

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-0179	Issue Date: MAR 30 2001	CBL: 263 AA004
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Location of Construction: 1030 Brighton Ave	Owner Name: Heritage Realty	Owner Address: 535 Boylston Street CITY OF PORTLAND	Phone: 617-247-2200
Business Name: n/a	Contractor Name: Burr Signs	Contractor Address: 10 Buttonwood Street South Portland	Phone: 2077991183
Lessee/Buyer's Name: Citi Financial	Phone: n/a	Permit Type: Signs - Permanent	Zone: B-2

Past Use: Commercial / Vacant	Proposed Use: Commercial / Office-Retail	Permit Fee: 36.00 \$0.00	Cost of Work: \$0.00	<i>area 3</i>
Proposed Project Description: Install 2'6" x 12' wallmount sign		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>signage</i> Type: <i>area 3</i>	
		Signature: _____ Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

BOCA/AC/ISSUED PERMIT WITH REQUIREMENTS

Permit Taken By: gg	Date Applied For: 03/14/2001	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>DK per D.A.</i> Date: <i>review 3/29/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Deb. A. Approved this "Boob" sign ASA</i> Date: <i>SPECIAL circumstances</i>
	It is typical of the other signage at this site 3/29/01		

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Sign Permit Pre-Application

**Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <i>1030 BRIGHTON AVE / PINE TREE SHOPPING CTR.</i>		
Total Square Footage of Proposed Structure <i>30</i>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <i>263A</i> Block# <i>A</i> Lot# <i>004</i>	Owner: <i>HERITAGE REALTY</i> CITIFINANCIAL	Telephone#: <i>617-247-2200</i>
Owner's Address: <i>535 BOYLSTON ST. BOSTON, MA 02116</i>	Lessee/Buyer's Name (If Applicable) <i>CITIFINANCIAL</i>	Total Sq. Ft. of Sign Fee <i>30</i> \$ <i>36.00</i>
Proposed Project Description:(Please be as specific as possible) <i>INSTALL 2'6" x 12' WALLMOUNT SIGN</i>		
Contractor's Name, Address & Telephone <i>BURR SIGNS 50. PORTLAND, ME 10 BUTTON WOOD ST. 04106</i>		Rec'd By: 
Current Use: <i>VACANT</i>	Proposed Use: <i>OFFICE/RETAIL</i>	
Signature of applicant: 	Date: <i>3/12/01</i>	

Signage Permit Fee: \$30.00 plus .20 per square foot of signage

MAIL PERMIT TO:

BUILDING PERMIT REPORT

DATE: 14 March 2001 ADDRESS: 1030 Brighton Ave. CBL: 263-AA-004

REASON FOR PERMIT: Signage

BUILDING OWNER: Heritage Realty

PERMIT APPLICANT: CONTRACTOR Burr Sign.

USE GROUP: CONSTRUCTION TYPE: CONSTRUCTION COST: PERMIT FEES: \$36.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)


CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: #1 #28 #36

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, T into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Width: The minimum required width of passageways and corridors shall be determined by the most restrictive criteria of section 1011.3.
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

3/14/01

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall maintained to NFPA #72 Standard.
23. The Sprinkler System shall maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1999).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
36. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).


 P. Samuel Hoffses, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 11/25/99

****This Permit is herewith issued, on the basis of plans submitted and conditions placed the plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

****** Certificate of Occupancy Fees: \$50.00 each**

******* All PLANS THAT REQUIRE A PROFESSIONAL DESIGN'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000 OR REQUIVALENT.**

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/09/01

PRODUCER
Brown & Brown, Inc. - Melbourne
6767 N. Wickham Rd Suite 100
Melbourne, FL 32940-2024
321 757-8686

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
Art Kraft Sign Co Inc
6934 Sonny Dale Drive
Melbourne, FL 32904

INSURER A: CNA Insurance Companies
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	MA0173677253	09/24/00	09/24/01	EACH OCCURRENCE \$500,000 FIRE DAMAGE (Any one fire) \$50,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$500,000 GENERAL AGGREGATE \$500,000 PRODUCTS -COMP/OP AGG \$500,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	1073662400	09/24/00	09/24/01	COMBINED SINGLE LIMIT (Ea accident) \$500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGR \$
A	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10000	1073677270	09/24/00	09/24/01	EACH OCCURRENCE \$3,000,000 AGGREGATE \$3,000,000 \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY OTHER	1073677267	09/17/00	09/17/01	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$100,000 E.L. DISEASE-EA EMPLOYEE \$100,000 E.L. DISEASE-POLICY LIMIT \$500,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

** Supplemental Name **
Art Kraft Sign Co Inc
R.D. Reilly & Associates, Inc.
Robert D. & Velma M. Reilly

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER

CANCELLATION

City of Portland
389 Congress Street
Portland, ME 04101

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Paul B. Reilly

MAR-01-01 16:54 FROM:HERITAGE

ID:6172674557

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HERITAGE REALTY MANAGEMENT, INC.

Corporate Office: 535 Boylston Street • Boston, Massachusetts 02116-3766

Telephone: (617) 247-2200 • Fax: (617) 266-0885 (617) 267-4557

March 1, 2001

CitiFinancial
300 St. Paul Place (BSPO5C)
Baltimore, Maryland 21202
Attention: Real Estate Department

RE: Signage
Pinetree Shopping Center
Portland, Maine

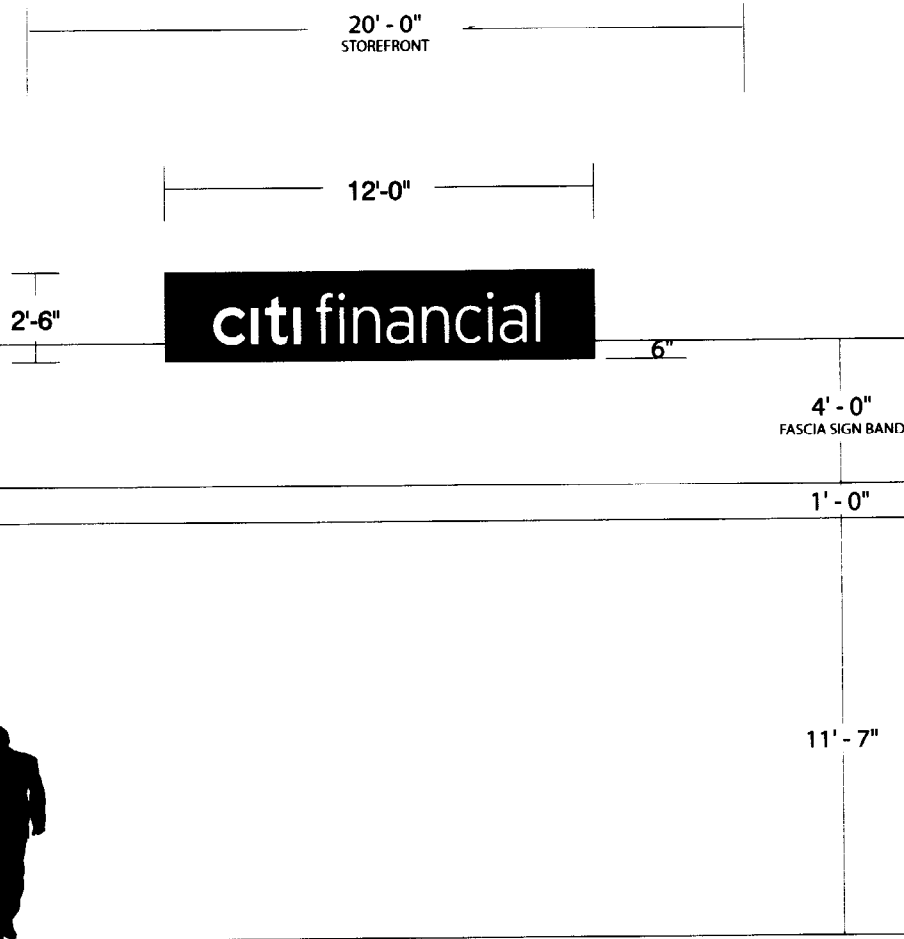
Dear Tenant:

Heritage Realty Management, Inc., is in receipt of a facsimile dated March 3, 2001, requesting approval to install signage at the above referenced location. Approval is being given the installation in accordance with plans dated February 12, 2001, prepared by Art-Kraft Sign Company, Inc. subject to the terms of your lease agreement and the following conditions:

- Tenant or its designated contractor must secure all permits where necessary.
- Your compliance with all state and local codes and ordinances.
- A copy of your contractor's certificate of insurance must be received in this office before work commences.
- Contractor must exercise extreme caution during installation and install barriers to secure area from any possible accident or injury.
- All debris must be removed from site by Tenant or its designated contractor.
- All work to be done in a good workmanlike manner at your sole cost and expense.
- Maintenance of the sign will be the sole responsibility of Tenant.
- All licensed tradesmen must be used when necessary.
- Heritage Realty Management, Inc. reserves the right to inspect all ongoing renovations.
- Contractor(s) must exercise extreme caution during installation of electrical lines to prevent damage or interruption of service to other tenants in the shopping center.

CITI FINANCIAL
 1030 BRIGHTON AVENUE
 PINETREE PLAZA
 PORTLAND, ME

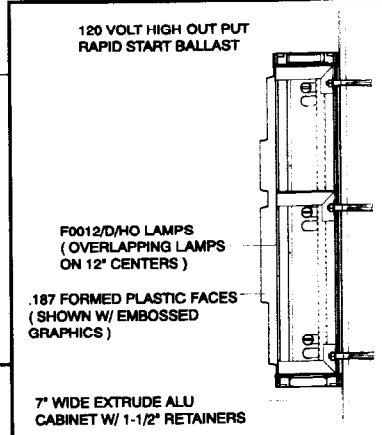
JOB NUMBER
 19-0260



INTERNALLY ILLUMINATED SINGLE SIDED WALL SIGN
 7" DEEP EXTRUDED ALUMINUM CABINET TO HAVE (2) 1/4" WEEP HOLES FOR DRAINAGE
 EXTERIOR METAL SURFACES TO BE PREPPED, PRIMED & FINISHED IN EXTERIOR ACRYLIC POLYURETHANE
 INTERIOR METAL SURFACES TO FINISHED IN WHITE ACRYLIC POLYURETHANE
 SIGN FACE TO BE HIGH IMPACT TRANSLUCENT PAN FORMED EMBOSSED 3/16" THICK # CLEAR ACRYLIC
 COLORS AS INDICATED
 WALL SIGN ILLUMINATED WITH 800 M.A. H.O. FLUORESCENT LAMPS ON 12" CENTERS
 WALL SIGN MOUNTED TO FASCIA W/ 3/8" FASTENERS
 FASTENER TYPE DEPENDING ON WALL CONSTRUCTION
 PRIMARY ELECTRICAL WIRING THROUGH WALL

COLORS

FACE: (OPAQUE) PMS 288 BLUE
 COPY: (TRANS.) WHITE
 UMBRELLA: (TRANS.) PMS 485 RED
 CABINET: PMS 288 BLUE



ART-KRAFT SIGN COMPANY IS NOT
 RESPONSIBLE FOR PRIMARY
 ELECTRICAL HOOK-UP OF SIGN

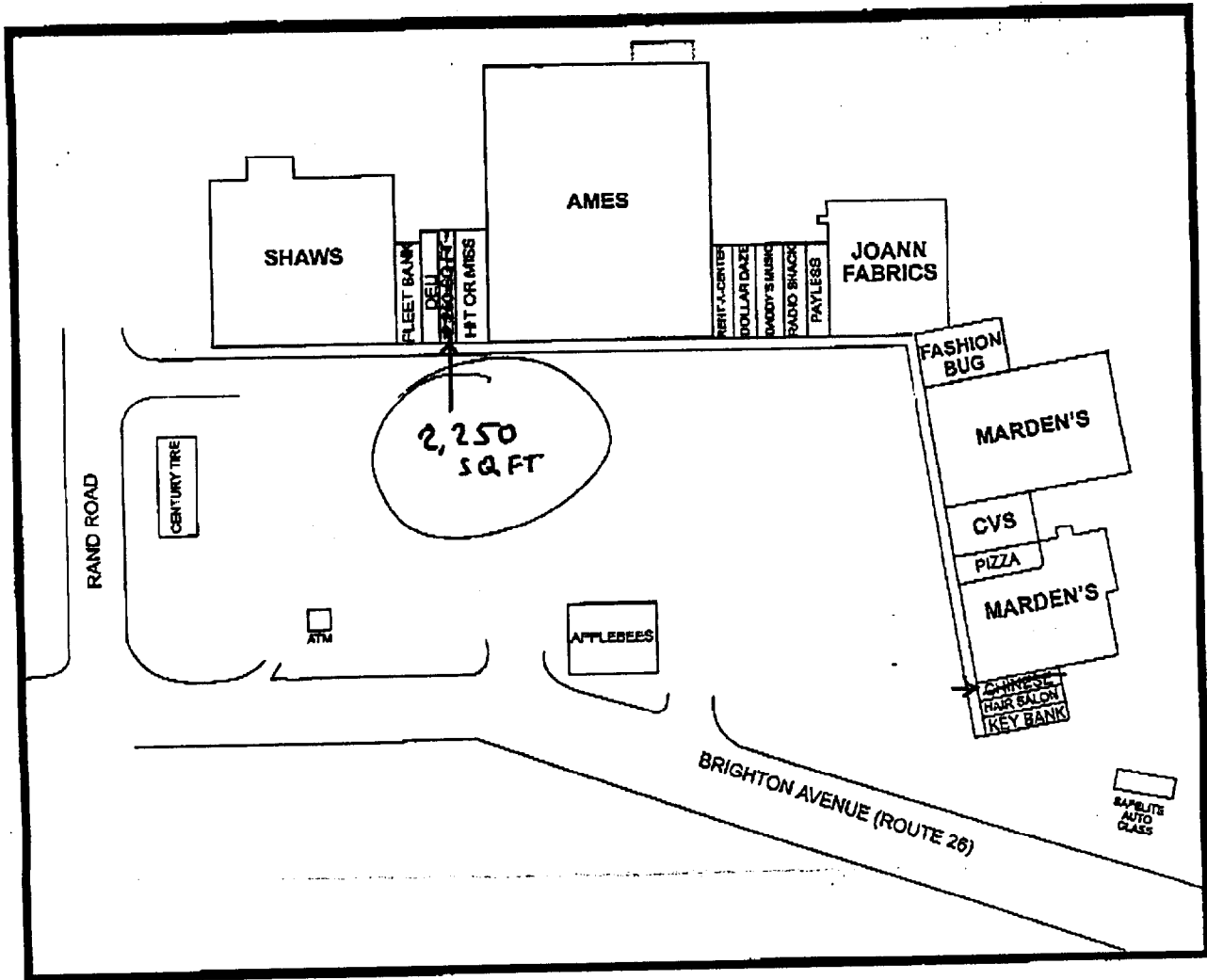


6934 Sonny Dale Dr., W. Melbourne, FL 32904
 (321) 727-9966 FAX (321) 727-2229 (321) 727-8777

This Design, in whole or in part, is the property of Art-Kraft Sign Company. And may not be used without the expressed written permission of Art-Kraft Sign Company.

CUSTOMER APPROVAL

DESIGNER SQUEEGIE	120 VOLTS
DATE 02 - 12 - 01	6.6 AMPS
SCALE 3/16" = 1'	SALES JOE

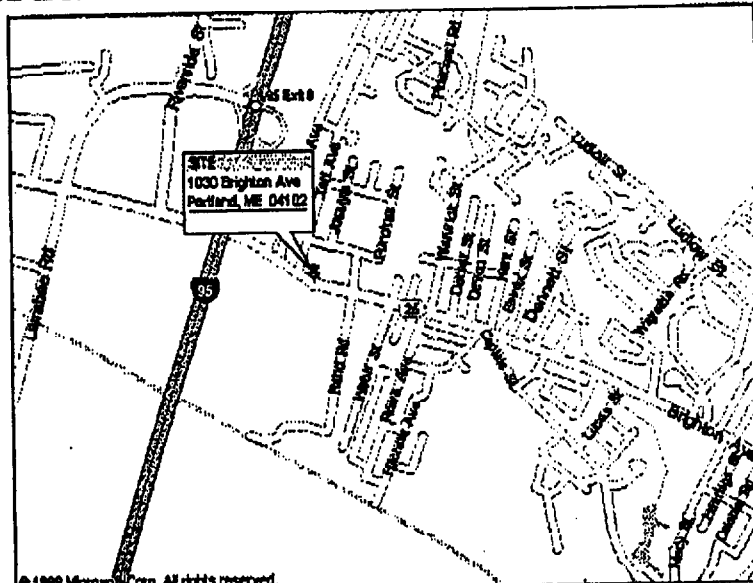


PINE TREE SHOPPING CENTER

HERITAGE REALTY
MANAGEMENT, INC.

555 Boylston Street
Boston, Massachusetts
02116

(617) 247-2200
Fax (617) 266-0885
FOR LEASING
INFORMATION
(617) 247-2200



REGIONAL OFFICES NEW YORK NORTH CAROLINA FLORIDA