

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 274 Terrace Ave		Owner: William Temple Church of God in Christ		Phone: 774-5044	Permit No: 981059
Owner Address: 27 Terrace Ave 04102		Lessee/Buyer's Name:		Phone:	BusinessName:
Contractor Name: Art Jasnia		Address: 1734 Forest Ave Portland, ME		Phone: 878-5799	
Past Use:  Church		Proposed Use:		<b>COST OF WORK:</b> \$ 3,521.00	<b>PERMIT FEE:</b> \$ 40.00
Proposed Project Description:  Erect Steeple		<b>FIRE DEPT.</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: / Type:	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>			
Permit Taken By: MG		Date Applied For: 10 Sept 98			

**PERMIT ISSUED**  
SEP 21 1998  
**CITY OF PORTLAND**

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Zoning Appeal**  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

**Action:**  
 Approved  
 Approved with Conditions  
 Denied  
 Date: *[Signature]*

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: 11 Sept 98 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

*[Signature]*  
**CEO DISTRICT** 3  
*ML/mw*

COMMENTS

5/9/00 WORK complete as in plans. Close permit. JR

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 21 Sept 98 ADDRESS: 274 Terrace Ave 262-B-925

REASON FOR PERMIT: To erect steeple

BUILDING OWNER: William Temple Church of God in Christ

CONTRACTOR: Art Jasm. J

PERMIT APPLICANT: ↑

USE GROUP A-4 BOCA 1996 CONSTRUCTION TYPE JB

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: X/ 29

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1 1/2" in diameter, 7" into the foundation wall, minimum of 12" form corners of From corners of foundation and a maximum 6'o.c. between bolts. ( Section 2305.17 )
- 3. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0)
- 9. Headroom in habitable space is a minimum of 7'6". ( Section 1204.0 )
- 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.( Section 1014.0 )
- 1. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
- 2. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height



not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. ( Section 1018.6 )

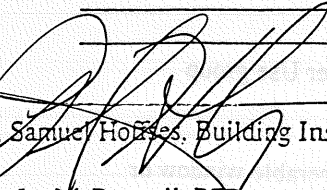
- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code: (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). ( Chapter M-16 )
- 28. Please read and implement the attached Land Use-Zoning report requirements.

29. A structural analysis must be completed of the roof system to verify that the existing roof can carry the steep load. Please submit this before work begins

- 30. \_\_\_\_\_
- 31. \_\_\_\_\_
- 32. \_\_\_\_\_

  
 Samuel Hoffes, Building Inspector  
 c: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <b>274 TERRACE AVE, PORTLAND ME</b>			
Total Square Footage of Proposed Structure <b>NOT APPLICABLE</b>		Square Footage of Lot <b>NOT APPLICABLE</b>	
Tax Assessor's Chart, Block & Lot Number		Owner: <b>WILLIAMS TEMPLE</b>	Telephone#:
Chart# <b>262</b>	Block# <b>B</b>	Lot# <b>025</b>	<b>CHURCH OF GOD IN CHRIST, INC 207-774-5044</b>
Owner's Address: <b>27 TERRACE A.E. PORTLAND, ME. 04102</b>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <b>\$3,521.00</b> Fee: <b>\$40</b>
Proposed Project Description: (Please be as specific as possible) <b>WILLIAMS TEMPLE COGIC, PROPOSED TO ADD A PRE-FABRICATED FIBERGLASS STEEPLE TO ITS EXISTING STRUCTURE. THE STEEPLE WEIGHS 445 lbs WITH A 4'x4' BASE &amp; HAS A HEIGHT OF 23'-0" ABOVE THE CHURCH'S ROOF LINE.</b>			
Contractor's Name, Address & Telephone: <b>207-878-5799; 1734 FOREST AVE ART JASMIN (A CHURCH MEMBER); PORTLAND, MAINE</b>			Rec'd By: <i>[Signature]</i>
Current Use: <b>Church</b>		Proposed Use: <b>Same</b>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

**Unless exempted by State Law, construction documents must be designed by a registered design professional.**

A complete set of construction drawings showing all of the following elements of construction:

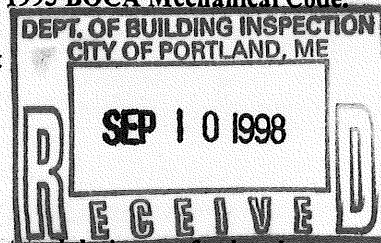
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <b>9/2/98</b>
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Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.  
Additional Site review and related fees are attached on a separate addendum





Inspection Services  
Michael J. Nugent  
Manager

Department of Urban Development  
Joseph E. Gray, Jr.  
Director

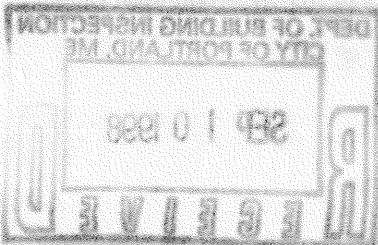
**CITY OF PORTLAND**

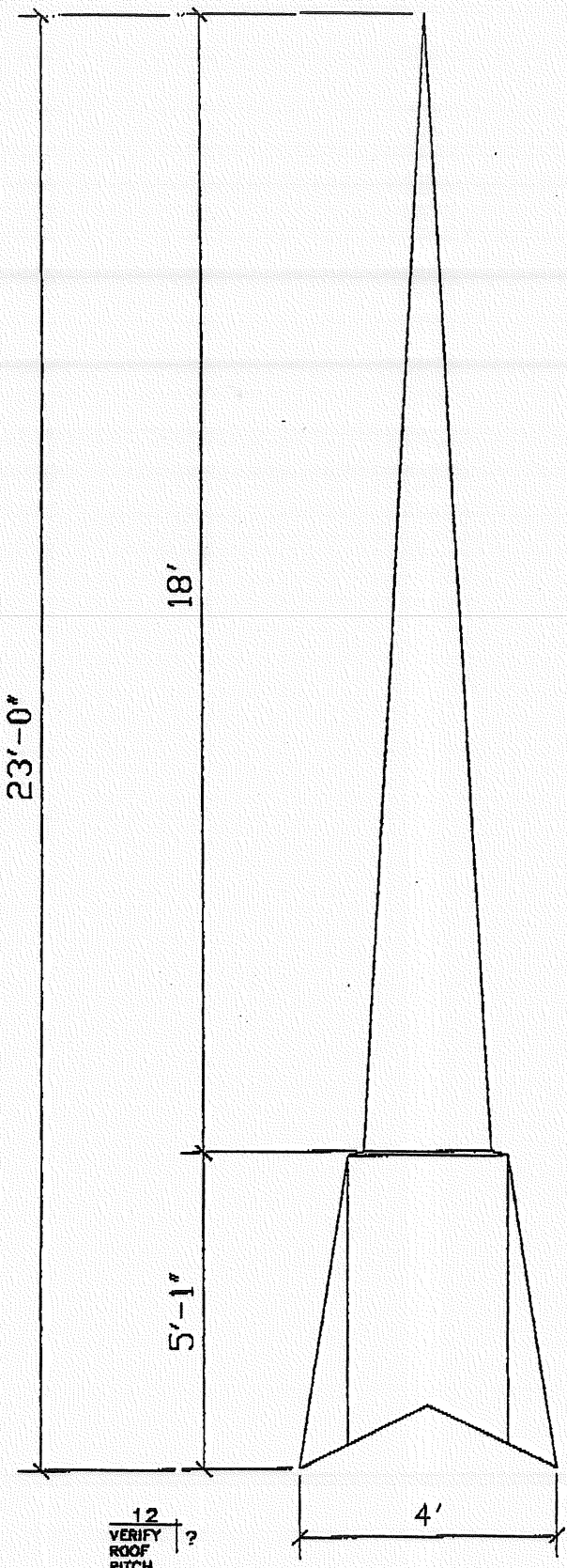
*congratulations!!!!!!*

**Building or Use Permit Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

**Minor or Major site plan review will be required for the most of the above proposed projects.**





SPIRE #118

CUPOLA #301

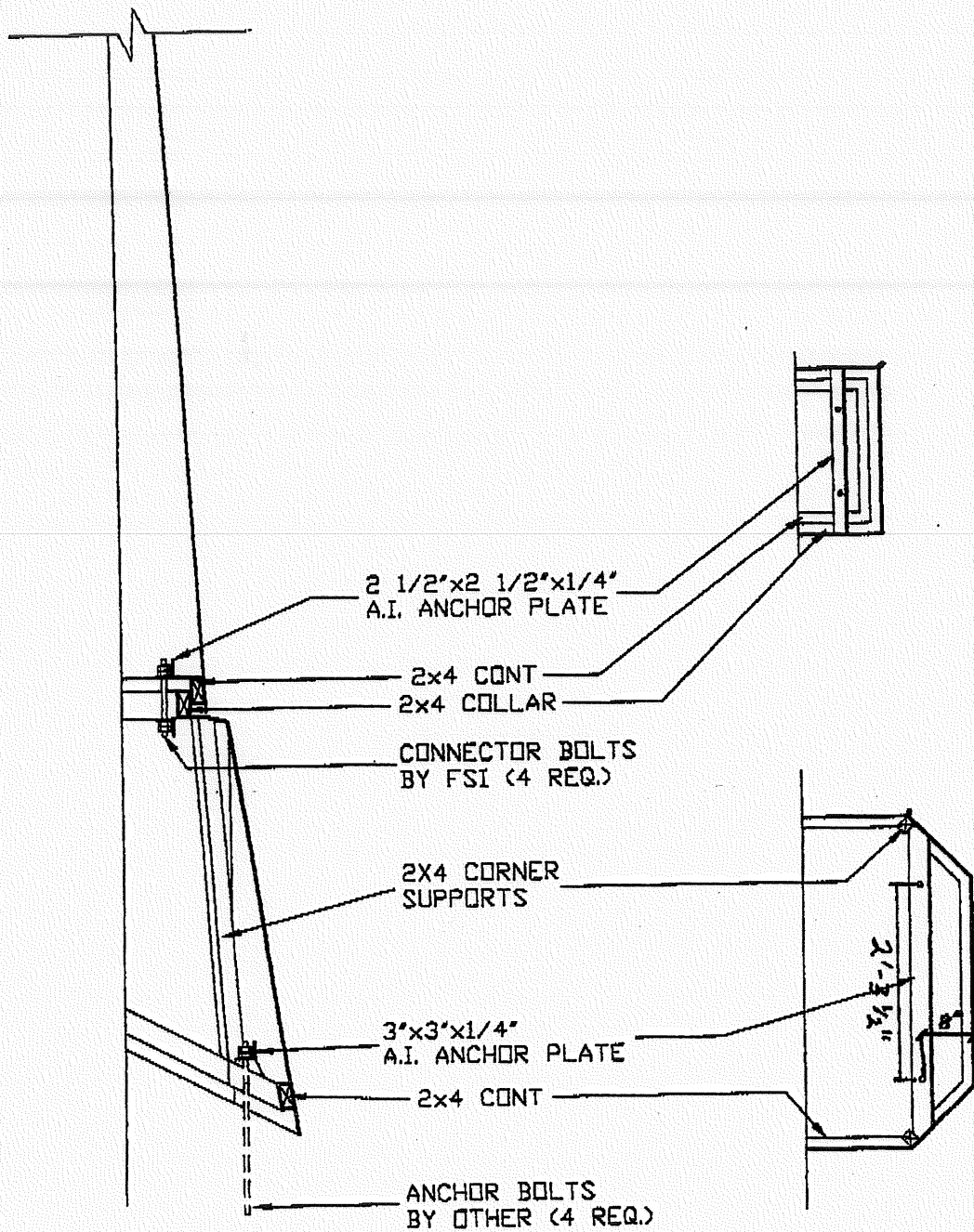
ALL STANDARD FSI STEEPLE AND CUPOLA UNITS ARE FABRICATED USING MINIMAL STANDING SEAMS. (SEE SECTION DETAIL FOR LOCATIONS)

THESE DRAWINGS ARE THE PROPERTY OF FIBERGLASS SPECIALTIES INC. DIMENSIONS AND DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

WEIGHT: 445 lbs

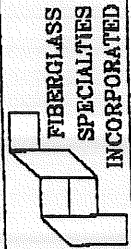
P. O. BOX 1340 HENDERSON TX 75653-1340 903/657-6522 FAX# 903/657-2512	
 <b>FIBERGLASS SPECIALTIES INCORPORATED</b>	
Project: <b>STEEPLE UNIT #6 PITCH ELEVATION</b>	
Date: 7-31-96	Revisions
Drawing By: BEB	Checked By: <i>MS</i>
File # SHDP	DWG # ST-6
Scale: 3/8"=1'-0"	
Sheet#	ST-6 PITCH





LOCATION OF ANCHOR POINTS VARIES WITH ROOF PITCH AND TYPE. INSTALLER SHOULD NOT ATTEMPT TO LOCATE EXACT ANCHOR POINTS UNTIL STEEPLE IS ON SITE.

P.O. BOX 1340  
 HENDERSON, TX 75653 - 1340  
 803/657-6522  
 FAX# 803/657-2318



Project: STEEPLE UNIT #6  
 PITCH ELEVATION

Date: 7-31-96  
 Revisions

Drawing By: BEB  
 Checked By: *CHS*  
 File # SHDP  
 DWG # ST-6

Scale: 1/2"=1'-0"

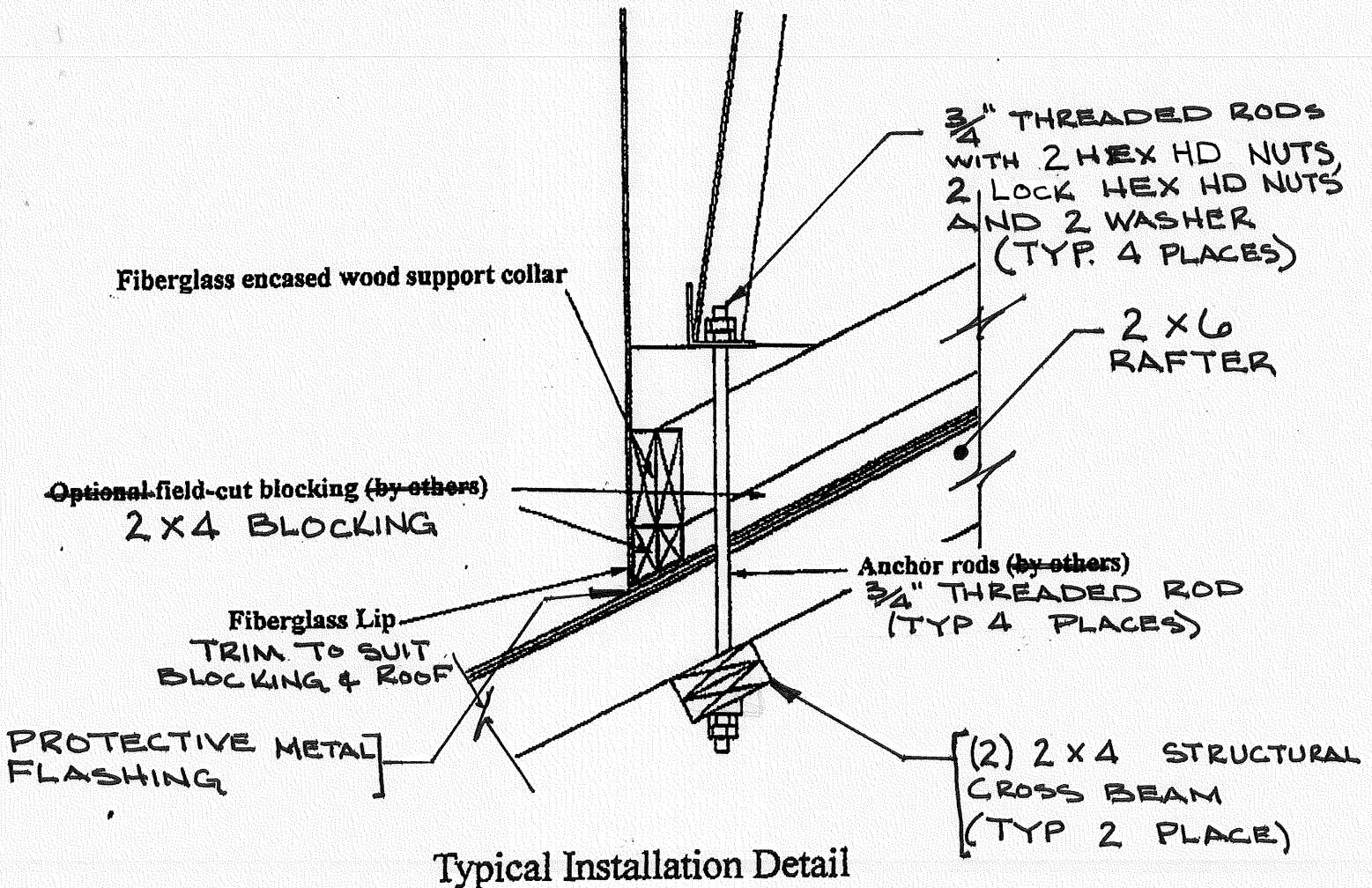
Sheet #

ST-6  
 PITCH

### Installation Tips

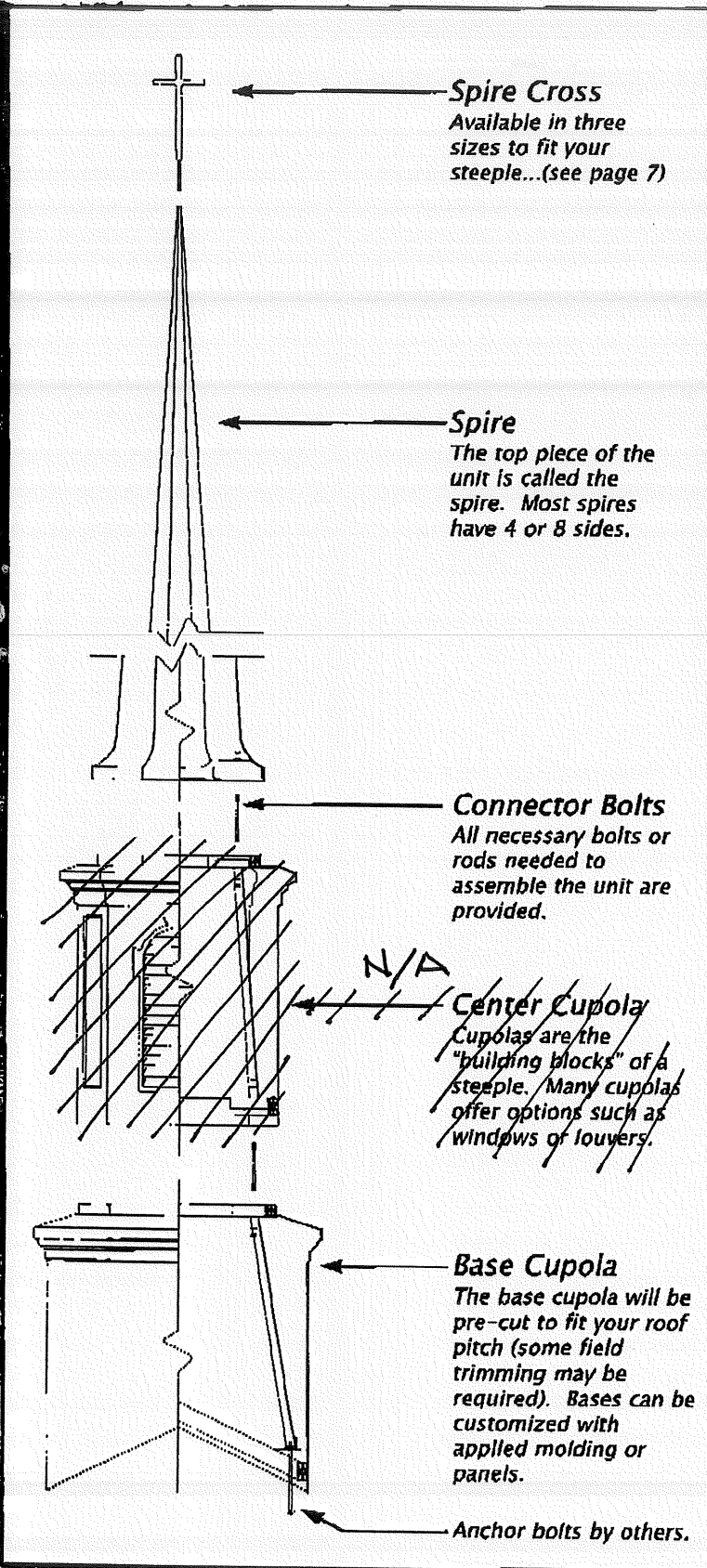
Typically, Fiberglass Specialties steeples are designed so that the load of the steeple is supported on the thin edge of fiberglass that extends below the glass-encased wood support collar at the base of the unit. This "lip" is necessary in the manufacture of the steeple as it provides a contact point for the fiberglass which encases the wood collar. It also provides for field trimming which is often necessary to provide a perfect match to the roof surface.

In some cases, the roofing material is such that this type of installation might damage the surface, due to the load being concentrated on such a narrow surface area. In these situations, the installer may choose to place blocking between the roof and the lower collar to spread the load over a larger surface area. This blocking is best cut on site at the time of installation.



Typical Installation Detail

# Steeple Installation...



## Unloading

Your steeple may be shipped on one of our factory trucks, or via motor carrier. When your new steeple arrives, you should plan to have adequate manpower to assist the driver in unloading. It is important that you check the steeple for freight damage at this point, and report any irregularities immediately.

## Anchor Holes

Your steeple will arrive with steel anchoring members at its base, with holes for anchor bolts pre-drilled. Because of the many different roof pitches and types, these holes are difficult to locate precisely in advance; therefore, we recommend that your installer not attempt to locate exact anchor points until the steeple is on site.

## Assembly

Your new steeple will be delivered in sections (except for one-piece units). Bolts will be provided with which to assemble the various components. Your installer will need to provide the bolts that anchor the base unit to the roof.

## Waterproofing

Our steeples and cupolas are typically designed to be mounted above the finished roof surface, not open to the building below. Although they are designed to be leak resistant, they are not insulated; therefore, condensation can occur inside the steeple. Openings such as vented louvers can also allow moisture to enter the unit. For these reasons, we recommend waterproofing any roof openings under the steeple, including sealing around all anchor bolt holes.



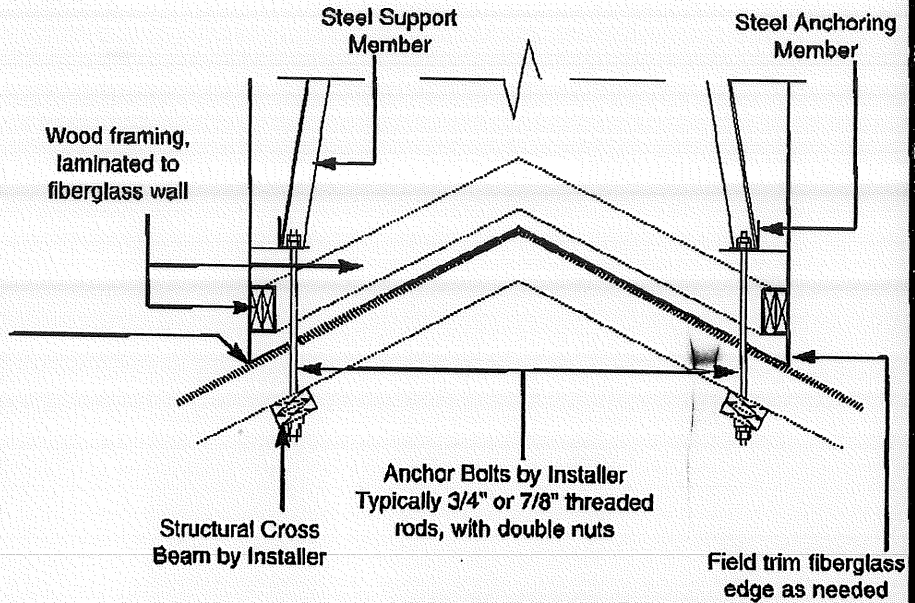
**Typical Anchoring Detail**

Because every building is different, exact installation techniques will vary. The drawing below demonstrates one of the most commonly seen anchoring methods.

**Steel Anchoring!**

The installer should verify that the steeple or cupola is firmly bolted to structural members sufficient to withstand the wind load forces imposed by the steeple. *Fiberglass Specialties* can provide these loads to your building engineer or architect upon request.

To prevent shingle damage, the installer may wish to rest the fiberglass on a metal flashing. This can be easily installed by attaching it to the laminated wood blocking inside the steeple base.

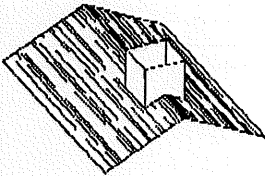


**Roof Pitch Information**

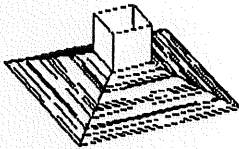
**How To...**

**...find your roof pitch**

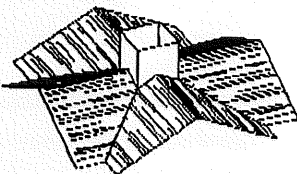
To determine the pitch of your roof, place a level against the roof as shown below. From the point where the level touches the roof, measure out 12 inches. From this point, measure the distance, in inches, down to the roof. This number will be the first number in the roof pitch. The second number will always be 12. For example, the roof pitch pictured here would be expressed as "5 on 12".



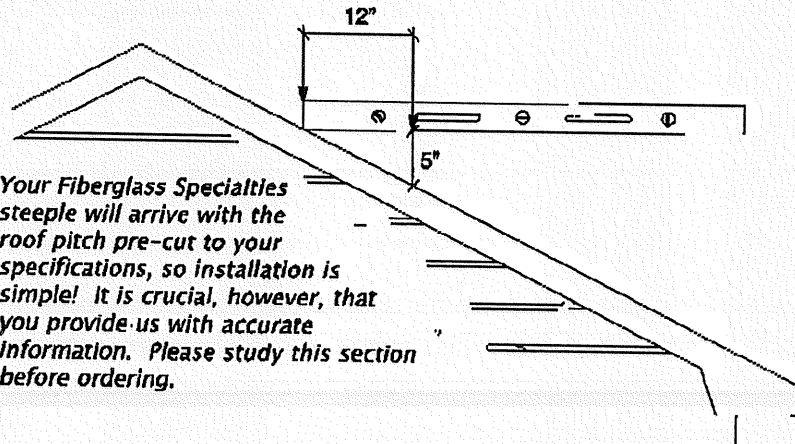
Single Ridge



4-Way Hip Roof

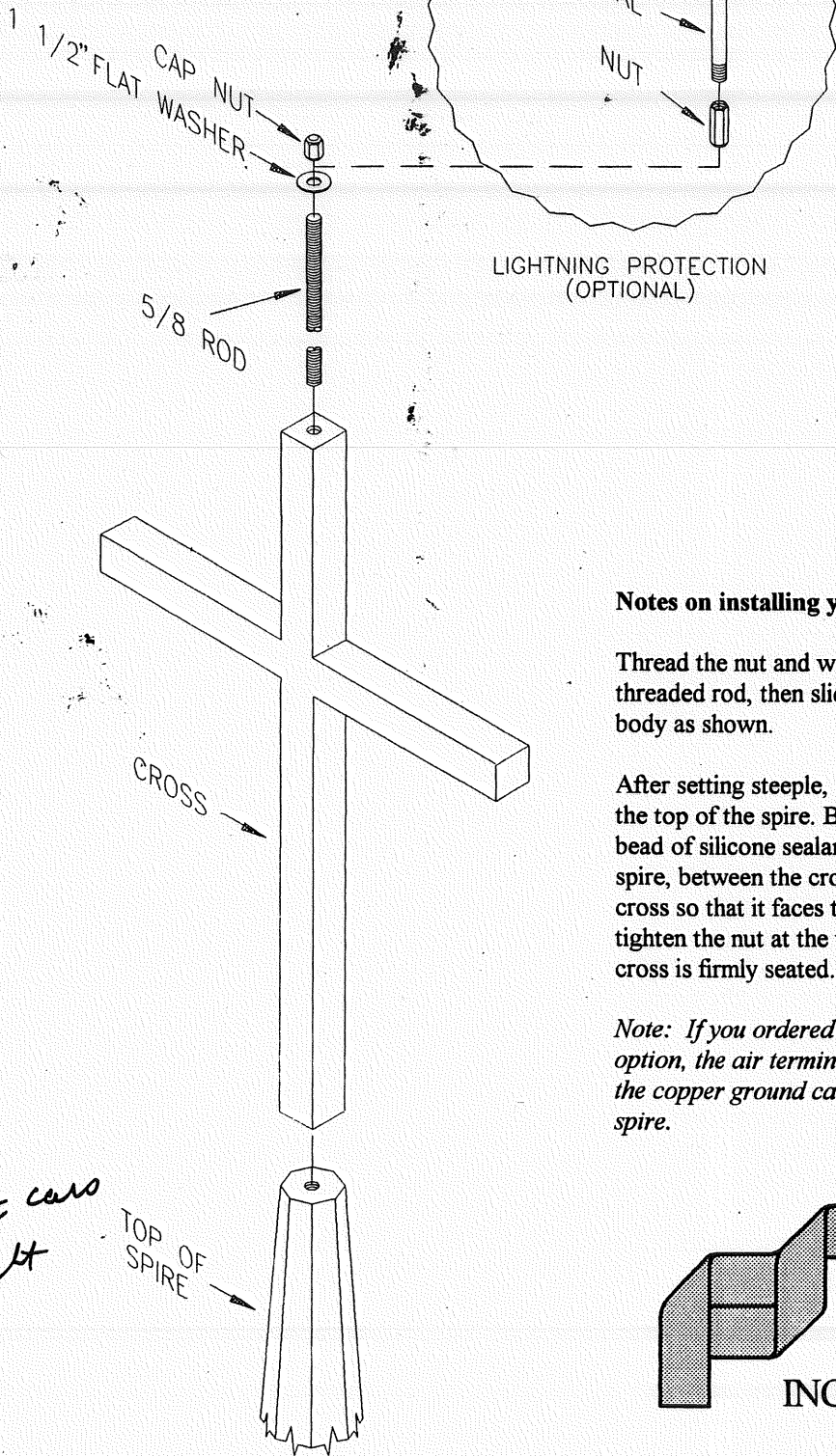


4-Way Ridge (Gable)



Your *Fiberglass Specialties* steeple will arrive with the roof pitch pre-cut to your specifications, so installation is simple! It is crucial, however, that you provide us with accurate information. Please study this section before ordering.

# TYPICAL SPIRE CROSS MOUNTING DETAIL



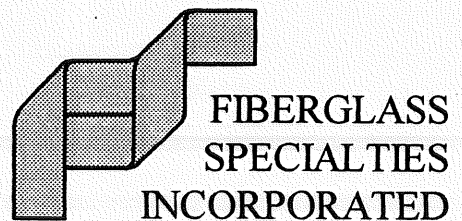
## Notes on installing your fiberglass spire cross:

Thread the nut and washer on one end of the threaded rod, then slide the rod through the cross body as shown.

After setting steeple, screw the threaded rod into the top of the spire. Before tightening, place a bead of silicone sealant around the top of the spire, between the cross and spire. Turn the cross so that it faces the proper direction, then tighten the nut at the top of the cross until the cross is firmly seated.

*Note: If you ordered the lightning protection option, the air terminal will be shipped taped to the copper ground cable inside the bottom of the spire.*

*X 8 air Left  
 Tablets Right  
 3 liters paint - Factory care  
 lite cleaners Right  
 End*



# Know all Men by these Presents,

That The City of Portland, a body politic and corporate, and located at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other valuable considerations paid by

Williams Temple, Church Of God In Christ

North Scarboro  
of ~~Maine~~, in the County of Cumberland and State of Maine,  
the receipt whereof it does hereby acknowledge, does hereby remise,  
release, bargain, sell and convey, and forever quit-claim unto the said

Williams Temple, Church Of God In Christ, its

**Successors**

~~Heirs~~ and Assigns forever, all its right, title and interest in  
and to the following described real estate situated in Portland  
in the County of Cumberland and State of Maine and more  
particularly described as, viz:

Land Terrace Ave. Lots 268 to 271 Rec Plan Brighton Avenue Terrace  
Assessors Plan 262-B-25 to 28 Approx. Area 9320 sq. ft.

Being the same premises acquired by Tax Deed dated February 28, 1953, recorded  
in Cumberland County Registry of Deeds in Book 2269, Page 201, assessed to  
Patrick Heirs and Margaret J. Joyce and sold February 2, 1953 for the  
non-payment of the 1952 tax.

Also another certain lot or parcel of land N side Terrace Ave. Lots 272, 273,  
274, 275, 276, Rec. Plan Brighton Avenue Terrace. Assessors Plan 262-B-29 to 33  
Approx. Area 11650 sq. ft.

Being the same premises acquired by Tax Deed dated February 28, 1942, recorded  
in Cumberland County Registry of Deeds in Book 1776, Page 149, assessed to  
Mary F. Kell and sold February 2, 1942 for the non-payment of the 1941 tax.



Meaning and intending to convey the same land and building  
which the said grantee acquired by tax deed dated

The deed here referred to is recorded in the Cumberland  
County Registry of Deeds in Book Page

This property was assessed to

and was sold

for the non-payment of

the

tax. It was again sold

for the non-payment of the

tax.

At each tax sale the City of Portland was the Purchaser.

Said premises are hereby conveyed subject to taxes thereon  
for the year 19 69, and said grantee assumes and

~~This property was assessed to~~

~~and was sold~~

~~for the non-payment of~~

~~the tax. It was again sold~~

~~for the non-payment of the tax.~~

At each tax sale the City of Portland was the Purchaser.

Said premises are hereby conveyed subject to taxes thereon for the year 19 69 , and said grantee assumes and agrees to pay said taxes as part of the consideration for this conveyance.

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging to the said

Williams Temple, Church Of God In Christ, its

successors

~~Heirs~~ and Assigns, forever.

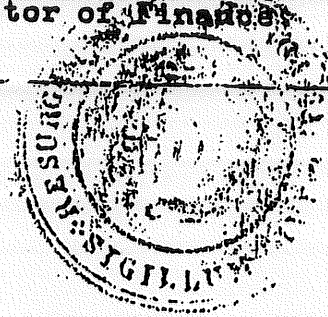
In Witness Whereof, the said City of Portland has caused this instrument to be executed and its corporate seal affixed by John G. DePalma, Director of Finance, thereunto duly authorized, this 12th day of May A. D. 19 69 .

Signed, Sealed and Delivered in presence of

City of Portland

Lucy M. Boylston

By John G. DePalma  
Director of Finance



State of Maine, }  
Cumberland, } ss.

May 12th 19 69 .

Then personally appeared the above named John G. DePalma and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said City of Portland.

Before me,

Gardner E. Felken  
Justice of the Peace  
~~Notary Public~~

JUN 9 1969

REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE

Received at 12 H 55 PM, and recorded in

BOOK 3089 PAGE 64 Howard R. 74 Register

86