

City of Portland, Maine - Building or Use Permit Application

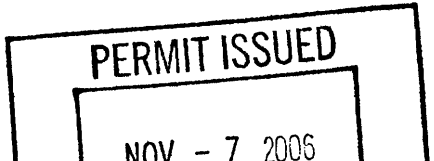
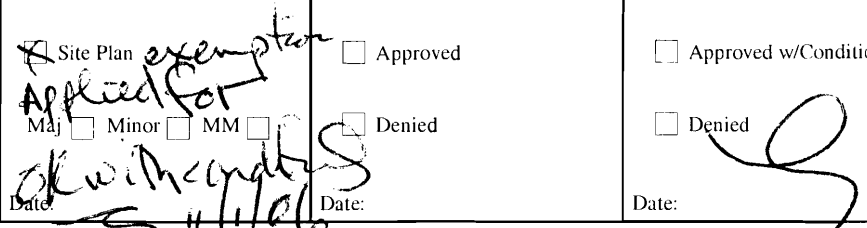
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1566	Issue Date:	CBL: 263 B043001
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Location of Construction: 1000 BRIGHTON AVE	Owner Name: QV REALTY LLC	Owner Address: 295 HOGAN RD	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone 2077738499
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2

Past Use: Commercial - Auto Dealership	Proposed Use: Commercial - Auto Dealership- Store Front & entrance renovations	Permit Fee: \$2,095.00	Cost of Work: \$200,000.00	CEO District: 3
Proposed Project Description: Store Front & Entrance renovations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>M</i> Type: <i>2C</i> <i>PBC-2003</i>	
		Signature: <i>Greg Cass</i> Signature: <i>JM B 11/7/06</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 10/25/2006	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption Applied for Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/11/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1566	Date Applied For: 10/25/2006	CBL: 263 B043001
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Location of Construction: 1000 BRIGHTON AVE	Owner Name: QV REALTY LLC	Owner Address: 295 HOGAN RD	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone (207) 773-8499
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Auto Dealership- Store Front & entrance renovations	Proposed Project Description: Store Front & Entrance renovations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/01/2006

Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage. The approval for the exterior alterations does not automatically approve the new sign shown on the new facade.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/07/2006

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 11/02/2006

Note: **Ok to Issue:**

- 1) Means of egress shall not pass through a High hazard area
- 2) All construction shall comply with NFPA 101
- 3) Two separate and remote means of egress shall be maintained at all times the business is open.

Comments:

11/1/2006-mes: planning has a site plan exemption and is evaluating for compliance - Don't issue permit until exemption has been issued by planning

11/7/2006-gg: received granted site exemption. /gg

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/~~Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Jeanne Barka Signature of Applicant/Designee 11-7-06 Date
Jeanne Barka Signature of Inspections Official 11/7/06 Date
CBL: 263-B-43 Building Permit #: 06-1566

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED

Permit Number: 061566
NOV - 7 2006

CITY OF PORTLAND

This is to certify that QV REALTY LLC /Keeley Construction

has permission to Store Front & Entrance renovations

AT 1000 BRIGHTON AVE

263 B043001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is complete this building or part thereof is closed or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cuss

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanie Bonke 11/07/06
Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Completeness
Check with
PLANNING

Applicant:

Quik Chevrolet

Date:

10/31/06

Address:

1000 Brighton Ave

C-B-L:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location -

B-2

Interior or corner lot -

Proposed Use/Work -

New Canopy -

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

NO change

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

Sewage requires A
Separate Permit
~~Quest~~



General Building Permit Application

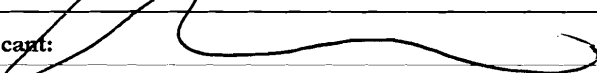
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 1000 Brighton Ave.		
Total Square Footage of Proposed Structure 41,601	Square Footage of Lot 220,000	
Tax Assessor's Chart, Block & Lot Chart# 263 Block# B Lot# 1-49	Owner: Forest City 1000 Brighton Ave. Portland, ME 04104	Telephone: (207) 774-5971
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Bill Hopkins Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022 <i>Sue</i>	Cost Of Work: \$ <u>200,000</u> Fee: \$ <u>2,095.00</u> C of O Fee: \$ <u>75.00</u>
Current Specific use: <u>Car Dealership (mercantile)</u> Proposed Specific use: <u>Car Dealership (mercantile)</u>		
Project description: Renovate existing store front glazing system. Add entry element at main show room entrance.		
Specifications N/A Geotech Report N/A		
Contractor's name, address & telephone: Keeley Construction 19 Westfield St Portland, ME (207) 773-8499		
Who should we contact when the permit is ready: <u>Jim Keeley</u>		
Mailing address: Jim Keeley Keeley Construction 19 Westfield St Portland, ME (207) 773-8499		

**Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>10-25-00</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

A R C H E T Y P E

F A X C O V E R S H E E T

TO: Lannie

COMPANY: City of Portland

FROM: Sue McEwen

DATE: 10-25-06 FAX NUMBER: Forest City 874-8716

PROJECT: Forest City

NUMBER OF PAGES (Including Cover Page): 3

MESSAGE: 2 of 3 pages - Design

Professional forms to
go with Forest city
Building Permit.

PAGE 3 to follow
ASAP

IF YOU HAVE ANY PROBLEMS RECEIVING THIS FAX,
PLEASE CALL THE PERSON SENDING IT AS SOON AS POSSIBLE.
THANK YOU.

48 Union Wharf, Portland, Maine 04101 (207) 772-6022 • Fax (207) 772-4056



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Archetype, P.A.

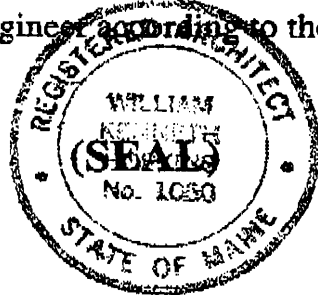
RE: Certificate of Design

DATE: 10/24/06

These plans and / or specifications covering construction work on:

1000 Brighton Ave. Forest City

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature:
William Hopkins

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf
Portland, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

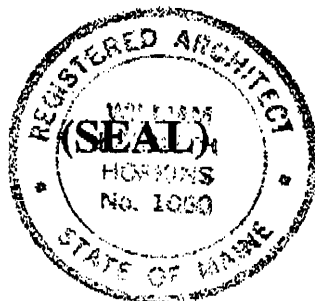
ACCESSIBILITY CERTIFICATE


Designer: William Hopkins, Archetype, P.A.

Address of Project: 1000 Brighton Ave.

Nature of Project: Renovate existing store front glazing system.
Add entry element at main showroom entrance.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: 

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.

389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936

FROM DESIGNER: Archetype, P.A.
 DATE: 10/24/06
 Job Name: Forest City
 Address of Construction: 1000 Brighton Ave.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) Merchantile

Type of Construction 2C

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Existing Building

Is the Structure mixed use? No if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? Unknown Geotechnical/Soils report required?(See Section 1802.2) N/A

STRUCTURAL DESIGN CALCULATIONS		<u>N/A</u>	Live load reduction (1603.1.1, 1607.9, 1607.10)
Submitted for all structural members (106.1, 106.1.1)		<u>N/A</u>	Roof live loads (1603.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)		Roof snow loads (1603.1.3, 1608)	
Uniformly distributed floor live loads (1603.1.1, 1607)		<u>60 psf</u>	Ground snow load, P_g (1608.2)
Floor Area Use	Loads Shown	<u>46 psf</u>	If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
<u>N/A</u>		<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
		<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
		<u>1.0</u>	Roof thermal factor, C_t (Table 1608.3.2)
		<u>N/A</u>	Sloped roof snowload, P_s (1608.4)
		<u>N/A</u>	Seismic design category (1616.3)
		<u>N/A</u>	Basic seismic-force-resisting system (Table 1617.6.2)
Wind loads (1609.1.4, 1609)		<u>N/A</u>	Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
<u>1609.1.1</u>	Design option utilized (1609.1.1, 1609.6)	<u>N/A</u>	Analysis procedure (1616.6, 1617.5)
<u>100 mph</u>	Basic wind speed (1609.3)	<u>N/A</u>	Design base shear (1617.4, 1617.5.1)
<u>II, 1.0</u>	Building category and wind importance factor, I_w (Table 1604.5, 1609.5)	<u>N/A</u>	Flood loads (1603.1.6, 1612)
<u>B</u>	Wind exposure category (1609.4)	<u>N/A</u>	<u>N/A</u> Flood hazard area (1612.3)
<u>+/- 0.18</u>	Internal pressure coefficient (ASCE 7)	<u>N/A</u>	<u>N/A</u> Elevation of structure
<u>+7.3 psf</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)	Other loads	
<u>-19.5 psf</u>	Main force wind pressures (1609.1.1, 1609.6.2.1)	<u>N/A</u>	Concentrated loads (1607.4)
<u>15.7 psf</u>		<u>N/A</u>	Partition loads (1607.5)
		<u>N/A</u>	Impact loads (1607.8)
Earthquake design data (1603.1.5, 1614 - 1623)		<u>N/A</u>	Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)
<u>N/A</u>	Design option utilized (1614.1)		
<u>N/A</u>	Seismic use group ("Category") (Table 1604.5, 1616.2)		
<u>N/A</u>	Spectral response coefficients, S_{DS} & S_{D1} (1615.1)		
<u>N/A</u>	Site class (1615.1.5)		

Statement of Special Inspections

Project: *Showroom Façade Renovation*

Location: *1000 Brighton Avenue, Portland, ME*

Owner: *Quirk Chevrolet of Portland*

Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As required*

or per attached schedule.

Prepared by:

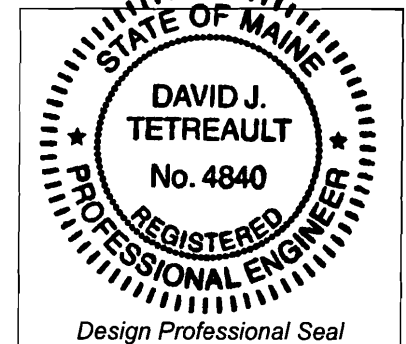
David J. Tetreault, P.E.

(type or print name)

David J. Tetreault
Signature

Nov. 6, 2006

Date



Owner's Authorization:

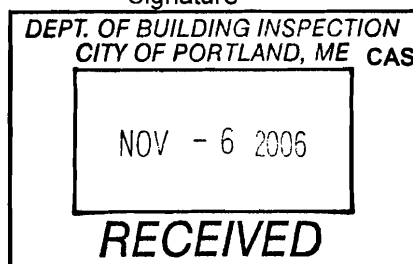
[Signature]
Signature

Building Official's Acceptance:

Jeanne Bouke
Signature

Nov 6, 06
Date

11/7/06
Date



CASE Form 101 • Statement of Special Inspections • ©CASE 2004

Page of

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations
<input checked="" type="checkbox"/> Cast-in-Place Concrete
<input type="checkbox"/> Precast Concrete
<input type="checkbox"/> Masonry
<input checked="" type="checkbox"/> Structural Steel
<input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Spray Fire Resistant Material
<input type="checkbox"/> Wood Construction
<input type="checkbox"/> Exterior Insulation and Finish System
<input type="checkbox"/> Mechanical & Electrical Systems
<input type="checkbox"/> Architectural Systems
<input type="checkbox"/> Special Cases |
|--|--|

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator	<i>David J. Tetreault, P.E. Structural Design Consulting, Inc.</i>	<i>22 Oakmont Drive Old Orchard Beach, ME 04064 207-934-8038</i>
2. Inspector	<i>S.W Cole Engineering, Inc</i>	<i>286 Portland Road Gray, ME 04039 207 657-2866</i>
3. Testing Agency		
4.		
5.		
6.		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category	<i>N/A</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

The building's seismic force resisting system is not affected by the project.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)	<i>100 mph</i>
Wind Exposure Category	<i>C</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

The building is in wind exposure Category C with a 3-sec gust basic wind speed less than 110 mph therefore a quality assurance plan for wind is not required (IBC/2003 Section 1706.1.1.2)

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

Soils and Foundations

Item	Req'd Y/N	Agency #	Scope
1. Shallow Foundations	Y	1	<i>Inspect soils below footings for adequate bearing capacity.</i> <i>Inspect removal of unsuitable material and preparation of subgrade.</i>
2. Controlled Structural Fill	N		
3. Deep Foundations	N		
4. Load Testing	N		
4. Other:	N		

Cast-in-Place Concrete

Item	Req'd Y/N	Agency #	Scope
1. Mix Design	Y	1	<i>Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.</i>
2. Material Certification			
3. Reinforcement Installation	Y	1	<i>Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters</i>
4. Post-Tensioning Operations	N		
5. Welding of Reinforcing	N		
6. Anchor Rods	Y	1	<i>Inspect size, positioning and embedment of anchor rods. Inspect concrete placement and consolidation around anchors.</i>
7. Concrete Placement	Y	1	<i>Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.</i>
8. Sampling and Testing of Concrete	Y	2	<i>Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).</i>
9. Curing and Protection	Y	1	<i>Inspect curing, cold weather protection and hot weather protection procedures.</i>
10. Other:			

Precast Concrete

Item	Req'd Y/N	Agency #	Scope
1. Plant Certification / Quality Control Procedures <input type="checkbox"/> Fabricator Exempt	N		
2. Mix Design	N		
3. Material Certification	N		
4. Reinforcement Installation	N		
5. Prestress Operations	N		
6. Connections / Embedded Items	N		
7. Formwork Geometry	N		
8. Concrete Placement	N		
9. Sampling and Testing of Concrete	N		
10. Curing and Protection	N		
11. Erected Precast Elements	N		
12. Other:	N		

MasonryRequired Inspection Level: 1 2

Item	Req'd Y/N	Agency # (Scope
1. Material Certification	<i>N</i>		
2. Mixing of Mortar and Grout	<i>N</i>		
3. Installation of Masonry	<i>N</i>		
4. Mortar Joints	<i>N</i>		
5. Reinforcement Installation	<i>N</i>		
6. Prestressed Masonry	<i>N</i>		
7. Grouting Operations	<i>N</i>		
7. Weather Protection	<i>N</i>		
9. Evaluation of Masonry Strength	<i>N</i>		
10. Anchors and Ties	<i>N</i>		
11. Other:	<i>N</i>		

Structural Steel

Item	Req'd Y/N	Agency # (Scope
1. Fabricator Certification/ Quality Control Procedures	Y	1	<i>Review fabrication and quality control procedures.</i>
2. Material Certification	Y	1	<i>Review certified mill test reports and identification markings on HSS shapes, high-strength bolts, nuts and welding electrodes</i>
3. Open Web Steel Joists	N		
4. Bolting	Y	1	<i>Inspect installation and tightening of high-strength bolts. Verify that splines have separated from tension control bolts. Verify proper tightening sequence. Continuous inspection of bolts in slip-critical connections.</i>
5. Welding	Y	1	<i>Visually inspect all welds. Verify size and length of fillet welds.</i>
6. Shear Connectors	N		
7. Structural Details	Y	1	<i>Inspect steel frame for compliance with structural drawings, including bracing, member configuration and connection details.</i>
8. Metal Deck	N		
9. Other:	N		

Cold-Formed Steel Framing

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Member Sizes	<i>N</i>		
2. Material Thickness	<i>N</i>		
3. Material Properties	<i>N</i>		
4. Mechanical Connections	<i>N</i>		
5. Welding	<i>N</i>		
6. Framing Details	<i>N</i>		
7. Trusses	<i>N</i>		
8. Permanent Truss Bracing	<i>N</i>		
9. Other:	<i>N</i>		

Wood Construction

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	N		
2. Material Grading	N		
3. Connections	N		
4. Framing and Details	N		
5. Diaphragms and Shearwalls	N		
6. Prefabricated Wood Trusses	N		
7. Permanent Truss Bracing	N		
8. Other	N		



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Bill Hopkins
Applicant

10/20/06
Application Date

48 Union Wharf Portland 04101
Applicant's Mailing Address

Quirk Chevrolet
Project Name/Description

207 792 6022
Consultant/Agent/Phone Number

1000 BRIGHTON AVE
Address of Proposed Site

263 B 043

CBL: 263 B 043

Description of Proposed Development:

Addition of exterior entry element at car dealership
showroom facing Brighton Avenue - Renovating
existing storefront glazing

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

NO

OK

YES

OK

YES

OK

YES

OK

YES

OK

YES

OK w/ conditions

NO

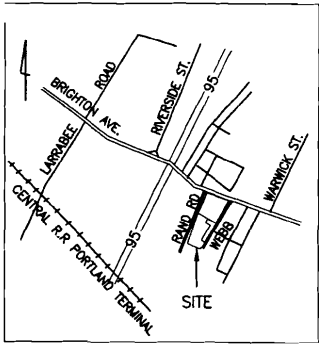
To meet requirements

YES

OK












Planning Division Use Only

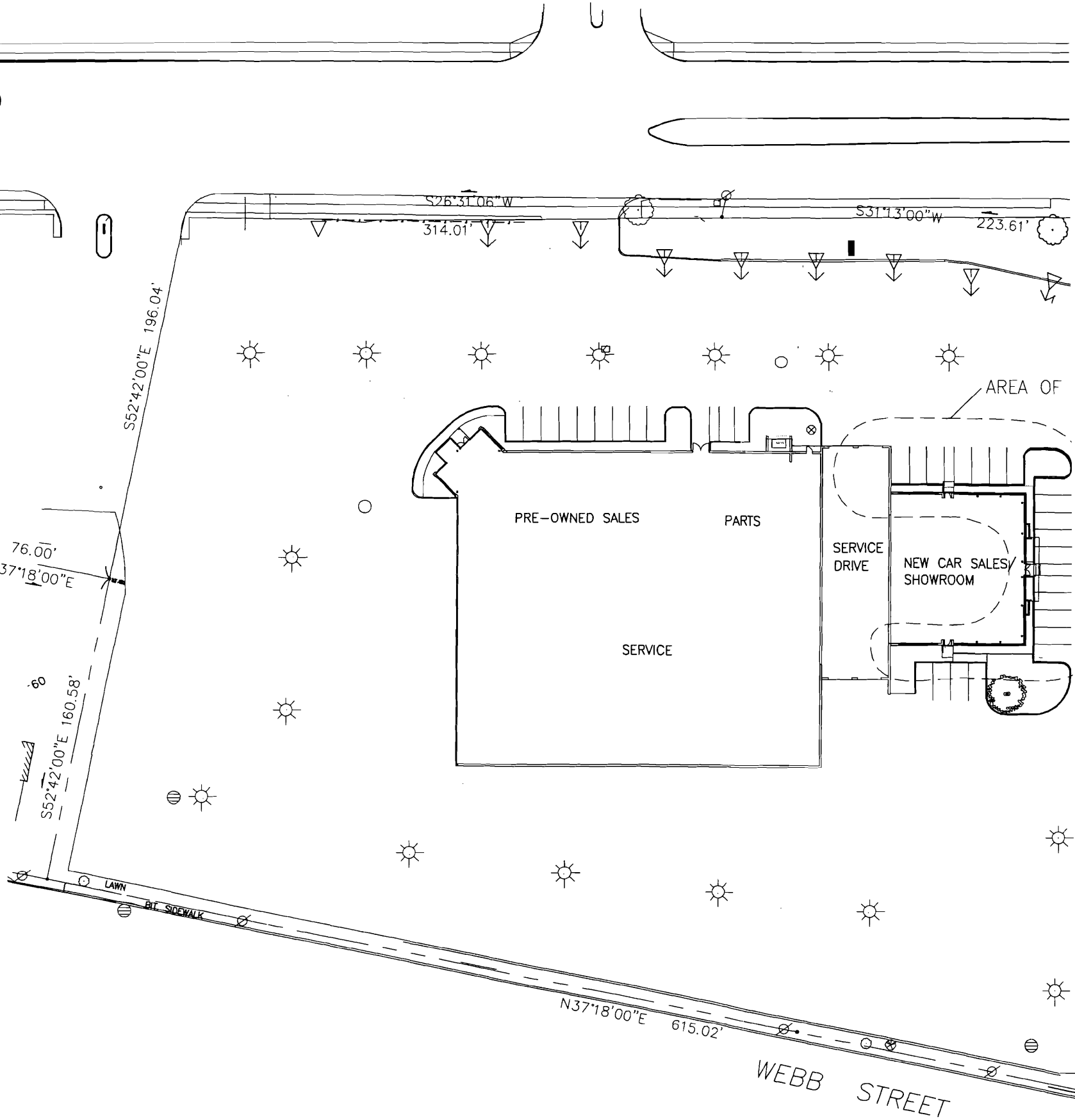
4
SD4



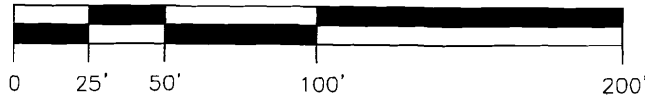
LOCATION MAP n.t.s.

LEGEND:

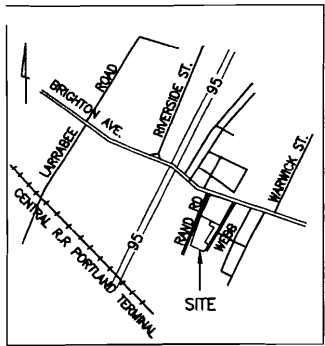
-  UTILITY POLE
-  LIGHT POLE
-  MANHOLE
-  CATCH BASIN
-  CURB
-  EXISTING 1' CONTOUR
-  NEW 1' CONTOUR
-  PROPERTY LINE
-  PREVIOUS SIDEWALK
-  NIGHT SECURITY LIGHTING
-  ELEC OUTLET ● POLE BASE



GRAPHIC SCALE



4
SD4



LEGEND:

- UTILITY POLE
- LIGHT POLE
- MANHOLE
- CATCH BASIN
- CURB
- EXISTING 1' CONTOUR
- NEW 1' CONTOUR
- PROPERTY LINE
- PREVIOUS SIDEWALK
- NIGHT SECURITY LIGHTING
- ELEC OUTLET ● POLE BASE

76.00'
N37°18'00"E

160.58'
S52°42'00"E

196.04'
S52°42'00"E

314.01'
S26°31'06"W

223.61'
S31°13'00"W

PRE-OWNED SALES

PARTS

SERVICE

SERVICE DRIVE

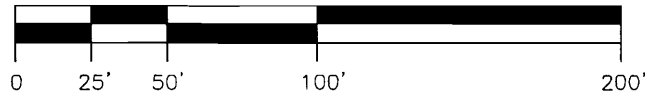
NEW CAR SALES/SHOWROOM

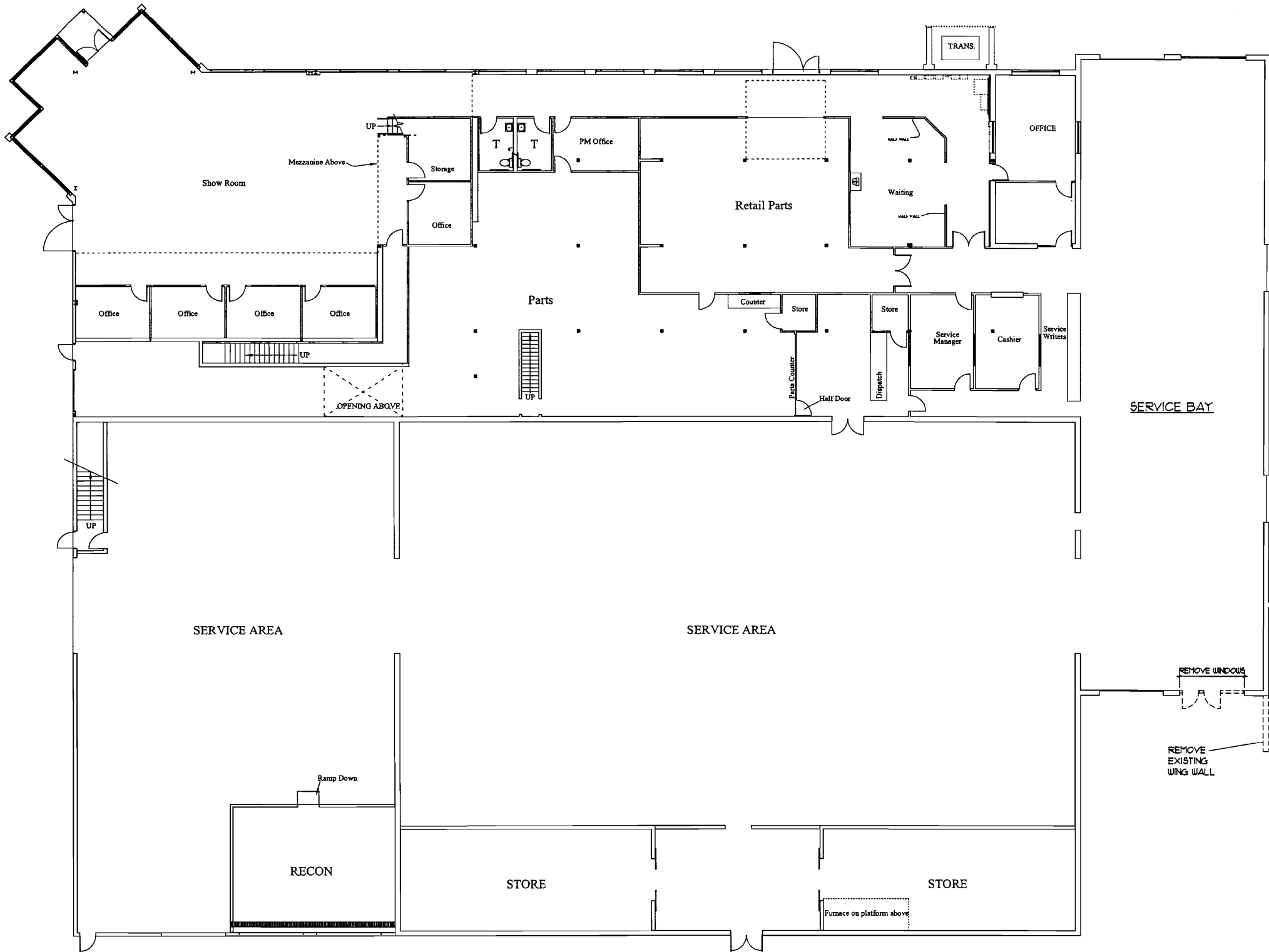
AREA OF

615.02'
N37°18'00"E

WEBB STREET

GRAPHIC SCALE

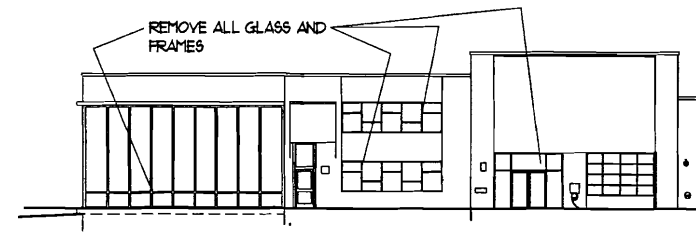




TOP OF PARAPET
ELEV. 92'-0"

SECOND FLOOR
ELEV. 78'-5 3/8"

FIRST FLOOR
ELEV. 68'-0"

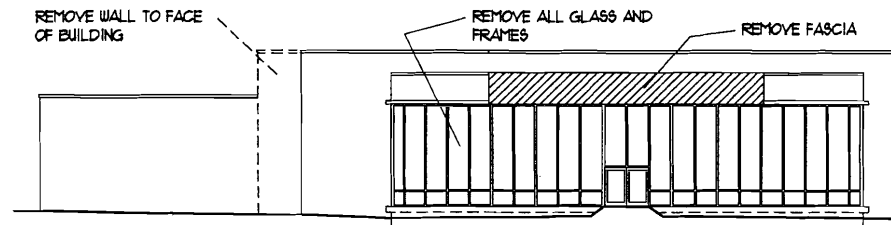


① EXISTING WEST (RAND ROAD) ELEVATION
SCALE: 1/16" = 1'-0"

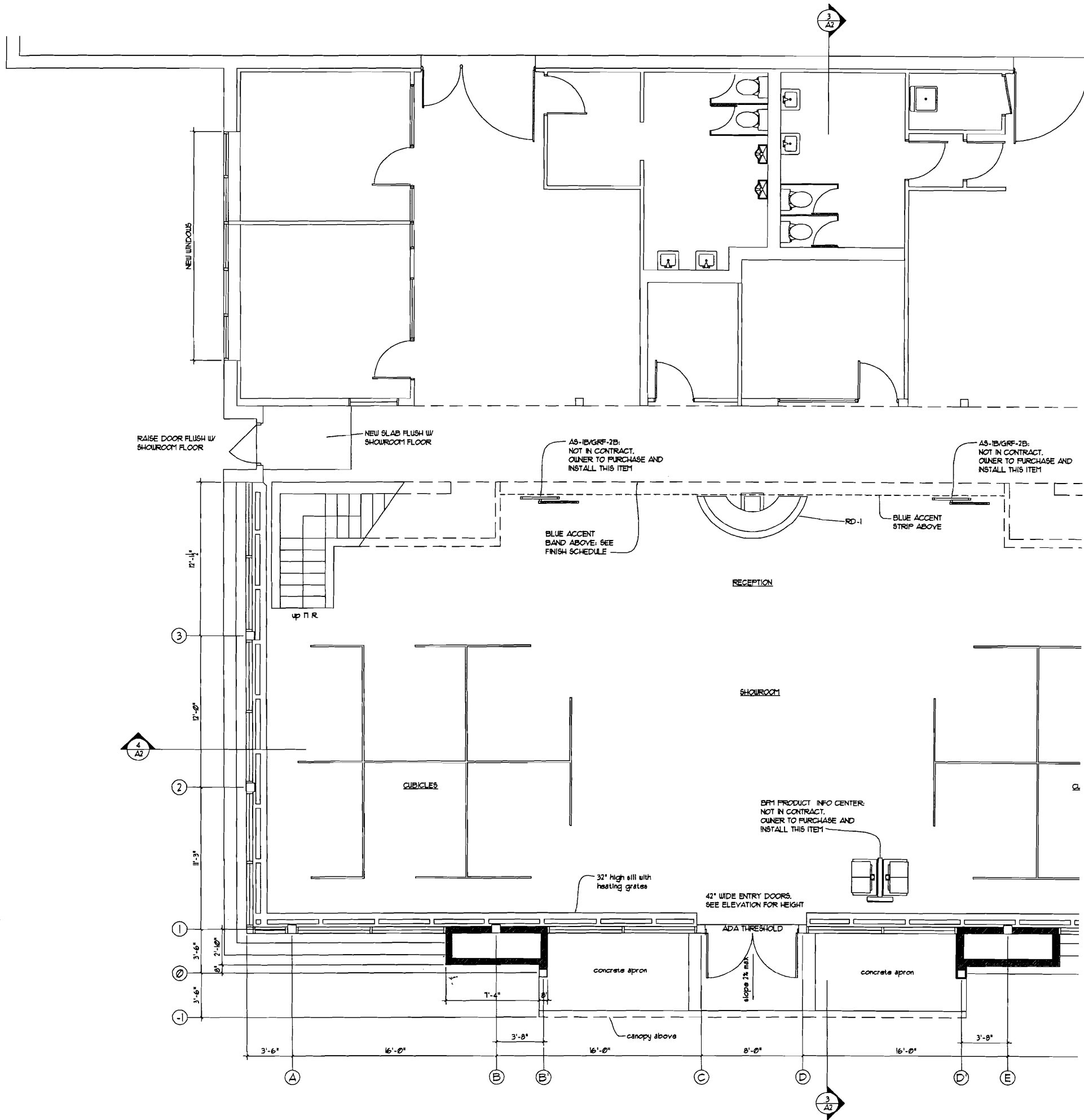


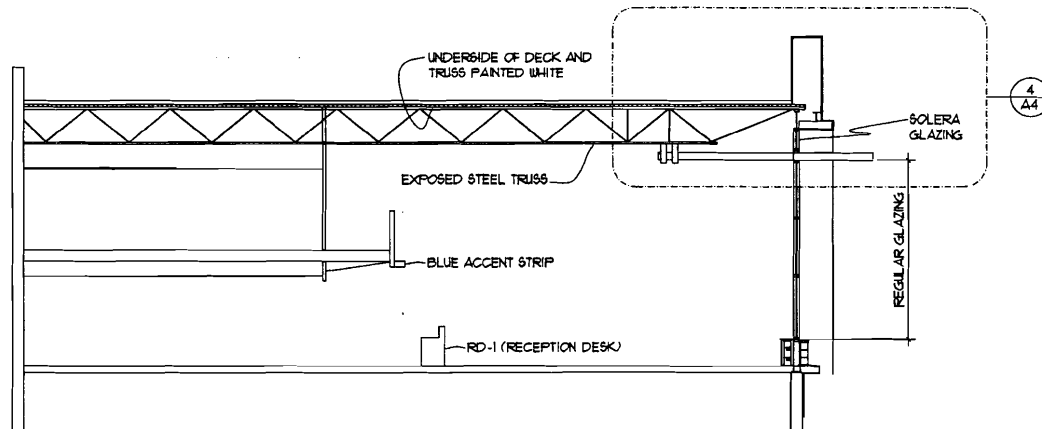
② PART EXISTING EAST (WEBB STREET) ELEVATION
SCALE: 1/16" = 1'-0"

REMOVE AND RAISE
DOOR & INSIDE LANDING

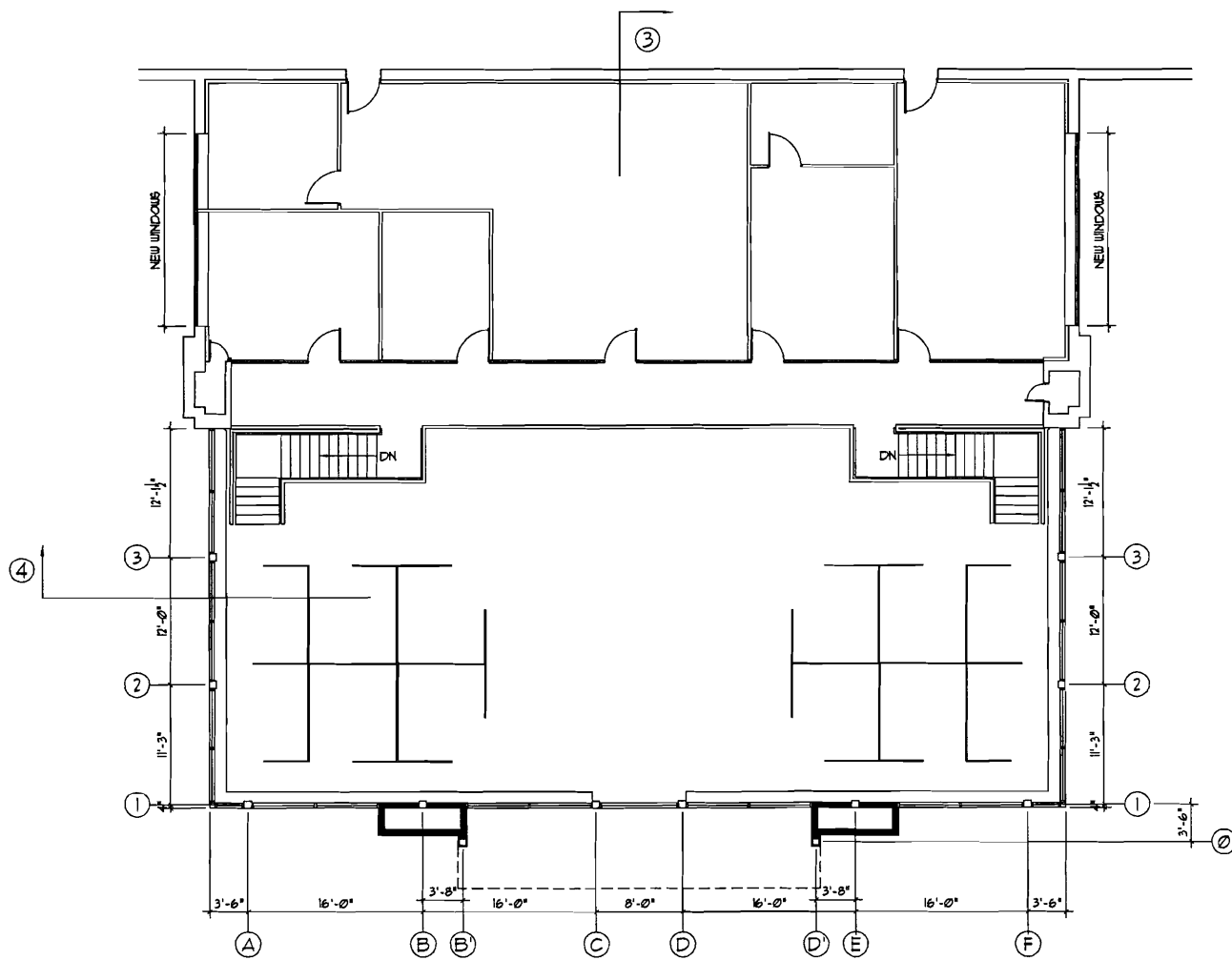
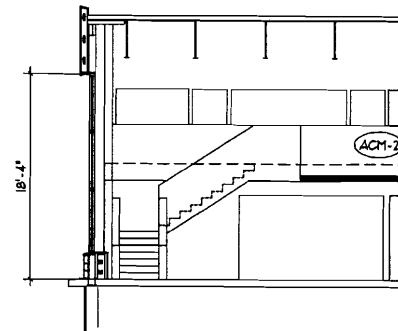


③ EXISTING NORTH (BRIGHTON AVENUE) ELEVATION
SCALE: 1/16" = 1'-0"

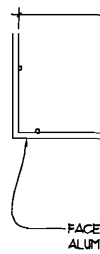
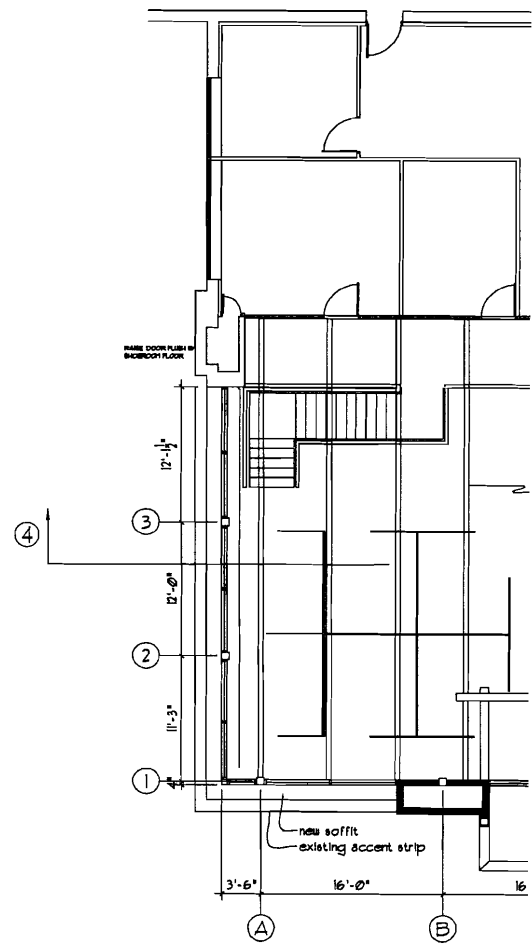




3 BUILDING SECTION
1/8" = 1'-0"



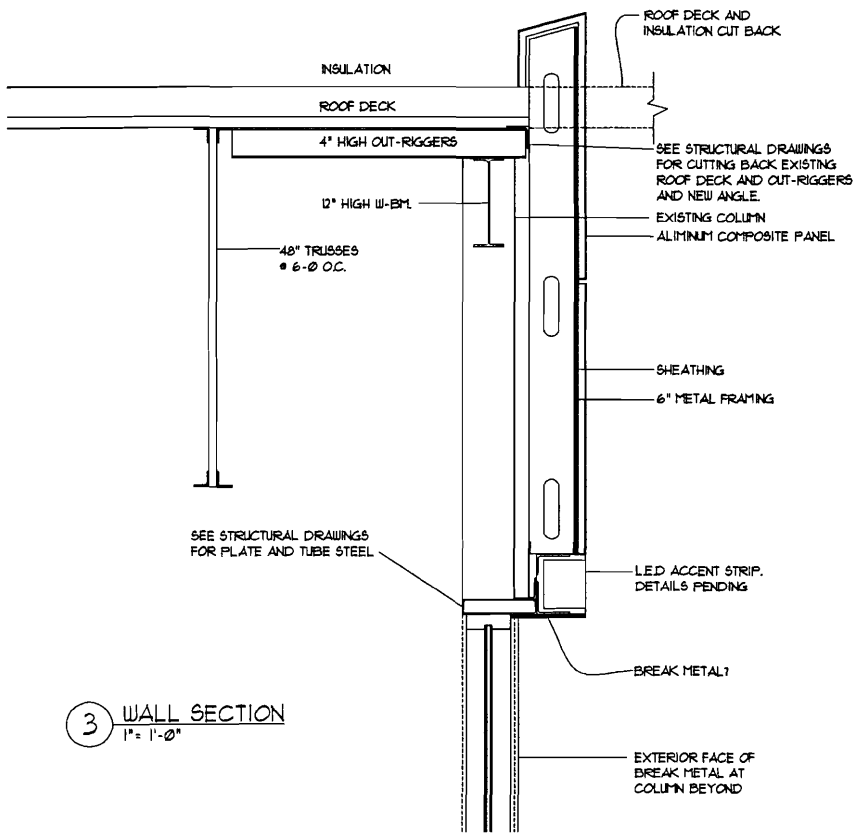
1 2ND FLOOR PLAN
1/8" = 1'-0"



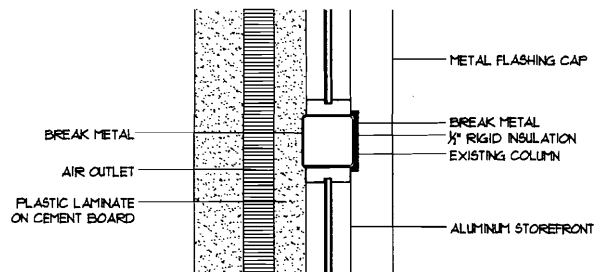
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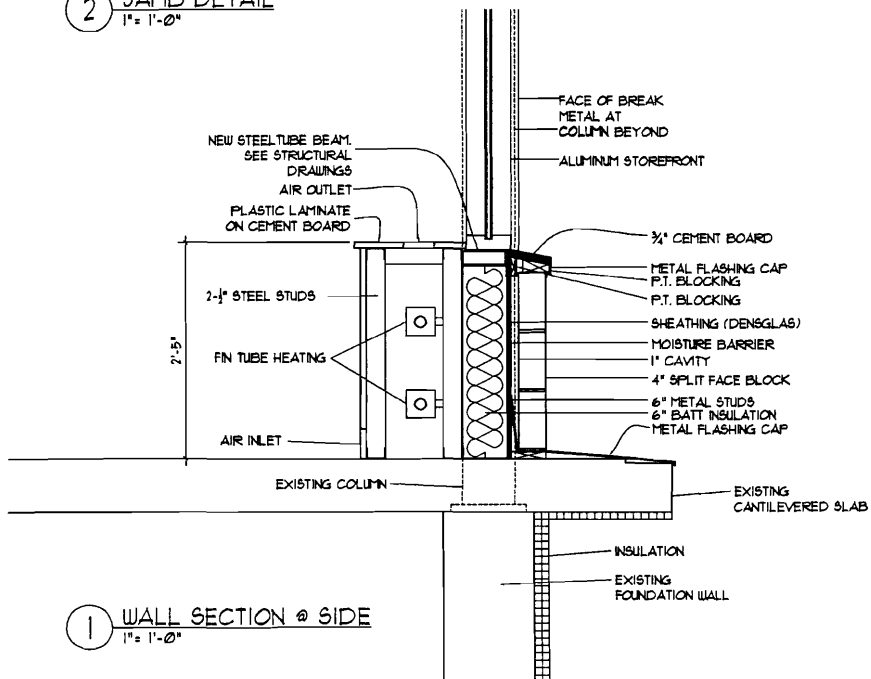
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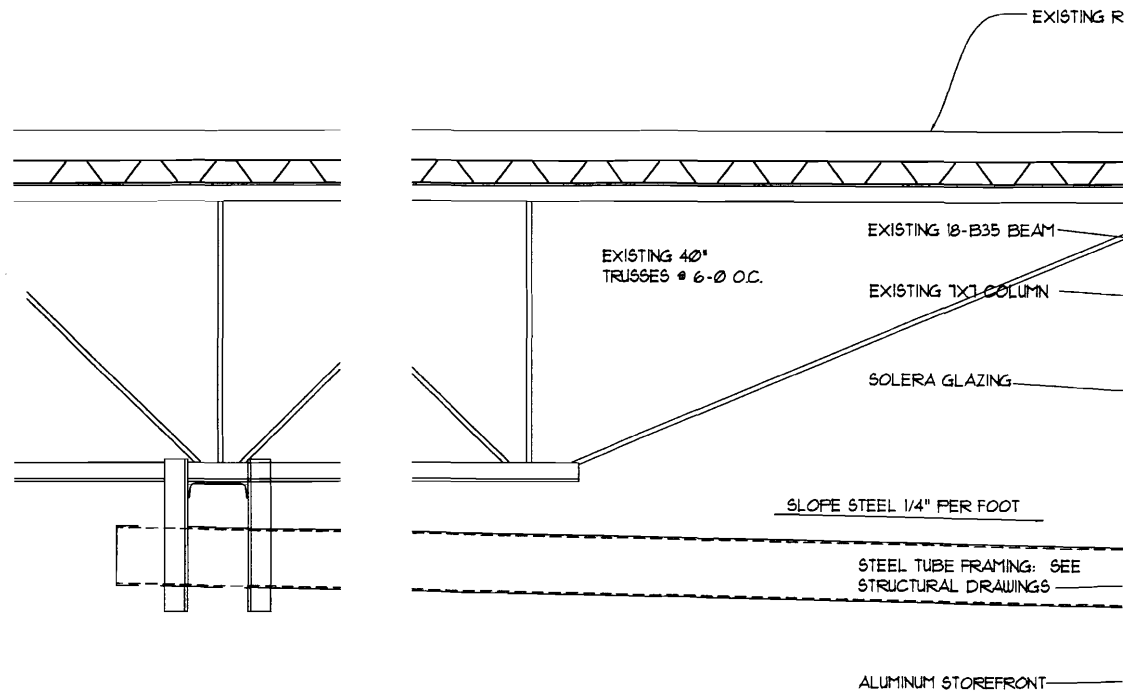
3 WALL SECTION
1" = 1'-0"



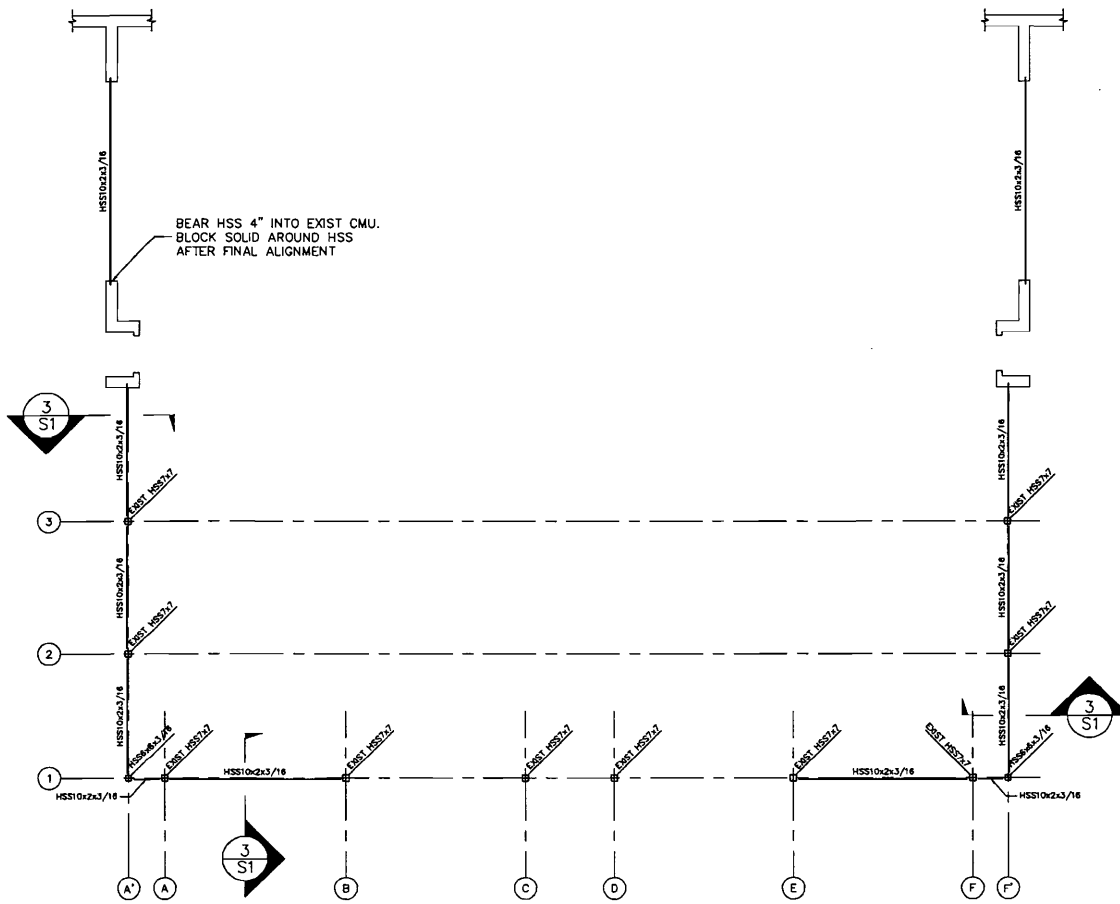
2 JAMB DETAIL
1" = 1'-0"



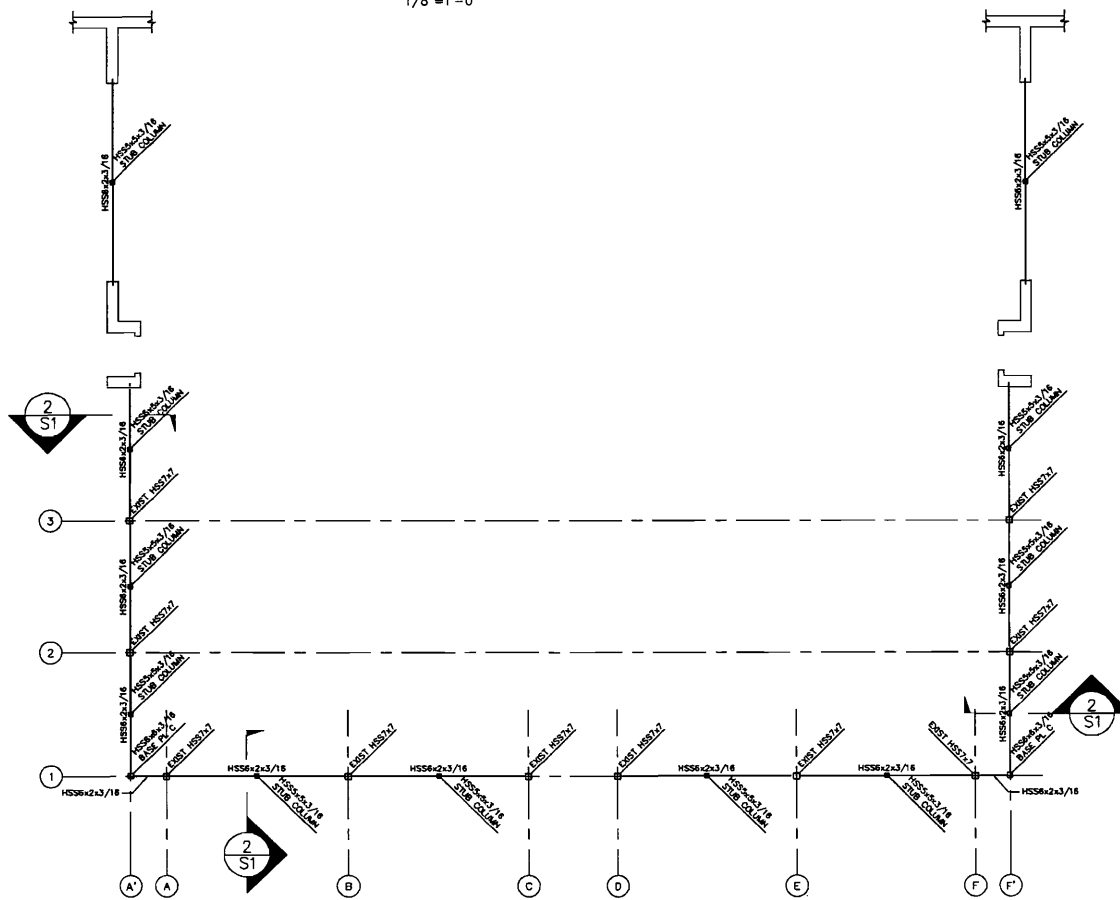
1 WALL SECTION @ SIDE
1" = 1'-0"



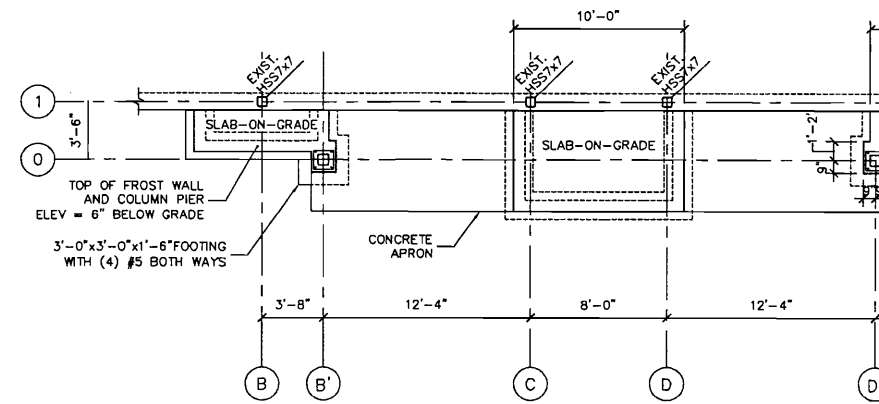
4 WALL SECTION FRONT ELEVATION
1" = 1'-0"



STOREFRONT UPPER SUPPORT PLAN
1/8"=1'-0"

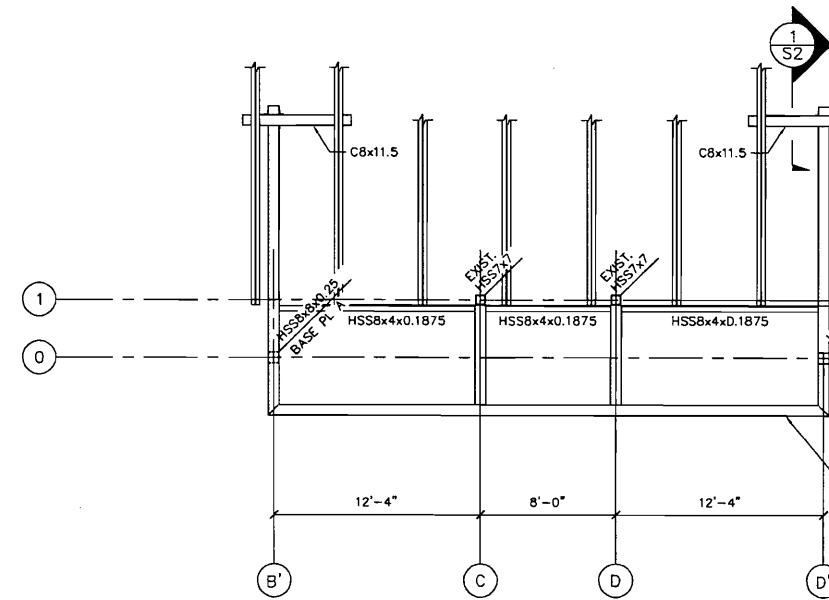


STOREFRONT LOWER SUPPORT PLAN
1/8"=1'-0"

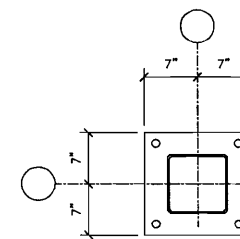


CANOPY FOUNDATION PLAN
3/16"=1'-0"

ALL FROST WALLS ARE 8" THICK WITH (2) #5 TOP.
ALL FOOTINGS ARE 10" THICKx20" WIDE WITH (2) #5 CONT.
BOTTOM OF FOOTING ELEV = 4'-0" BELOW FINISHED GRADE.
CAST 6" APRON SLAB AND SLAB-ON GRADE OVER FROST WALLS AND COLUMN PIERS.

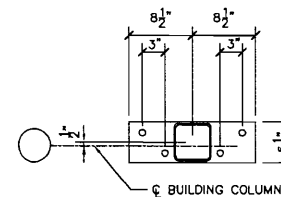


CANOPY FRAMING PLAN
3/16"=1'-0"



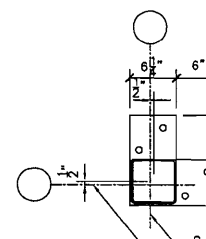
BASE PLATE A
1"=1'-0"

PLATE THICKNESS = 3/4"
HOLE DIAMETER = 1 1/16"
HOLE EDGE DISTANCE = 1 1/2"
ANCHOR RODS ARE 3/4" Ø
THREADED RODS WITH 3" HOOK AND 12" EMBEDMENT.



BASE PLATE B
1"=1'-0"

PLATE THICKNESS = 1/2"
HOLE DIAMETER = 7/8"
HOLE EDGE DISTANCE = 1 1/2"
ANCHOR RODS ARE 3/4" Ø
THREADED RODS IN EPOXY-FILLED HOLES WITH 6" EMBEDMENT.



BASE PLATE C
1"=1'-0"

PLATE THICKNESS = 1"
HOLE DIAMETER = 7/8"
HOLE EDGE DISTANCE = 1 1/2"
ANCHOR RODS ARE 3/4" Ø
THREADED RODS IN EPOXY-FILLED HOLES WITH 6" EMBEDMENT.