

PROP. LOT  
TAX MAP 42B  
LOT 14  
A=1,106,776 S.F.  
=25.41 AC.

PROPOSED  
RETAIL  
BUILDING "J"  
38,613 S.F.

PROPOSED RETAIL "H"  
148,000± S.F.

PROPOSED RETAIL "E"  
154,851± S.F.

PROP. LOT  
TAX MAP 42B  
LOT 11  
A=1,737,391 S.F.  
=39.89 AC.

EXISTING PROPERTY LINES  
TO BE ABANDONED

PROPOSED RETAIL "D"  
TAX MAP 42B  
LOT 10  
55,000 S.F.

PROPOSED RETAIL "D1"  
17,000 S.F.

PROPOSED RETAIL "D2"  
19,989 S.F.

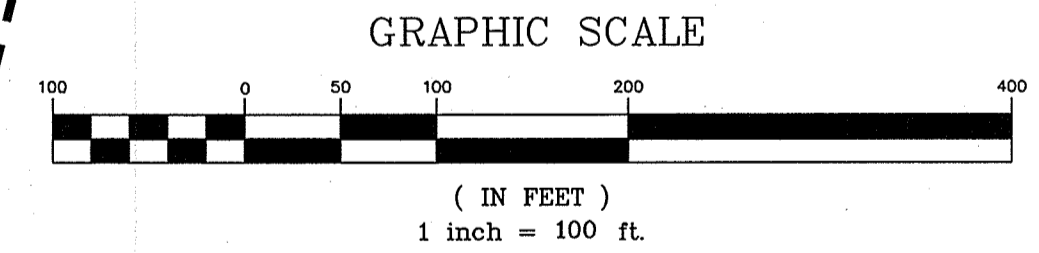
PROPOSED RETAIL "D3"  
9,529 S.F.

**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED RETAIL SPACE WITH ASSOCIATED PARKING.
- | ZONING DISTRICT - GATEWAY COMMERCIAL DISTRICT | REQUIRED LOT AREA MINIMUM | PROPOSED   |
|---|---------------------------|--|
|   | 20,000 SF                 | 1,737,391± SF (N. CAMPUS)<br>1,106,776± S.F. (S. CAMPUS)<br>TOTAL=2,844,167 ± S.F. (65.293 AC) |

**BUILDING SETBACKS (MINIMUM):**

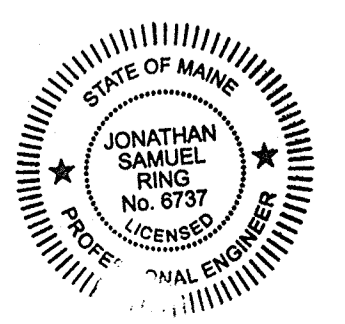
FRONT SETBACK	20'	20'
SIDE SETBACK	20'	20'
REAR SETBACK	20'	20'
MAX. BUILDING HEIGHT	50' (4-STORIES)	<50'
MIN. FRONTAGE	100'	
MAX. FOOTPRINT	160,000	
MAX. FOOTPRINT FACTOR	50%	
NORTH CAMPUS	280,448/1,674,849	17%
SOUTH CAMPUS	207,500/1,099,667	19%
MAX. GROSS DENSITY FACTOR	75%	
NORTH CAMPUS	1,476,370/2,813,686	52.4%
SOUTH CAMPUS	407,115/718,010	56.7%



PORTLAND TRAIL IMPACT:  
IMPERVIOUS SURFACE AREA = 10,293 S.F.  
TOTAL DISTURBED AREA = 32,226 S.F.

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Design: BWG	Draft: BWG	Date: 10/20/15
Checked: WGM	Scale: AS SHOWN	Project No.: 14110
Drawing Name: 14110-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	3/4/16	REVISED PER CITY COMMENTS	BWG
0	2/2/16	ISSUED FOR REVIEW	BWG
		REVISION	

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

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Plan Name:	<b>OVERALL SITE PLAN</b>
Project:	"DIRIGO PLAZA" 58 & 80 MAIN STREET, WESTBROOK, ME 04092
Owner of Record:	PIKE INDUSTRIES, INC. - 3 EASTGATE PARK ROAD, BELMONT, NH 03220 LL LATHROP LLC - 10 MOULTON STREET SUITE 4, PORTLAND, ME 04101

DRAWING No.

**C2**

SHEET 7 OF 89  
JBE PROJECT NO. 14110