

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1030 Brighton Ave.		Owner: Heritage Realty Inc.		Phone: 1-617-247-2200		Permit No: 010107	
Owner Address: 300 St paul Pl., Baltimore, MD		Lessee/Buyer's Name: Citi Financed		Phone:		BusinessName:	
Contractor Name: S&S Construction 969 Golden Ave,		Address: Dahlonega, Ga 30533		Phone:		Permit Issued: FEB 13 2001	
Past Use: Commercial / Office		Proposed Use: Commercial / Office		COST OF WORK: \$ 20,000.00		PERMIT FEE: \$ 144.00	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <u>B</u> Type: <u>2-C</u> BOCA 99	
Proposed Project Description: Interior Remodel				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <u>B-2</u> CBL:263-AA-004	
				Action: Approved <input type="checkbox"/>		Zoning Approval: <i>[Signature]</i>	
				Approved with Conditions: <input type="checkbox"/>		Special Zone or Reviews:	
				Denied <input type="checkbox"/>		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Gayle		Date Applied For: February 9, 2001 gg					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 9, 2001

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review for New Detached Single Family Dwelling,
All Purpose Building Permit Application**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE**If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 1030 Brighton Ave Rt 25 Portland Me

Total Square Footage of Proposed Structure _____ Square Footage of Lot _____

Tax Assessor's Chart, Block & Lot Number: _____
Owner: Heritage Realty Inc Telephone#: 617-247-2200
Chart# 263 Block# AA Lot# 604

Lessee/Buyer's Name (If Applicable): Citi Financial Owner's/Purchaser/Lessee Address: 300 St Paul Pl Baltimore, Md 21201 Cost Of Work: \$20,000.00
Fee: _____

1144.00

Current use: _____ Proposed use: home office

Project description: Interior remodel

Contractor's Name, Address & Telephone: S+S Construction 969 Golden Ave Dahlonega, Ga 30533 Rec'd By: _____

2/9 Gaf

Call Russel Steiner 706-864-6067

Separate permits are required for Internal & External Plumbing, HVAC and ~~Electrical~~ installation.

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Permit in

YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached) ON PAPER NO LARGER THAN 11" x 17" if you are doing anything other than interior rehab work.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building.
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site plan must be prepared and sealed by a registered land surveyor. FOUR COMPLETE PACKETS OF ALL SUBMISSIONS ARE REQUIRED FOR NEW SINGLE FAMILY HOMES SHOWING CONSTRUCTION AND SITE DETAILS ON 32" x 48". ALONG WITH ONE SET ON PAPER NO LARGER THAN 11" X 17".

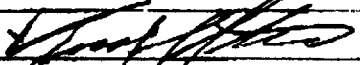
ON ALL OTHER BUILDING PERMIT SUBMISSIONS ONE SET OF SUBMISSIONS IS REQUIRED ON 11" X 17" AND ONE SETS ON 32" X 48" with the below stated details. (Sample Attached) Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 02/08/01
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

BUILDING PERMIT REPORT

DATE: 10 February 2001 ADDRESS: 1030 Brighton Ave. CBL: 263-AA-004

REASON FOR PERMIT: Interior renovations

BUILDING OWNER: Heritage Realty Inc.

PERMIT APPLICANT: CONTRACTOR S+S Construction

USE GROUP: B CONSTRUCTION TYPE: 2-C CONSTRUCTION COST: \$20,600 PERMIT FEES: \$144.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, 20, 21, 22, *23, *27, *29, *31, *34, *37

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements. *Separate permits are required for any new signage*

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All flashing shall comply with Section 1406.3.10.

36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

37. This permit does NOT authorize the removal of any load bearing walls.

P. Samuel Hoffses, Building Inspector

Cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

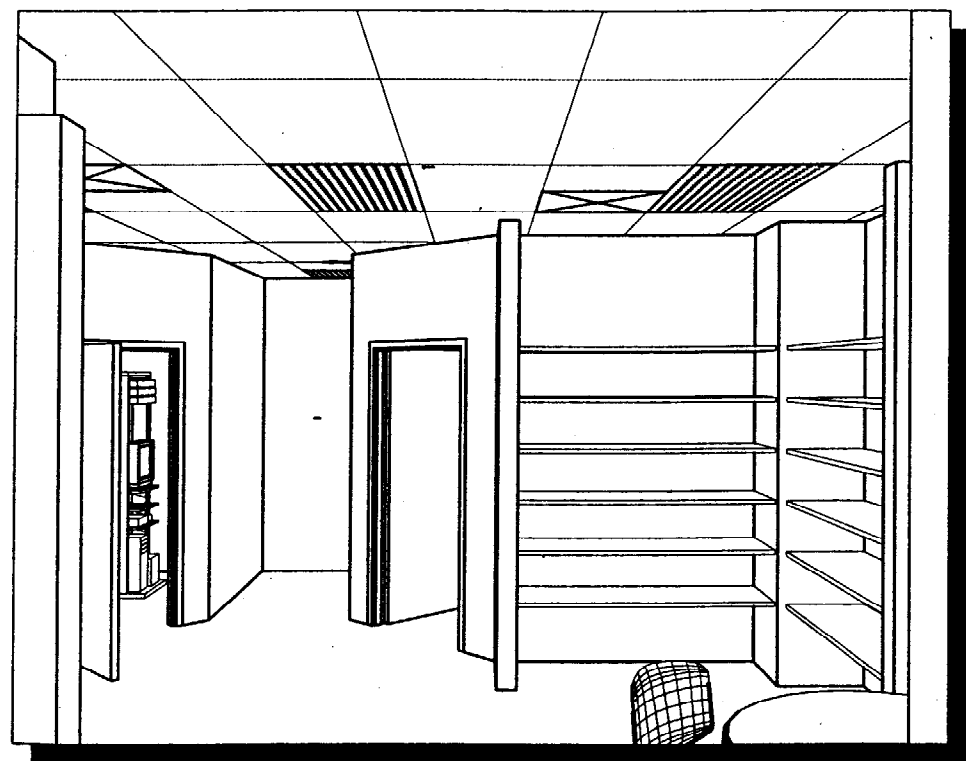
*****CERTIFICATE OF OCCUPANCY FEE \$50.00

DATE: 01/04/2001
JOB #: POME0260
DRAWN BY: ANO
SCALE: 1/8" = 1'-0"
SIZE: 2,250 sq. ft.



New Branch No.19-0260
Pine Tree Plaza
1030 Brighton Ave. Rt. 26
Portland, ME 04102

Tom
~~2/1/01~~




- CS COVER SHEET
- SP SITE PLAN (NOT USED)
- A-00 DEMOLITION PLAN (NOT USED)
- A-01 CONSTRUCTION PLAN
- A-02 FINISH PLAN
- A-03 POWER, TEL. & DATA PLAN
- A-04 REFLECTED CEILING PLAN
- A-05 FURNITURE PLAN
- A-06 FURNITURE PANEL PLAN
- A-07 DETAILS
- A-08 DETAILS - WALL TYPES & SHELVING
- A-09 DETAILS - RESTROOMS
- A-10 GENERAL NOTES
- A-11 SYMBOLS/SCHEDULES
- A-12 SYMBOLS/SCHEDULES

COVERSHEET

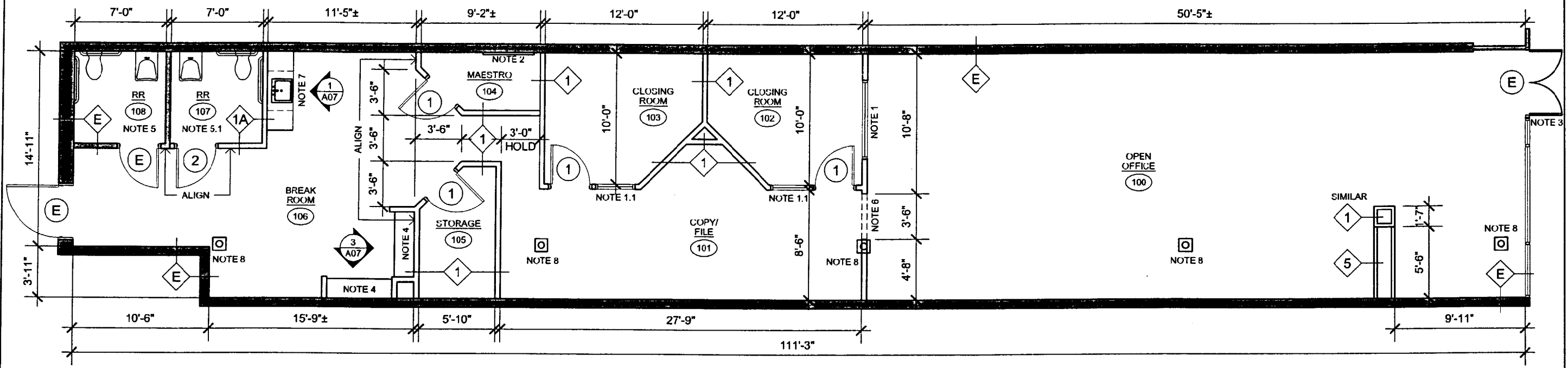
New Branch No. 19-0260
Pine Tree Plaza
1030 Brighton Plaza
Portland, ME 04102

citi financial


CORTLAND MORGAN, ARCHITECT, AIA
6910 WOODLAND DRIVE
DALLAS, TEXAS 75225. 214.366.3687

SHEET NUMBER

CS



CONSTRUCTION NOTES

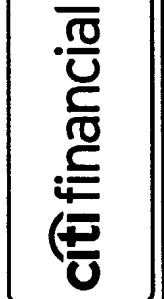
1. LANDLORD SHALL PROVIDE SPACE IN A "VANILLA SHELL" CONDITION W/ DEMISING WALLS READY FOR PAINT AND CONCRETE FLOOR READY FOR CARPET.
2. ALL DRYWALL JOINTS SHALL BE TAPED, SPACKLED & SANDED PRIOR TO THE APPLICATION OF THE INTERIOR FINISHES.
3. ALL DRYWALL OUTSIDE EDGES SHALL BE TRIMMED W/ SPACKLE IN TYPE METAL OR PLASTIC CORNER BEAD.
4. ALL DRYWALL TOP EDGES SHALL BE TRIMMED W/ SPACKLE IN TYPE "J" BEAD. HOLD BEAD AS CLOSE AS POSSIBLE TO CEILING GRID.
5. PATCH ALL EXISTING WALL SURFACES AS REQUIRED PRIOR TO THE APPLICATION OF NEW INTERIOR FINISHES.
6. LANDLORD TO PREP ALL FLOORS & FLOAT AREAS WHICH ARE NOT LEVEL AS REQUIRED PRIOR TO THE INSTALLATION OF NEW FLOOR MATERIALS.
7. EXIT DOORS TO BE INSTALLED BY LANDLORD & SHALL CONFORM TO ALL BUILDING CODE & FIRE INSPECTOR REQUIREMENTS.
8. PROVIDE FIRE EXTINGUISHERS IN THE TYPE & NUMBER REQUIRED BY LOCAL FIRE AUTHORITIES.

PLAN NOTES

1. GENERAL CONTRACTOR SHALL INSTALL SAFETY GLASS WINDOW - 72" WIDE. FRAME DETAIL SHALL MATCH DOOR FRAME DETAIL. WINDOW HEAD TO ALIGN WITH DOOR HEAD. WINDOW SILL @ 3'-0" A.F.F.
- 1.1 GENERAL CONTRACTOR SHALL INSTALL SAFETY GLASS WINDOW - 36" WIDE. FRAME DETAIL SHALL MATCH DOOR FRAME DETAIL. WINDOW HEAD TO ALIGN WITH DOOR HEAD. WINDOW SILL @ 3'-0" A.F.F.
2. GENERAL CONTRACTOR SHALL INSTALL TELEPHONE BOARD - 4'x4'x3/4" PAINT GRADE PLYWOOD, MOUNTED @ 3'-0" A.F.F. SECURED TO WALL STUDS & PAINTED TO MATCH ADJACENT WALLS.
3. GENERAL CONTRACTOR SHALL INSTALL METAL MAIL SLOT - MOUNTED @ 2'-0" A.F.F. IN OR NEAR FRONT ENTRY DOOR WITH FINISH TO MATCH STOREFRONT. IF DOOR GLASS MUST BE REPLACED, CHANGE MUST BE COMPLETED PRIOR TO THE INSTALLATION OF THE DOOR GRAPHICS ON THE GLASS, CHECK WITH CitiFinancial FOR GRAPHICS INSTALLATION DATE.
4. GENERAL CONTRACTOR SHALL INSTALL HEAVY DUTY ADJUSTABLE VINYL WIRE SHELVING BY CLOSETMAID OR EQUAL. SEE DETAIL 3/A07.
5. LANDLORD TO INSTALL RESTROOM IN COMPLIANCE W/ ALL ADA REGULATIONS, INCLUDING HOT WATER HEATER AND SOUNDPROOF WALL & CEILING.
- 5.1 GENERAL CONTRACTOR TO INSTALL SECOND RESTROOM IN COMPLIANCE W/ ALL ADA REGULATIONS, INCLUDING SOUNDPROOF WALL & CEILING.
6. DRYWALL HEADER @ 7'-0" A.F.F.
7. BASE CABINET, SINK & COUNTERTOP. SEE SHEET A-07 FOR ELEVATION DETAIL. GENERAL CONTRACTOR TO PROVIDE PRICE AS ALTERNATE.
8. BOX EXISTING STEEL COLUMNS WITH 12" x 12" DRY WALL COLUMN USING TYPE 1 WALL CONSTRUCTION

CONSTRUCTION PLAN

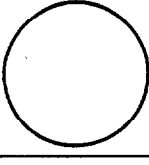
New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102



CORTLAND MORGAN, ARCHITECT, AIA
 6910 WOODLAND DRIVE
 DALLAS, TEXAS 75225. 214.368.3687

SHEET NUMBER
A-01

DATE: 01/04/2001
 JOB #: POMED260
 DRAWN BY: ANO
 SCALE: 1/8" = 1'-0"
 SIZE: 2250 mm R.

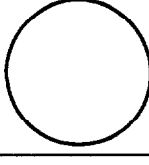


FINISH PLAN

New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102



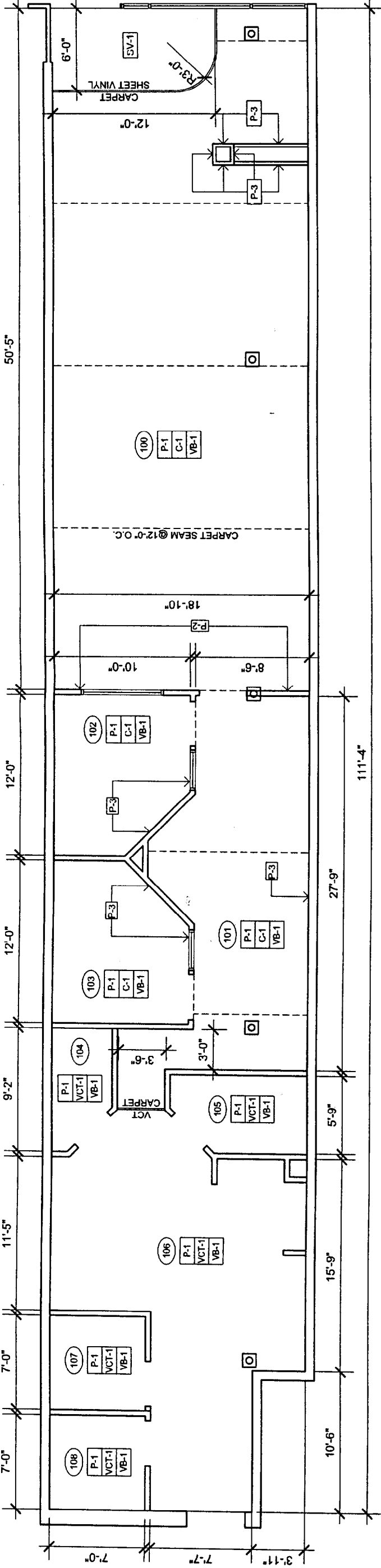
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SHEET NUMBER

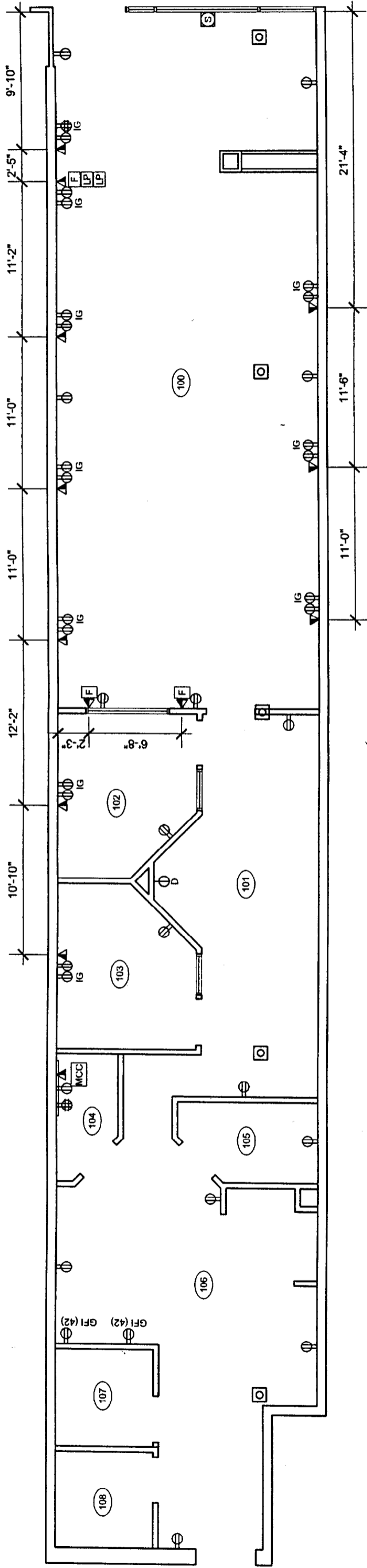
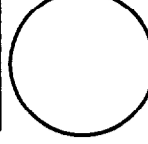
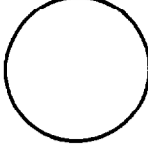
A-02

REVISIONS



FINISH NOTES

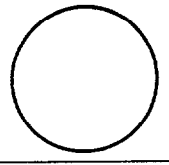
1. GENERAL CONTRACTOR SHALL PAINT WALLS USING TYPE "P-1" PAINT THROUGHOUT, UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL PAINT ACCENT WALLS WITH TYPE "P-2" & "P-3" PAINT AS INDICATED. SEE SHEET A-11 FOR FINISH SPECIFICATIONS.
3. GENERAL CONTRACTOR SHALL PAINT ALL TRIM, DOORS & FRAMES SHALL BE PAINTED W/ PAINT TYPE "P-4".
4. ALL FINISH PAINT TO BE INSTALLED IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
5. LANDLORD SHALL PREP ALL FLOORS AS REQUIRED PRIOR TO INSTALLATION OF FLOOR COVERING.
6. CARPET, SHEET VINYL AND WALL BASE SHALL BE PROVIDED AND INSTALLED BY NATIONAL CUSTOM.
7. VC TILE SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IN THE EVENT THE SPECIFIED TILE IS NOT AVAILABLE LOCALLY, IT MAY BE PURCHASED DIRECTLY FROM NATIONAL CUSTOM. CONTACT KELLY PELLETIER @ 800-445-9901 FOR PURCHASING INFORMATION.



ELECTRICAL NOTES

1. OUTLETS & JUNCTION BOXES SHOWN INDICATE THE FINAL DESIRED LOCATION SHOULD THEY ALREADY EXIST AS SHOWN, THEY SHALL BE REUSED.
2. ADJACENT IG DUPLEX OUTLETS & STANDARD DUPLEX OUTLETS MAY BE COMBINED IN A COMMON QUADRAPLEX.
3. RECEPTACLE HEIGHT SHALL BE 18" A.F.F. UNLESS REQUIRED OTHERWISE BY BUILDING CODES.
4. ALL ISOLATED GROUND OUTLETS SHALL BE HUBBLE OR ARROW HART 1G-5351, 1G-5362 OR EQUIVALENT, COLOR CODED ORANGE WITH BUILDING STANDARD COVER PLATE & HAVE A 3rd WIRE ISOLATED GROUND.
5. THE ISOLATED GROUND OUTLETS (IG) FOR THE MAESTRO COMMUNICATIONS CENTER (MCC) & FRONT RECEPTION COUNTER SHALL BE ON IT'S OWN INDEPENDENT CIRCUIT.
6. THE ISOLATED GROUND OUTLETS (IG) FOR THE (2) LASER PRINTERS (LP) SHALL BE ON IT'S OWN INDEPENDENT CIRCUIT.
 ALL OTHER IG OUTLETS TOTALING 6 OR LESS SHALL BE ON A SECOND CIRCUIT. OUTLETS IN EXCESS OF 6 SHALL BE ON A 3rd CIRCUIT.
8. ALL ELECTRICAL CIRCUITS SHALL BE CLEARLY LABELED ON THE ELECTRICAL PANEL.
9. ALL DEDICATED PHONE LINES SHALL HAVE LINE NUMBER WRITTEN ON AN OUTLET COVER PLATE. DATA LINES TO HAVE CIRCUIT NUMBER WRITTEN ON COVER PLATE.
10. OUTLETS SITUATED IN THE SAME STUD CAVITY MUST BE PROPERLY INSULATED TO ATTENUATE SOUND. BACK TO BACK OUTLETS ARE NOT ALLOWED.
11. GANG POWER, TELEPHONE AND DATA OUTLETS AS CLOSELY AS POSSIBLE TOGETHER AND IN NO CASE MORE WIDELY SPACED THAN 6" ON CENTER.
12. ALL ELECTRICAL CIRCUITS, CONDUIT AND MAESTRO LAN CABLE & TELEPHONE CABLE SHALL RUN CONCEALED WITHIN WALL STUD CAVITIES. SURFACE MOUNTED WIRE MOLD IS NOT ACCEPTABLE UNLESS AUTHORIZED BY CitiFinancial.
13. ELECTRICIAN SHALL HARDWIRE FRONT COUNTER TO WALL MOUNTED JUNCTION BOX. COUNTER IS PRE-WIRED WITH AN (8) WIRE, (4) CIRCUIT SYSTEM & BUILT IN OUTLETS.
14. OUTLETS IN FRONT COUNTER ARE PROVIDED & INSTALLED BY SYSTEM FURNITURE MANUFACTURER.
15. MAESTRO CAT5 LAN CABLE SHALL BE PROVIDED AND INSTALLED BY COMMUNICATIONS INSTALLATIONS.

DATE: 01/09/2001
 JOB #: POMED260
 DRAWN BY: ANO
 SCALE: 1/8" = 1'-0"
 SIZE: 2,250 sq. ft.

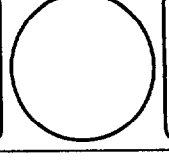


REFLECTED
 CEILING
 PLAN

New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102

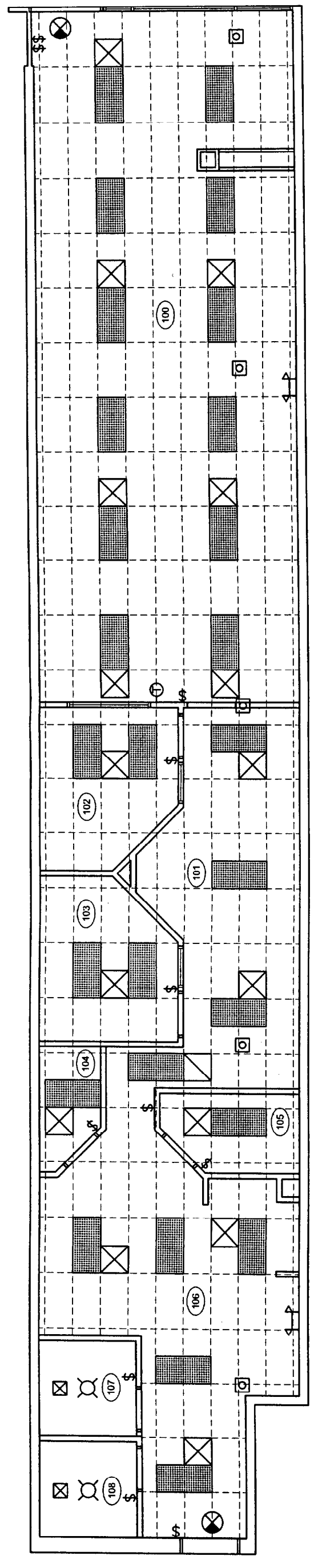


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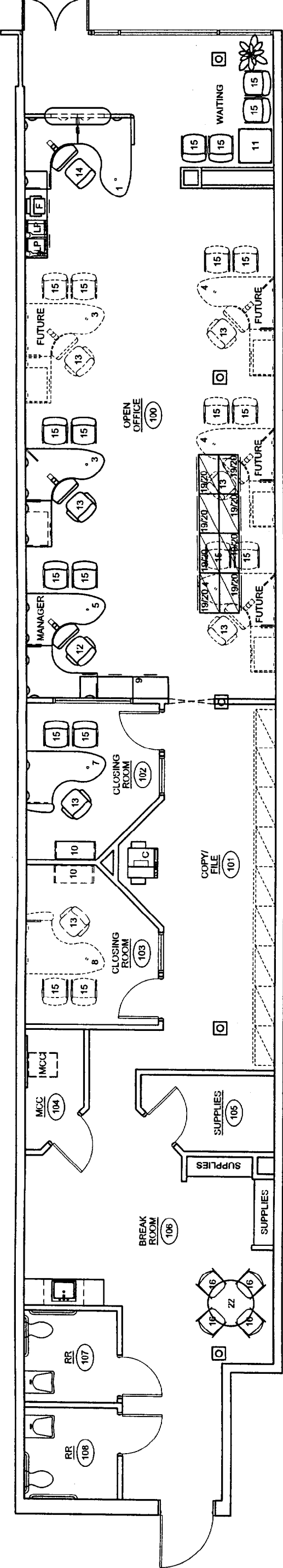
SHEET NUMBER
A-04

REVISIONS:



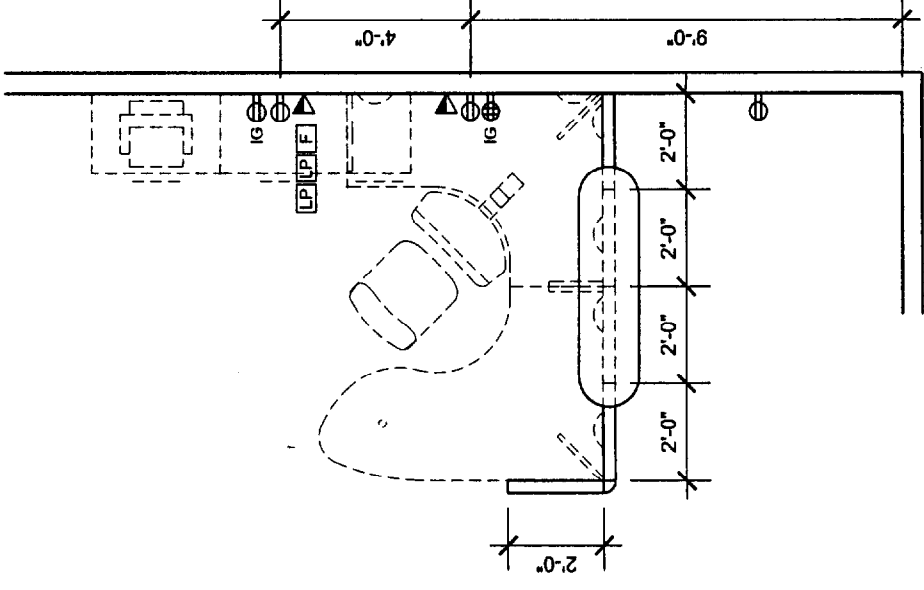
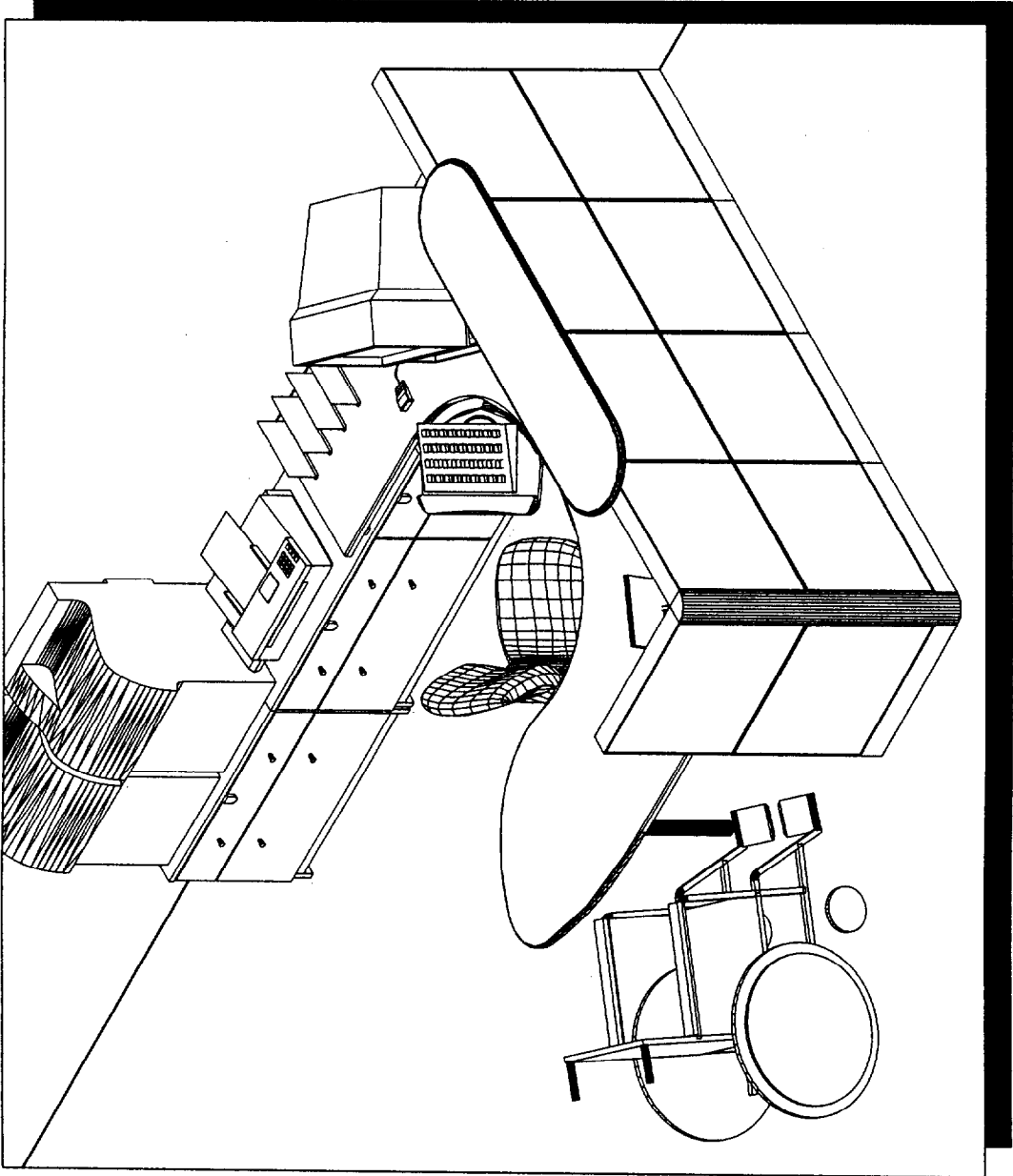
CEILING NOTES

1. LANDLORD TO DELIVER PREMISES W/ NEW 2 x 4 SUSPENDED CEILING W/ NEW BUILDING STANDARD ACOUSTICAL TILES.
2. LANDLORD TO DELIVER PREMISES W/ NEW 2 x 4 FLUORESCENT LIGHT FIXTURES. LANDLORD TO ARRANGE FIXTURES AS SHOWN ON PLAN.
3. LIGHT FIXTURES SHOULD BE IN SUFFICIENT NUMBER TO PROVIDE A MINIMUM OF 80 FOOT CANDLES AT DESK HEIGHT USING WARM FLUORESCENT TUBES.
4. LIGHTING AND VENTILATION SHALL COMPLY WITH APPLICABLE BUILDING CODE REQUIREMENTS.
5. LANDLORD TO DELIVER PREMISES W/ NEW HVAC SYSTEM PROVIDING 1 TON PER 400 sq. ft.
6. LANDLORD TO DELIVER PREMISES WITH HVAC SUPPLY & RETURN DIFFUSERS AS SHOWN AND AS REQUIRED TO PROVIDE ADEQUATE VENTILATION IN ALL SPACES PER ALL APPLICABLE CODES.
7. ALL CEILING PLENUM MATERIALS THAT ARE VISIBLE THROUGH AIR GRILLS TO BE PAINTED FLAT BLACK.
8. IF APPLICABLE, LANDLORD SHALL PROVIDE SPRINKLER HEADS AS REQUIRED TO PROVIDE ADEQUATE COVERAGE IN ACCORDANCE TO ALL APPLICABLE CODES & REGULATIONS.



FURNITURE NOTES

1. ALL FURNITURE SHALL BE PROVIDED & INSTALLED BY CitiFinancial.



**CASHIER COUNTER SYSTEMS FURNITURE PANELS
(38" HIGH POWERED PANELS.)**

REVISIONS:

A-06

SHEET NUMBER

CORTLAND MORGAN, ARCHITECT, AIA
6910 WOODLAND DRIVE
DALLAS, TEXAS 75225, 214.368.3687

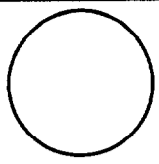
citi financial

New Branch No. 19-0260
Pine Tree Plaza
1030 Brighton Plaza
Portland, ME 04102

PANEL PLAN

DATE: 01/06/2001
JOB #: POM19_0260
DRAWN BY: ANO
SCALE: 1/8" = 1'-0"
SIZE: 2,250 x 11

DATE: 01/04/2001
 JOB #: POM0260
 DRAWN BY: ANO
 SCALE: 1/8" = 1'-0"
 SIZE: 2,250 sq. ft.

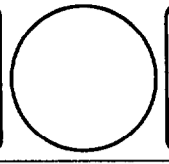


DETAILS

New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102

citi financial

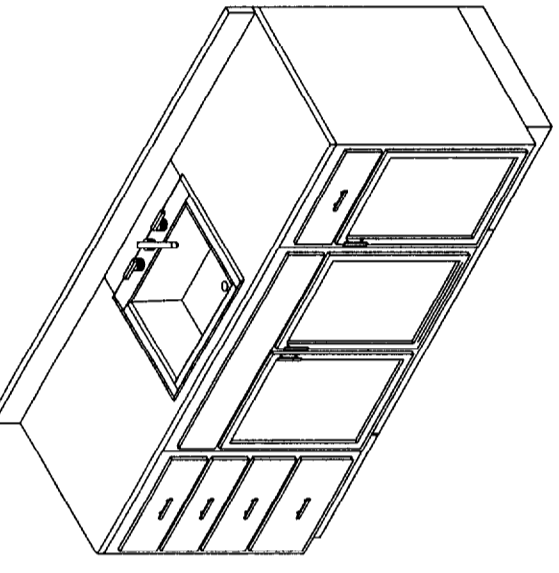
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 6910 WOODLAND DRIVE
 DALLAS, TEXAS 75225, 214.368.3687



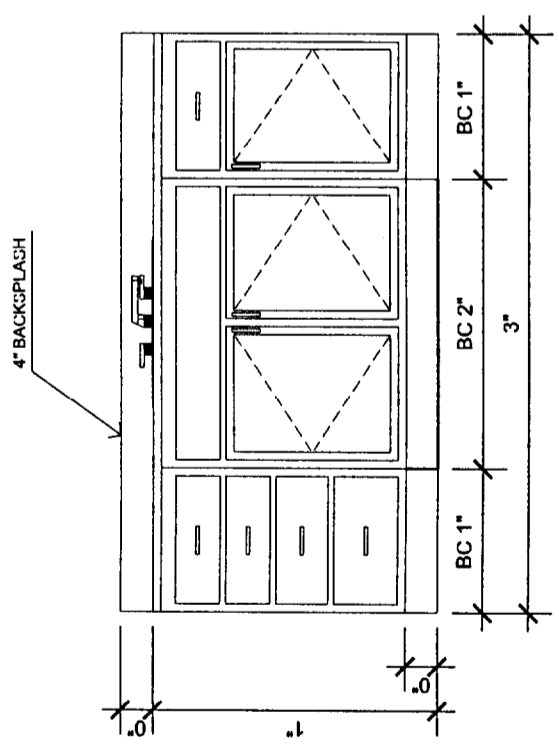
SHEET NUMBER

A-07

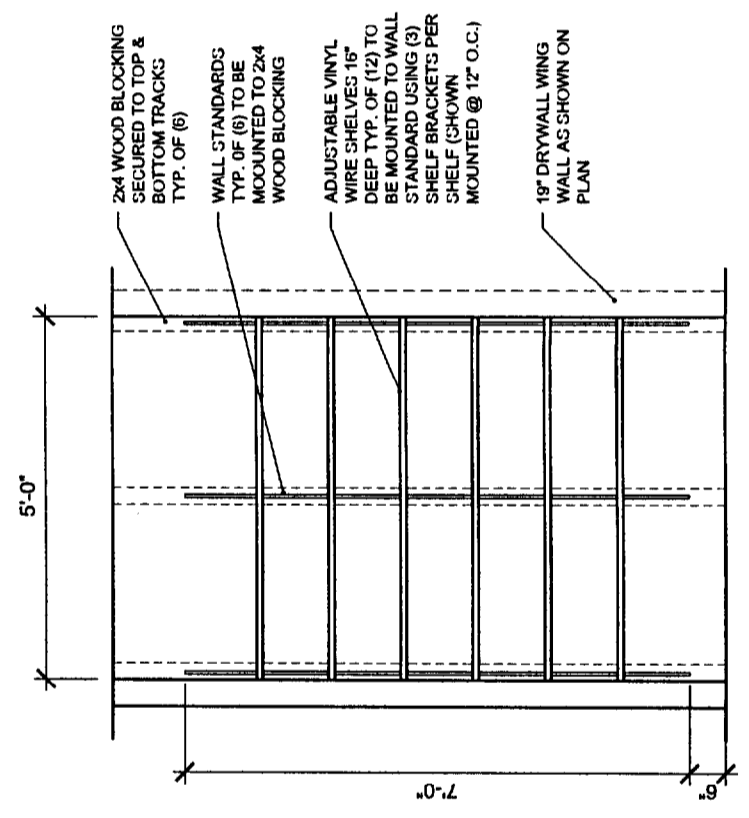
REVISIONS:



2 KITCHEN UNIT ISOMETRIC VIEW
 A07 SCALE: 1/2" = 1'-0"

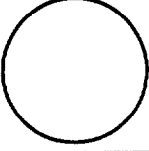


1 KITCHEN UNIT ELEVATION
 A07 SCALE: 1/2" = 1'-0"



3 SHELVING ELEVATION
 A07 SCALE: 3/8" = 1'-0"

DATE: 01/04/2001
 JOB #: POME19-0260
 DRAWN BY: ANO
 SCALE: 1/8" = 1'-0"
 SIZE: 2,250 x 8 1/2"



DETAILS-
 WALL TYPES

New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102

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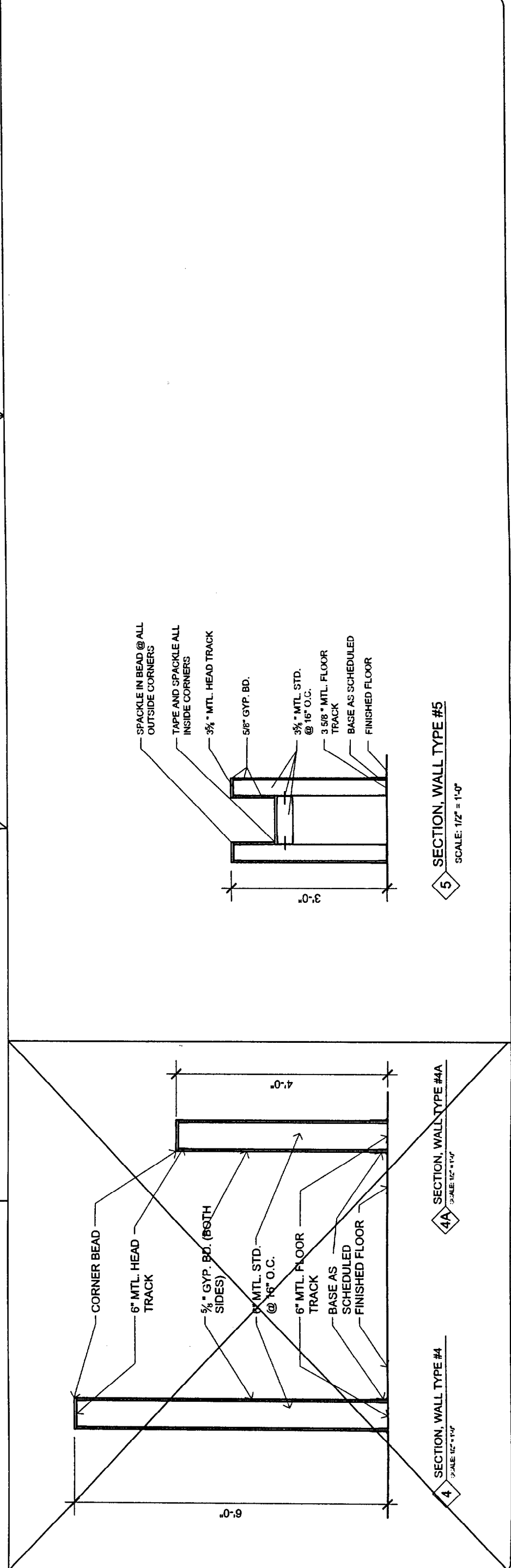
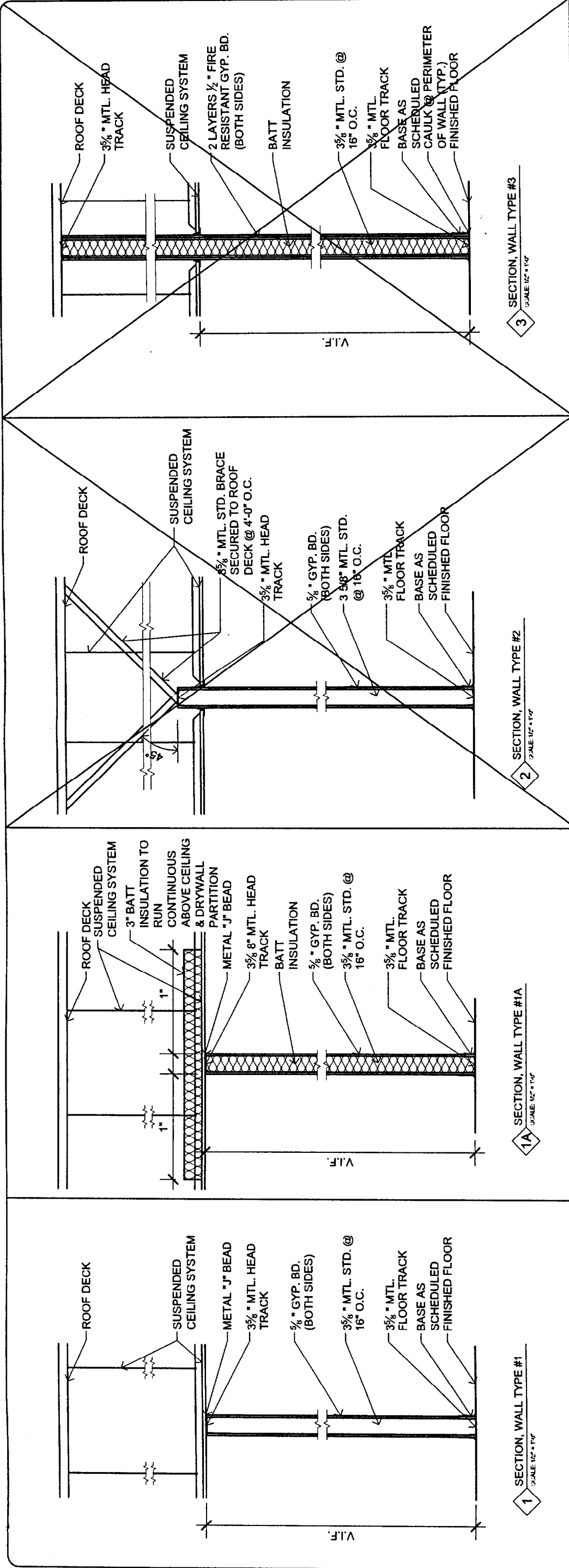
CORTLAND MORGAN, ARCHITECT, AIA
 6910 WOODLAND DRIVE
 DALLAS, TEXAS 75225, 214.368.3687

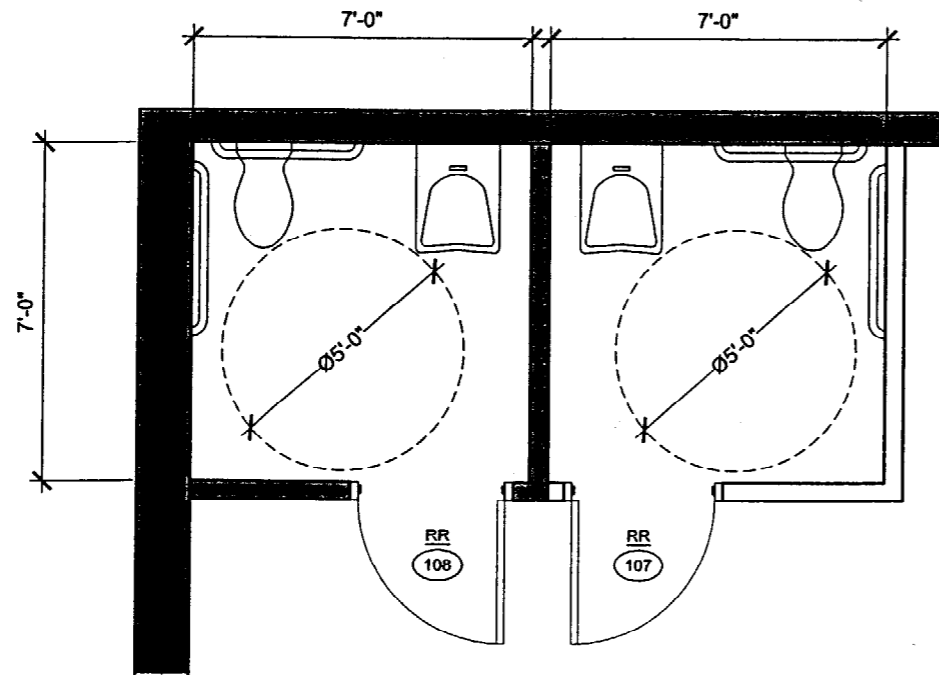


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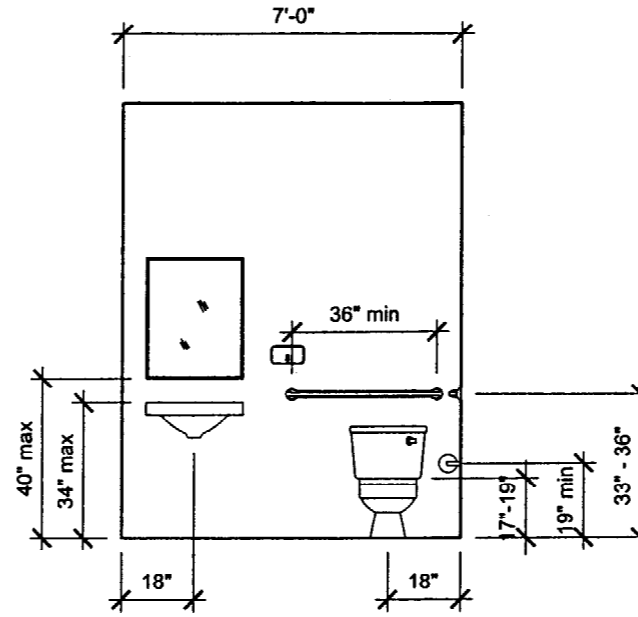
A-08

REVISIONS:

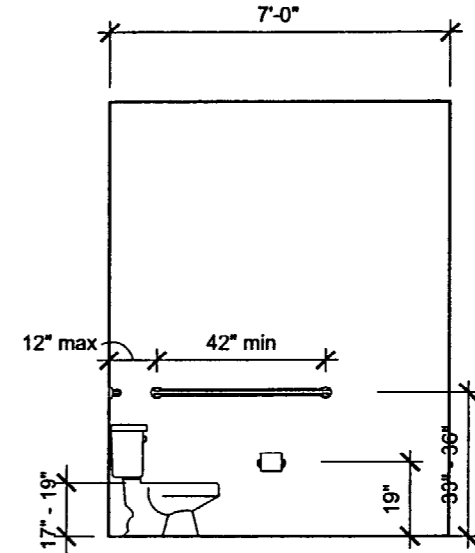




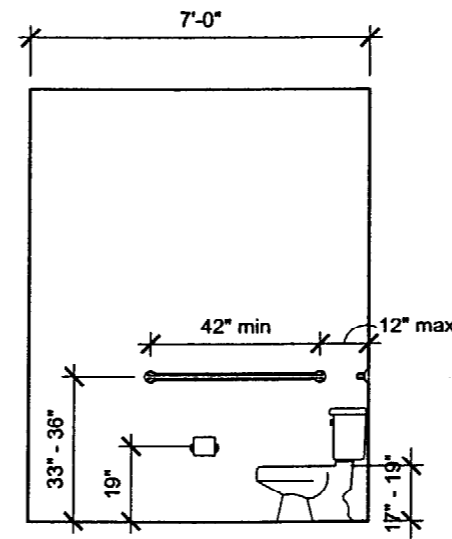
PLAN- RESTROOMS
1/4" = 1'-0"



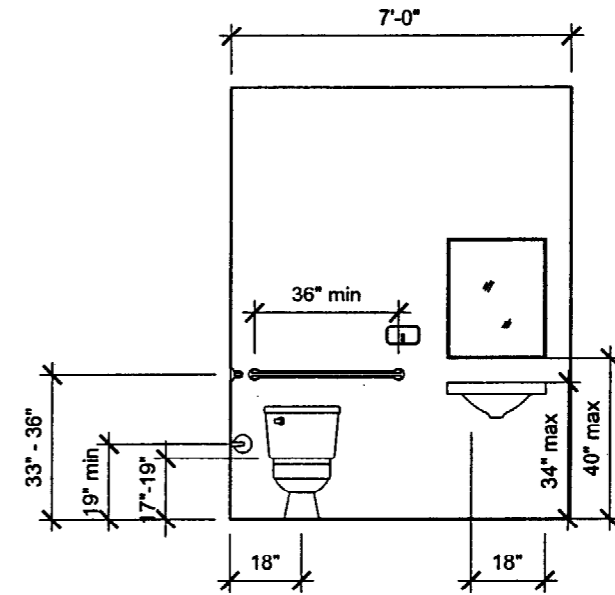
ELEVATION- RESTROOM #107
1/4" = 1'-0"



ELEVATION- RESTROOM
1/4" = 1'-0"



ELEVATION- RESTROOM
1/4" = 1'-0"



ELEVATION- RESTROOM #108
1/4" = 1'-0"

GENERAL NOTES

1. All provisions of **AIA Document A 201, General Conditions of the Contract for Construction** shall apply to this project.
2. All work is to be performed in accordance to all applicable local codes, regulations and ordinances.
3. Construction shall comply with accessibility guidelines for the handicapped as defined in **Title III of the Americans with Disabilities Act (ADA) of 1990**.
4. All work shall be performed in the highest level of workmanship.
5. General Contractor shall be responsible for all necessary **Building Permit** applications and for obtaining **Certificate of Occupancy** at completion of work.
6. General Contractor shall submit a complete construction schedule with his cost proposal. Schedule shall be specific in identifying construction sequence by trade.
7. General Contractor shall submit confirmation dates for orders of materials or equipment having long lead times.
8. All requests for substitutions of items specified shall be submitted in writing and approved by CitiFinancial.
9. In case of a conflict of information in the drawings, the General Contractor shall obtain clarifications from CitiFinancial or it's representative. If the General Contractor does not attempt to clarify the issue in question, it will be assumed the he bid the more expensive method of construction.
10. The General Contractor shall examine all **Contract Documents** and visit the construction site prior to commencing work. The General Contractor is responsible for confirming that the work is buildable according to the **Construction Documents**. No additional compensation will be allowed due to the General Contractor's failure to visit the site or to obtain clarification regarding the drawings prior to commencing the work.
11. The drawings are not to be scaled for dimensions or sizes. Verify all crucial dimensions during work. All deviations from indicated dimensions due to the existing conditions must be approved by CitiFinancial.
12. The General Contractor shall protect all existing construction and repair at his expense any damage which occurs during the course of the work.
13. Unless specified other wise in the Construction Drawings, the General Contractor shall be responsible for reimbursing all trades involved for their labor and material costs required to complete the work. CitiFinancial will not make any direct payments to Subcontractors, unless previously agreed to with General Contractor or specified in Construction Drawings.
14. General Contractor shall be responsible for maintaining discipline and good order among his employees and shall not employ on the Work any person not sufficiently skilled to complete the tasks for which he is assigned.
15. Contractor shall purchase **Liability Insurance** to protect him from claims under workmen's compensation, damages from bodily injury or death and property damage caused by himself or any of his subcontractors or their employees. **Liability Insurance** shall be written in an amount no less than state law requirements of the state where project is located. **Certificate of Insurance** shall be filed with CitiFinancial prior to work commencement.
16. General Contractor shall afford any Separate Contractors working directly for CitiFinancial reasonable opportunity for the introduction and storage of their materials and equipment and execution of their work and shall coordinate his work with theirs as per **Construction Documents** and construction schedule by CitiFinancial.
17. Time is of the essence. Any reason or condition which shall arise which may cause delays in the construction schedule must be reported to CitiFinancial as soon as possible.
18. The General Contractor shall at all times keep the construction site free from debris and prevent the accumulation of any waste materials. All rubbish shall be removed and hauled away promptly. At job completion, the General Contractor shall do a final cleanup including the removal of all rubbish and surplus materials, vacuuming & Windexing all glass surfaces.
19. The General Contractor shall adjust, repair, or replace at no extra cost to CitiFinancial any workmanship, material, or equipment defects for the period of one year.
20. General Contractor's Application for Payment shall include for reference the project name, address and branch number and shall be authorized by the Branch Manager prior to submittal to the CitiFinancial Real Estate Department for processing. A **Satisfactory Completion Form** signed by the Branch Manager may be submitted along with the **Application for Payment** in lieu of the signed Application.
21. **Applications for Payment** for any Construction Contract in excess of \$10,000.00 shall be in 50% increments and shall be submitted upon the completion of the corresponding amount of work.

DATE: 01/08/2001
JOB #: POME0260
DRAWN BY: ANO
SCALE: 1/8" = 1'-0"
SIZE: 2,250 sq. ft.

GENERAL NOTES

New Branch No. 19-0260
Pine Tree Plaza
1030 Brighton Plaza
Portland, ME 04102

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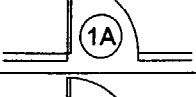
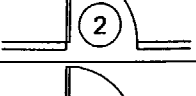

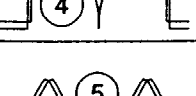
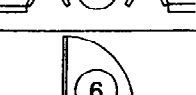
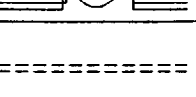

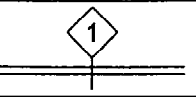
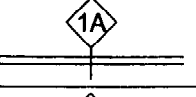
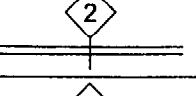
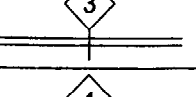
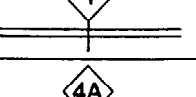

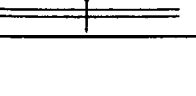
CORTLAND MORGAN ARCHITECT, AIA
6910 WOODLAND DRIVE
DALLAS, TEXAS 75225 214.368.3687

SHEET NUMBER

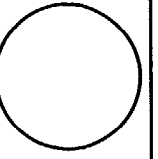
A-10

ARCHITECTURAL SYMBOLS/SCHEDULE

FINISH SYMBOLS/SCHEDULE

ITEM	DESCRIPTION	ITEM	DESCRIPTION
	Existing door to remain	C-1	Carpet- Lees Style: Aspire, Color: #117 Blue Willow
	Existing door to be removed.	SV-1	Sheet Vinyl- Mannington Style: Assurance Color: #16007 Putty
	3'-0" x 6'-8" Hollow core wood door with ADA Standard passage hardware.	VCT-1	Vinyl Composition Tile- Armstrong Style: Imperial Texture, Color: #51804 Earthstone Greige
	3'-0" x 6'-8" Hollow core wood door with divided lights with ADA Standard passage hardware.	VB-1	Vinyl Cove Base: Johnsonite Color: #29 Moon Rock
	3'-0" x 6'-8" Hollow core wood door with ADA Standard privacy hardware.	P-1	Wall Paint- Benjamin Moore Finish: Eggshell, Color: #983
	Building Standard, 1 HR rated exterior exit door. ADA and NFPA approved hardware.	P-2	Accent Wall Paint (1)- Benjamin Moore Finish: Eggshell; Color: #826
	Building Standard 5'-0" x 6'-8" hollow core wood double doors w/ dummy knobs and magnetic latch.	P-3	Accent Wall Paint (2)- Benjamin Moore Finish: Eggshell; Color: #832
	Building Standard 5'-0" x 6'-8" hollow core wood bi-fold doors w/ dummy knobs and track.	P-4	Trim Paint- Benjamin Moore Finish: Semi Gloss, Color: #858
	Building Standard, 3'-0" x 6'-8" Storefront glass & aluminum entrance door. ADA and NFPA approved hardware. Aluminum finish to match existing.		
	Drywall partition to be removed.		
	Existing partition.		
	New drywall partition: 3 5/8" metal studs @ 16" O.C., 5/8" Gyp. Board on both sides. From floor slab to suspended ceiling.		
	New soundproof drywall partition: same as type 1. Install batt insulation in stud cavity for sound attenuation.		
	New 1 HR demising drywall partition: 3 5/8" metal studs @ 16" O.C. w/ 2 layers of 1/2" type "X" drywall on both sides. Extend from floor slab to roof deck or slab and caulk all joints. Install batt insulation in stud cavity for sound attenuation.		
	New drywall partition for seismic construction: 3 5/8" metal studs with 5/8" Gyp. board on both sides. Provide lateral steel Bracing using 3 5/8" metal studs @ 4'-0" O.C.		
	New low height drywall partition: 6" metal studs @ 16" O.C., 1/2" Gyp. Board on both sides, 6'-0" high.		
	New low height drywall partition: 6" metal studs @ 16" O.C., 1/2" Gyp. Board on both sides, 4'-0" high.		
	New low height drywall partition: See sheet A-08 for details		

DATE: 01/08/2001
JOB #: POME0260
DRAWN BY: ANO
SCALE: 1/8" = 1'-0"
SIZE: 2,250 sq.ft.

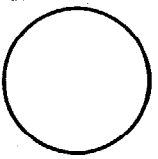


SYMBOLS/
SCHEDULES

New Branch No. 19-0260
Pine Tree Plaza
1030 Brighton Plaza
Portland, ME 04102






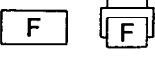
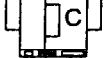













CORTLAND MORGAN, ARCHITECT, AIA
8910 WOODLAND DRIVE
DALLAS, TEXAS 75225-214-388-3887
















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A-11

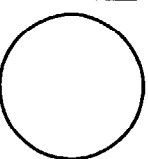
ELECTRICAL & EQUIP. SYMBOLS/SCHEDULE

ELECTRICAL & EQUIP. SYMBOLS/SCHEDULE

ITEM	DESCRIPTION
	MAESTRO Communications Center
	ACTION Terminal
	Line Printer
	Fax Machine
	Copy Machine
	Typewriter
	Existing outlet to remain.
	Single receptacle; 2P, 3W, 20A, 125V
	Single receptacle, Isolated ground (IGO)
	Single receptacle, Dedicated
	Duplex receptacle; 2P, 3W, 20A, 125V
	Duplex receptacle, Isolated Ground (IGO)
	Duplex receptacle, mounted @ 42" above finished floor.
	Duplex receptacle w/ Ground Fault Interrupt
	Double duplex outlet with common faceplate.
	Double duplex outlet, Isolated Ground (IGO)
	Special outlet; poles wires, voltage & ampereage per NEMA specifications.
	Electrical junction for hardwiring systems furniture counter. Provide (8) wire & (4) circuits to tie into furniture panel wires.

ITEM	DESCRIPTION
	Terminal box for 120V, 15A dedicated line for outdoor sign, located in ceiling plenum within 3-4 ft. of sign. Time device by electrical panel.
	24 Hour Timer Device for Storefront Sign.
	Telephone Outlet Junction Box for voice line. Wall mounted at 48" above finish floor.
	Information Outlet - junction box w/ pull string & ring. May be used for voice, data, fax, modem, or any combination thereof. Cover plate & jacks provided by cable vendor.
	Exit light.
	Building standard 2 x 2, 2 tube fluorescent fixture.
	Building standard 2 x 4, 4 tube fluorescent fixture.
	Restroom style light fixtures w/ integral exhaust fan.
	Emergency light.
	Light Switch
	Air supply diffuser
	Air return diffuser
	Thermostat

DATE: 01/08/2001
 JOB #: POME0260
 DRAWN BY: ANO
 SCALE: 1/8" = 1'-0"
 SIZE: 2,250 sq. ft.

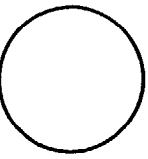


SYMBOLS/
 SCHEDULES

New Branch No. 19-0260
 Pine Tree Plaza
 1030 Brighton Plaza
 Portland, ME 04102

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 6910 WOODLAND DRIVE
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SHEET NUMBER
A-12

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