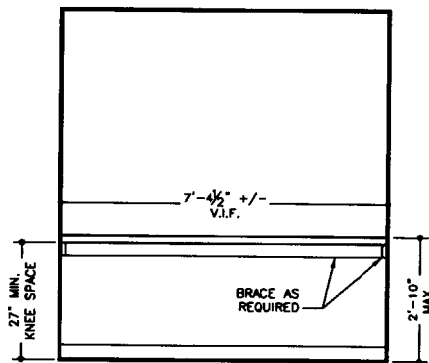
B RECEPTION DESK ELEVATION
SCALE: 1/2"=1'-0"



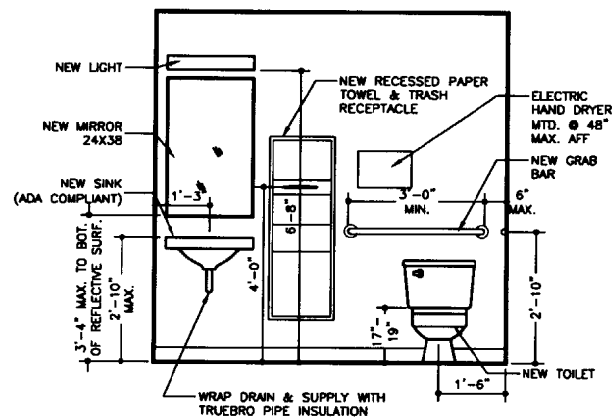
C BACK COUNTER ELEVATION
SCALE: 1/2"=1'-0"



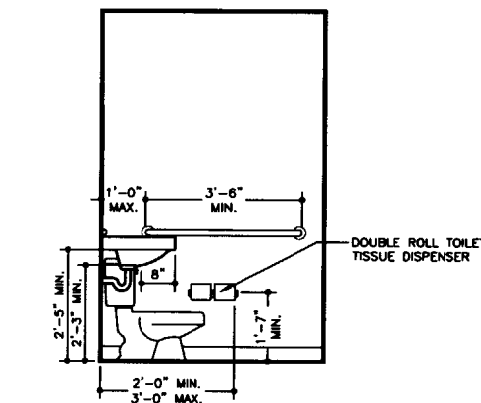
D STORAGE ROOM ELEVATION
SCALE: 1/2"=1'-0"



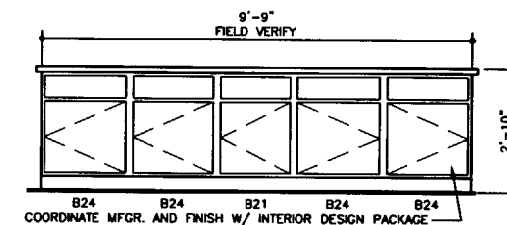
E OFFICE DESK ELEVATION
SCALE: 1/2"=1'-0"



F LOBBY RESTROOM ELEVATION
SCALE: 1/2"=1'-0"

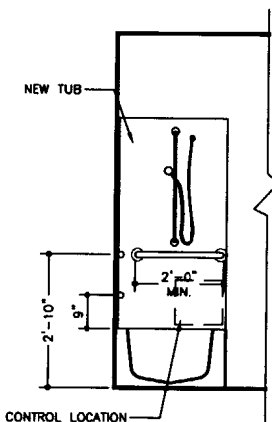


G LOBBY RESTROOM ELEVATION
SCALE: 1/2"=1'-0"

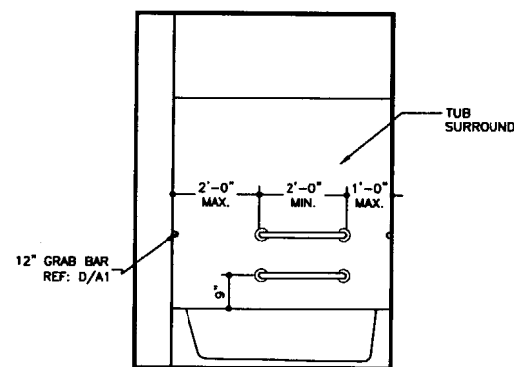


H BUFFET ELEVATION
SCALE: 1/2"=1'-0"

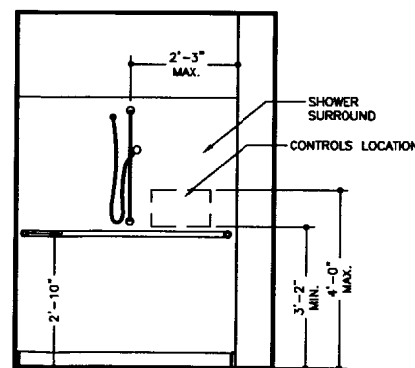
NOTE:
ALL FINISHES AND FIXTURES TO BE COORDINATED WITH OWNER.



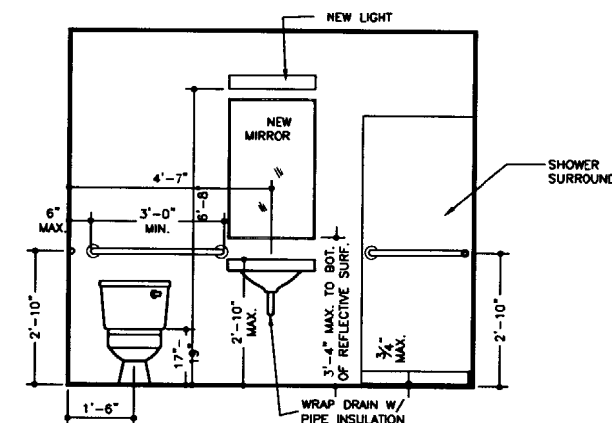
J PARTIAL ADA BATHROOM ELEVATION
SCALE: 1/2"=1'-0"



K ADA BATHROOM ELEVATION
SCALE: 1/2"=1'-0"



L PARTIAL ADA BATHROOM ELEVATION
SCALE: 1/2"=1'-0" AT ROLL-IN SHOWER



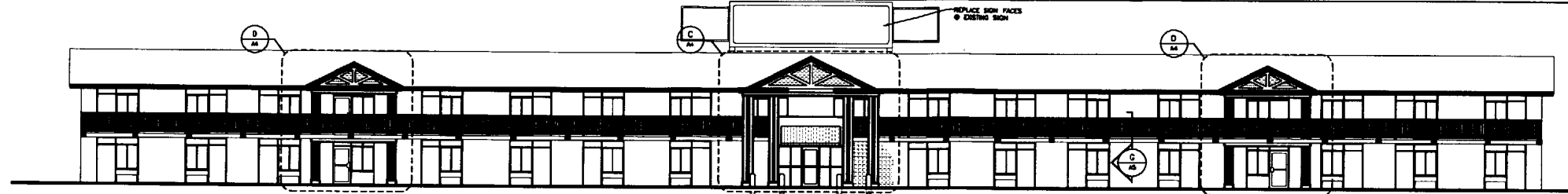
M ADA BATHROOM ELEVATION
SCALE: 1/2"=1'-0" AT ROLL-IN SHOWER

Job No.	2498
Drawn By:	RPF
Checked By:	RKB

Revisions:	

Drawing Title:
**ENLARGED
PLANS/ELEVATIONS**

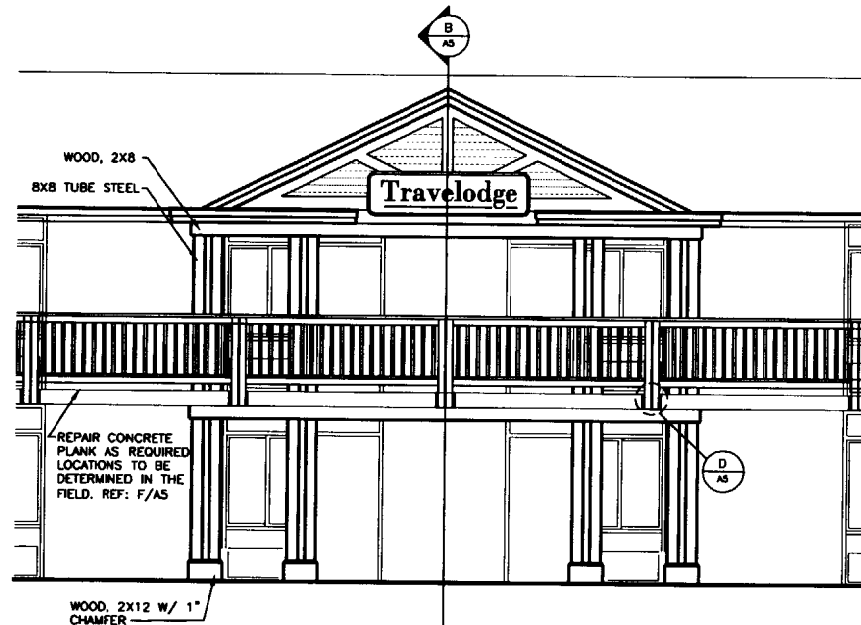
Sheet Number:
A3
Issue Date: 18 MAY 2001



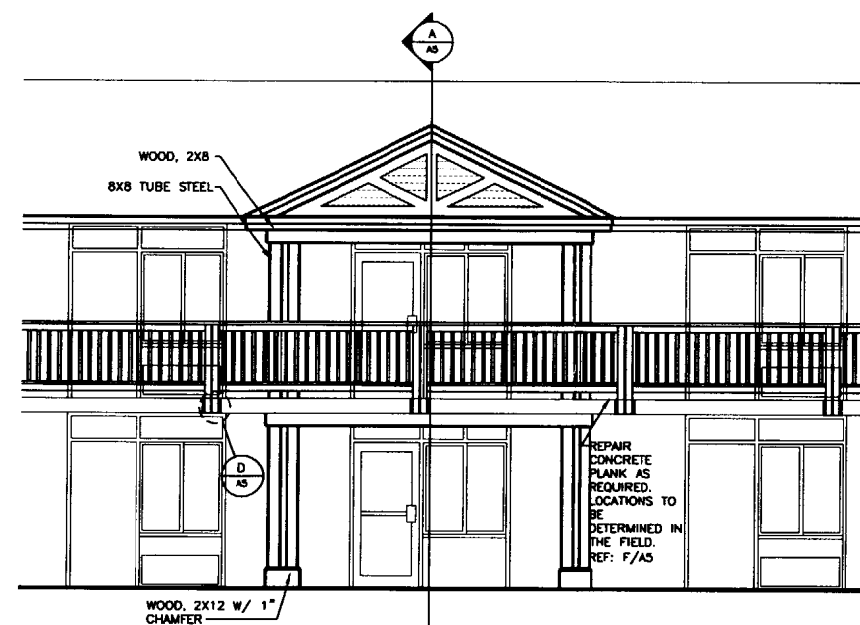
A BUILDING 'A' NORTH ELEVATION
SCALE: 3/32"=1'-0"



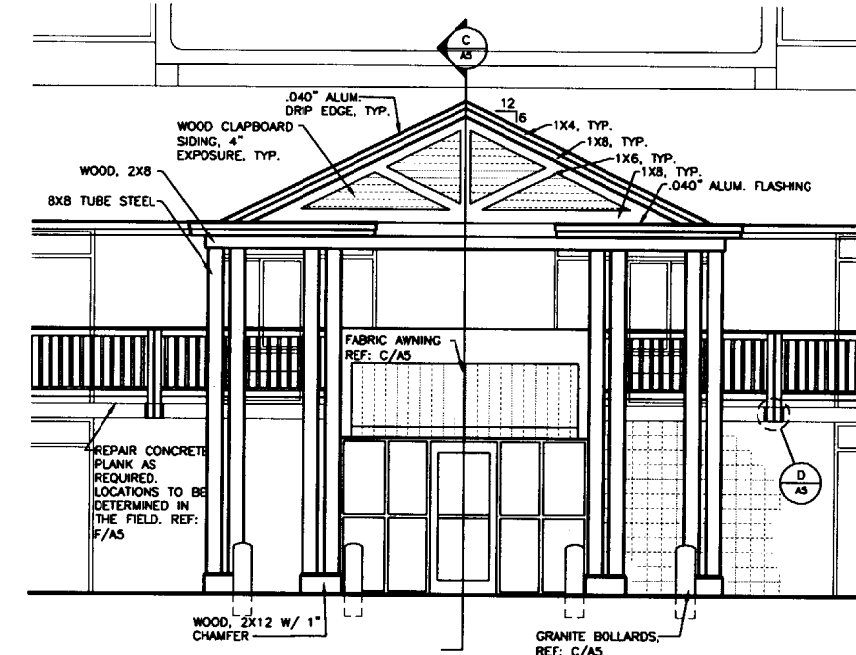
B BUILDING 'B' EAST ELEVATION
SCALE: 3/32"=1'-0"



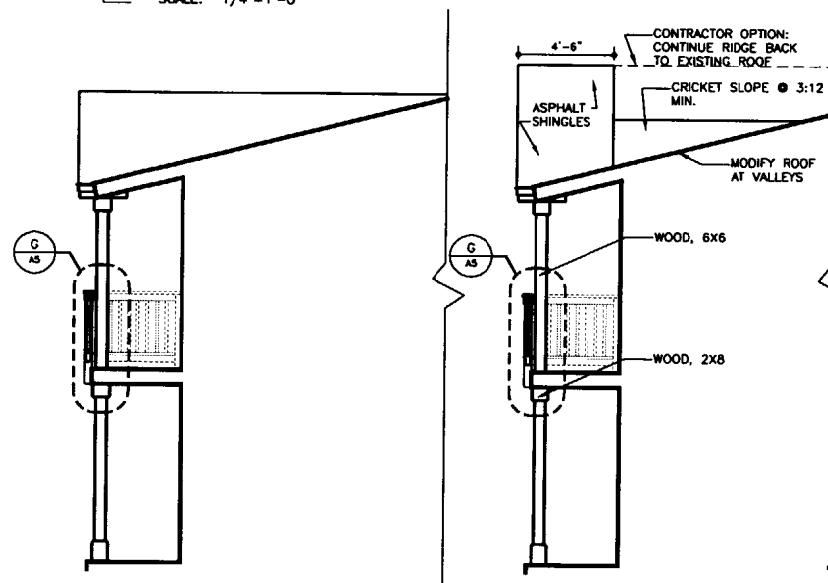
E ENLARGED ELEVATION @ ENTRY
SCALE: 1/4"=1'-0"



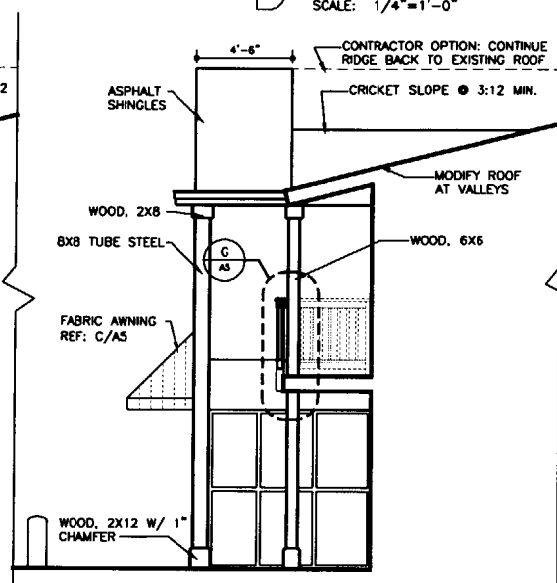
D ENLARGED ELEVATION @ STAIR
SCALE: 1/4"=1'-0"



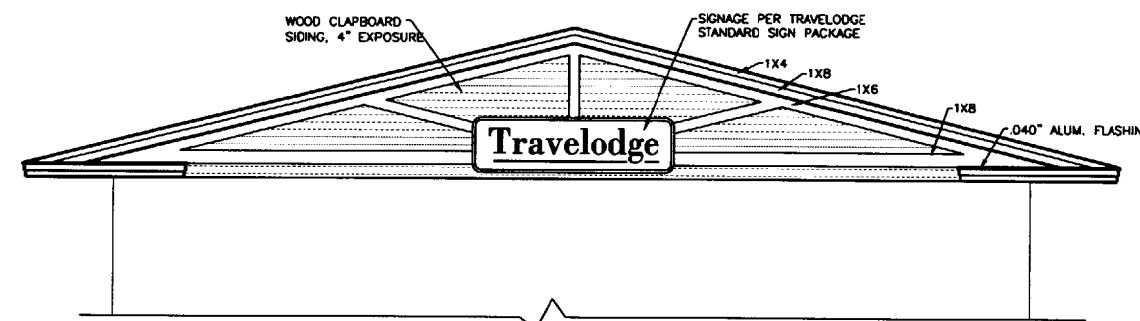
C ENLARGED ELEVATION @ ENTRY
SCALE: 1/4"=1'-0"



H PARTIAL SIDE ELEVATION @ STAIR
SCALE: 1/4"=1'-0"



G PARTIAL SIDE ELEVATION @ ENTRY
SCALE: 1/4"=1'-0"



F PARTIAL BUILDING END ELEVATION
SCALE: 1/4"=1'-0"

SIZE AND SPECIES OF FRAMING MATERIAL TO BE DETERMINED BY CONTRACTOR'S STRUCTURAL ENGINEER
COLOR AND FINISHES TO BE SELECTED BY OWNER

Travelodge

TRAVELODGE CONVERSION

EXIT 8
PORTLAND, MAINE

Owner:

HIM PORTLAND, LLC
PO BOX 833
EAST LONGMEADOW, MA

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Job No. 2498

Drawn By: RPF/MSP

Checked By: RKB

Revisions:

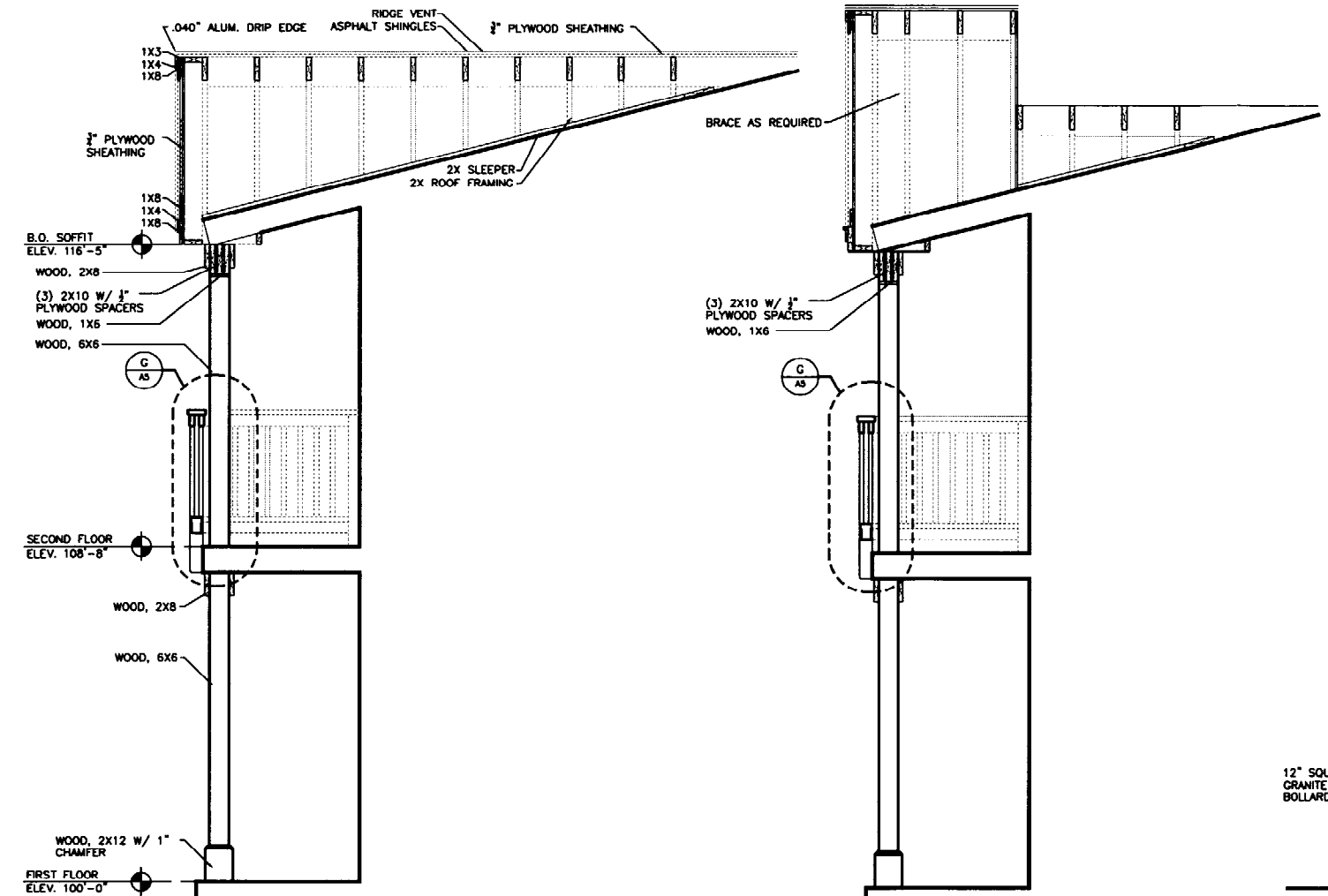
Drawing Title:

EXTERIOR ELEVATIONS

Sheet Number:

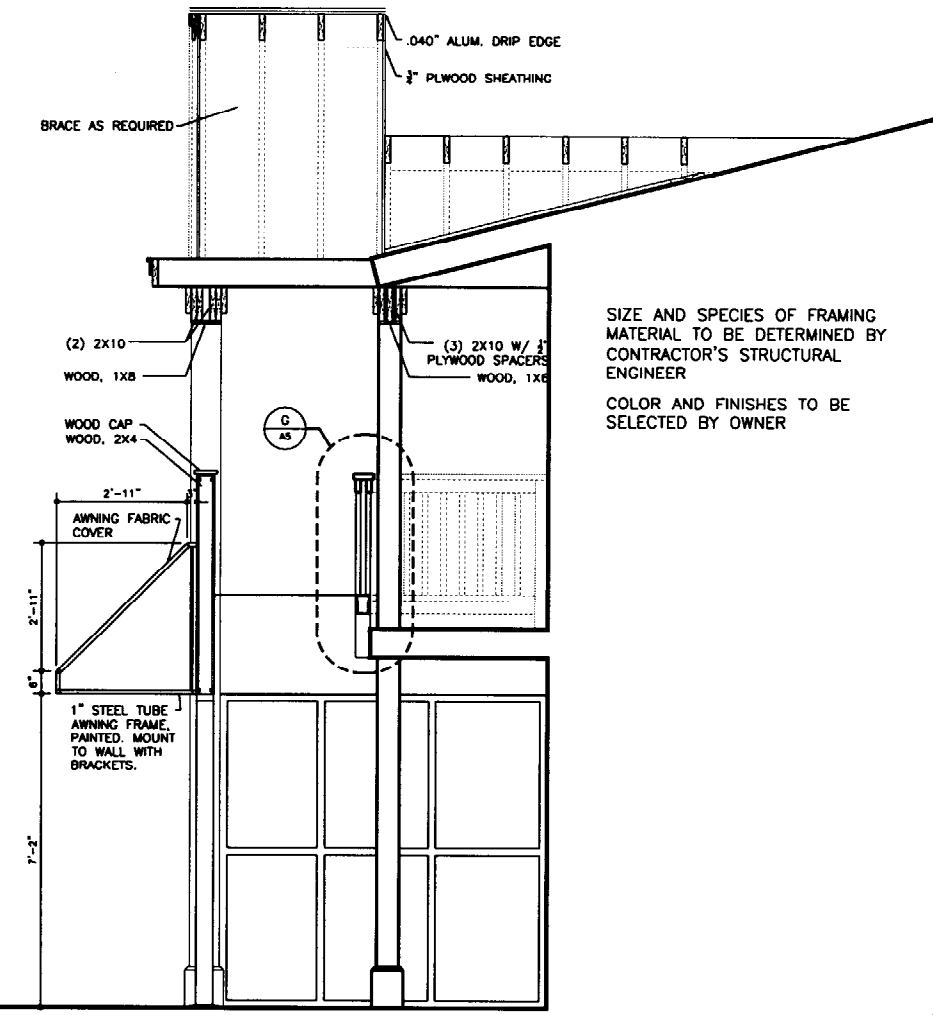
A4

Issue Date: 18 MAY 2001



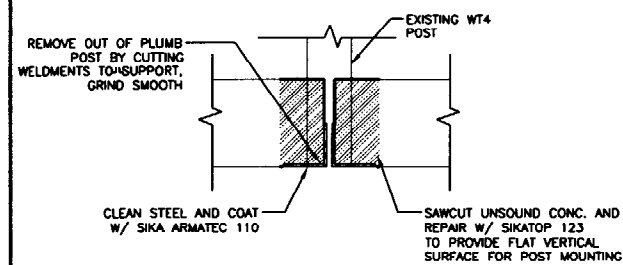
A SECTION @ STAIR
SCALE: 1/2"=1'-0"

B SECTION @ BUILDING 'B'
SCALE: 1/2"=1'-0"

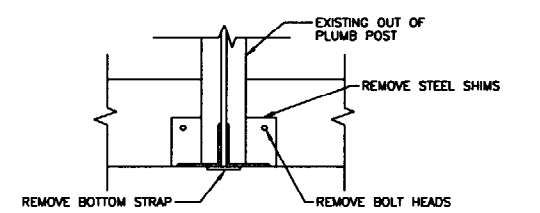


C SECTION @ ENTRY
SCALE: 1/2"=1'-0"

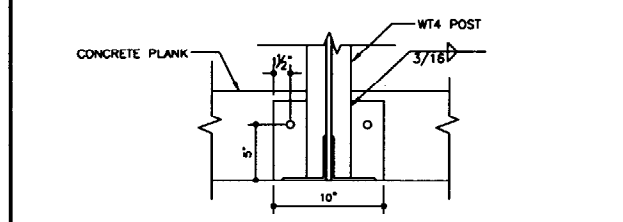
SIZE AND SPECIES OF FRAMING
MATERIAL TO BE DETERMINED BY
CONTRACTOR'S STRUCTURAL
ENGINEER
COLOR AND FINISHES TO BE
SELECTED BY OWNER



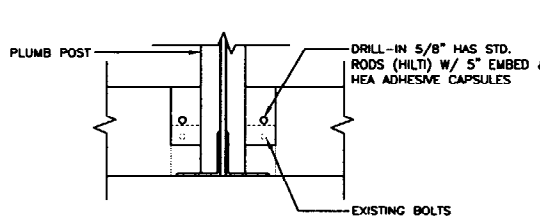
REMOVE POST - REPAIR CONCRETE



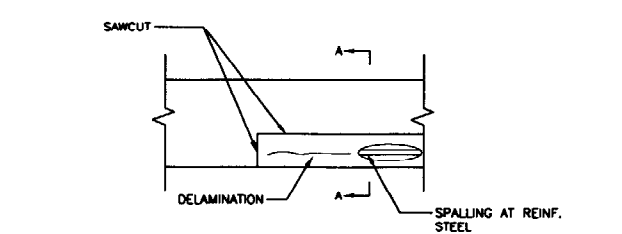
REMOVE POST AND REPAIR BASE CONCRETE



REINSTALL POST WITH MODIFIED CONNECTION

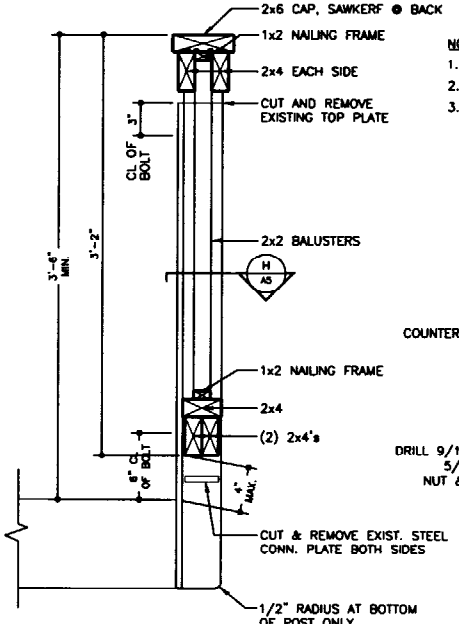


REINSTALL POST WITH MODIFIED CONNECTION



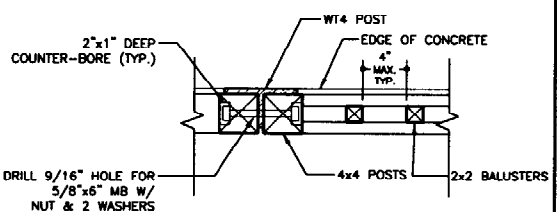
SIDEVIEW

SECTION A-A



G RAILING SECTION
SCALE: 1 1/2"=1'-0"

- NOTES:**
1. ALL WOOD TO BE PRESSURE TREATED.
 2. CANT TOP 2x6 TO PREVENT WATER FROM POOLING.
 3. RAILING SYSTEM (WOOD AND METAL) TO BE PRIMED AND PAINTED. COORDINATE COLORS W/ OWNER.



H RAILING PLAN
SCALE: 1 1/2"=1'-0"

D RAILING BASE DETAIL @ BEAMS
SCALE: 1 1/2"=1'-0"

E RAILING BASE DETAIL @ INTERMITENT SPAN
SCALE: 1 1/2"=1'-0"

F CONCRETE REPAIR DETAIL
SCALE: 1 1/2"=1'-0"

Job No.	2498
Drawn By:	MSP
Checked By:	RKB

Revisions:	

Drawing Title:
**SECTIONS &
DETAILS**

Sheet Number:
A5
Issue Date: 18 MAY 2001