

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

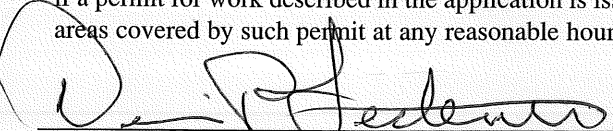
Location of Construction: 127-135 Webb St		Owner: Nguyen, Tan		Phone:		Permit No: 970369	
Owner Address:		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Fecteau's Remodeling Inc.		Address: P.O. Box 1216 Westbrook, ME		Phone: 04098 854-5017		Permit Issued: APR 29 1997	
Past Use: Vacant land		Proposed Use: 1-fam dwelling		COST OF WORK: \$ 75,000.00		PERMIT FEE: \$ 395.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Proposed Project Description: Construct Single Family Dwelling		Signature:		Signature:		Zone: CBL: 262-B-16 ¹⁰ 12-3 161-B-016	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input checked="" type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 15 April 1997		Signature:		Date:	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED
WITH LETTER**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit


SIGNATURE OF APPLICANT Dennis Fecteau

23 April 1997 - Permit Routed
15 April 1997

ADDRESS: DATE: PHONE:

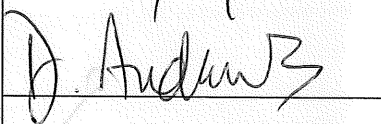
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied
 Date: 4/23/97


CEO DISTRICT 4
 A. Powers

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 03 June 1997

LOCATION: 127-135 Webb St

Permit # 13668

OWNER Fecteau's Remodeling ADDRESS _____

								TOTAL EACH FEE		
OUTLETS	Telephone		Data		CATV			.20		
	Receptacles	60	Switches	40	Smoke Detector	6	106	.20	21.20	
FIBER OPTICS								15.00		
FIXTURES	incandescent		fluorescent				30	.20	6.00	
	fluorescent strip							.20		
SERVICES	Overhead				TTL AMPS TO	800	100	15.00	15.00	
	Underground					800		15.00		
Temporary Service	Overhead				AMPS OVER	800		25.00		
	Underground					800		25.00		
METERS	(number of)						1	1.00	1.00	
MOTORS	(number of)							2.00		
RESID/COM	Electric units							1.00		
HEATING	oil/gas units		Interior		Exterior			5.00		
APPLIANCES	Ranges	1	Cook Tops		Wall Ovens			2.00		
Insta-Hot	Water heaters		Fans	1	Dryers	1		2.00		
Disposals	Dishwasher	1	Compactors		Others (denote)		5	2.00	10.00	
MISC. (number of)	Air Cond/win							3.00		
	Air Cond/cent							10.00		
	HVAC		EMS		Pools			5.00		
	Signs				Thermostat			10.00		
	Alarms/res							5.00		
	Alarms/com							15.00		
	Heavy Duty(CRKT)							2.00		
	Circus/Carnv							25.00		
	Alterations							5.00		
	Fire Repairs							15.00		
	E Lights							1.00		
	E Generators							20.00		
PANELS	Service		Remote		Main		1	4.00	4.00	
TRANSFORMER	0-25 Kva							5.00		
	25-200 Kva							8.00		
	Over 200 Kva							10.00		
TOTAL AMOUNT DUE										
MINIMUM FEE/COMMERCIAL 35.00								MINIMUM FEE	25.00	57.20

INSPECTION: Will be ready 6/6 AM or will call _____

CONTRACTORS NAME JRC Electric MASTER LIC. # 13668
 ADDRESS 15 Fox Rum Rd Falmouth LIMITED LIC. # _____
 TELEPHONE 892-0067

SIGNATURE OF CONTRACTOR *Joseph R. JRC*

BUILDING PERMIT REPORT

27 April 97 ADDRESS: 127-135 Webb St.

REASON FOR PERMIT: To Construct a single family dwelling

BUILDING OWNER: Van Nguyen

CONTRACTOR: Fecteau's Remodeling Inc.

PERMIT APPLICANT: Dennis Fecteau

APPROVAL: *1 *2 *5 *6 *7 *8

DENIED: *9 *10 *11 *15 *20 *24

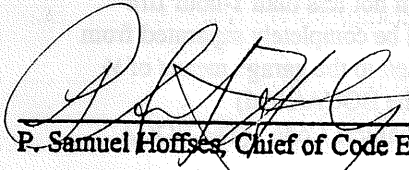
CONDITION OF APPROVAL OR DENIAL

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review coordinator and Inspection Services must be obtained.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
8. Headroom in habitable space is a minimum of 7'6".
9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
12. Each apartment shall have access to two (2) separate, remote and approved means of egress.
13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19.
- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 18. The Sprinkler System shall maintained to NFPA #13 Standard.
- 19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- * 20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- * 24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code. 1
- 25. _____
- 26. _____
- 27. _____


P. Samuel Hoffses, Chief of Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 133 Webb St

Issued to Nguyen, Tan

Date of Issue 17 July 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970369, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling
Rear Deck (10 x 10)

Limiting Conditions: TEMPORARY:

See attached memo dated 15 July 1997 listing three (3) conditions of approval.

This certificate supersedes
certificate issued

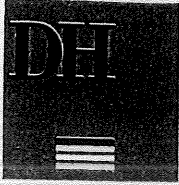
Approved:

7-13-97
MC-@P
.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement

FROM: Steve Bushey, Development Review Coordinator

DATE: July 15, 1997

RE: Request for Certificate of Occupancy
127 Webb Street - Fecteau Remodeling
133 Webb St. - CP

On July 15, 1997 I reviewed the site for compliance with the conditions of approval. The following comments are provided.

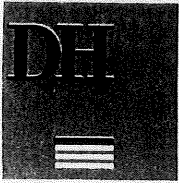
1. Two trees should be provided on the property.
2. The street address number needs to be placed on the house.
3. The driveway surface needs to be placed.

Based on my review, the sitework is suitably completed that a temporary certificate of occupancy could be issued assuming Code Enforcement has no outstanding issues.



Stephen R. Bushey, P.E.

c: Kandi Talbot - Planning Department



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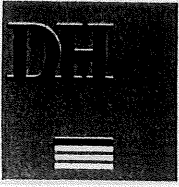
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Stephen R. Bushey, P.E.

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PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation	PORTLAND
Street Subdivision Lot #	127-133 WEBB ST.
PROPERTY OWNERS NAME	
NGUYEN, Tan	
Last: FORTÉAU'S RENOVATIONS	
Applicant Name:	LARRY CAMPBELL
Mailing Address of Owner/Applicant (if Different)	RR #1 Box 321 WEST BUXTON, ME 04093

PERMIT # 6145 STATE COPY

Date Permit Issued: 6-5-97 \$ 26.00 If Double Fee Charged

L.P.I. # 0124

Local Plumbing Inspector Signature _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Larry Campbell
Signature of Owner/Applicant

6-5-97
Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature _____

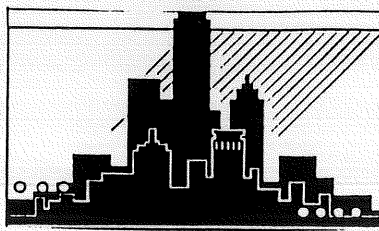
Date Approved _____

PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # 251212

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system.	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	1	Sink
		Drinking Fountain	1	Wash Basin
OR <input type="checkbox"/> TRANSFER FEE [\$6.00]		Indirect Waste	1	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____	1	Water Heater
	2	Fixtures (Subtotal) Column 2	7	Fixtures (Subtotal) Column 1
			2	Fixtures (Subtotal) Column 2
			9	Total Fixtures
			\$	Fixture Fee
			\$	Transfer Fee
			\$	Hook-Up & Relocation Fee
			\$	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



CITY OF PORTLAND, MAINE

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
389 CONGRESS STREET
PORTLAND, MAINE 04101
FAX # (207) 874-8716

DATE: 7-16-97

TIME:

TO: Dennis

FAX # 854 2083

COMPANY/BUSINESS:

FROM: Amy

PHONE # (207)874-8300

EXT 8707

DIVISION:

Inspections

TOTAL # OF PAGES INCLUDING COVER SHEET:

MESSAGE: 2

See Item #2



CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: FECTEAU'S REMODELING INC

ADDRESS: P.O. Box 1216, WESTBROOK, ME 04098

SITE ADDRESS/LOCATION: WEBB ST

DATE: 4/22/97

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

- 1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
- ~~2.~~ Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3. Your new street address is now 133 WEBB ST., the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
- 4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
- 6. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. ERODED SOIL SHALL BE CONTAINED ON SITE.
WEBB ST SHALL BE KEPT CLEAR OF TRACKED SOIL
FROM VEHICLES. INSTALL SILT FENCE A MAXIMUM
30' FROM THE BACK OF THIS HOUSE. NOTE REFERENCED
BMP ON SOIL EROSION CONTROL

cc: Katherine Staples, P.E., City Engineer



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Fecteau's Remodeling Inc.
P.O. Box 1216 Westbrook, ME 04098

Application Date 15 April 1997

Applicant's Mailing Address
Dennis Fecteau - 854-5017
Consultant/Agent

Project Name/Description
127 - 135 Webb St
Address of Proposed Site 262
~~162~~-B-016 to 019

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____
1,820 GFC/ Proposed Building Square Feet or # of Units 16,285 Sq Ft Acreage of Site R-3 Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____ 100.00 Engineer Review Fee

Approval Status:

Reviewer Mary Schumaker

- Approved Approved w/Conditions Denied
^ listed below

- Sep. permits required for future decks
- _____
- Deck was on plan when submitted.
- _____

Approval Date 4/25/97 Approval Expiration _____ date Extension to _____ date

Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
Performance Guarantee Released	_____ date	_____ signature	
Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
Defect Guarantee Released	_____ date	_____ signature	

Address: 127 - 135 Webb St



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Pecteau's Remodeling Inc.
P.O. Box 1216 Westbrook, ME 04088

15 April 1997

Application Date

Applicant's Mailing Address
Dennis Fedteau - 854-5017

Project Name/Description

127 - 135 Webb St

Consultant/Agent

Address of Proposed Site

161-B-016 to 019

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

1,820 GFC/

16,285 Sq Ft

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____ 100.00 Engineer Review Fee

Approval Status:

Reviewer JIM WENDEL

- Approved Approved w/Conditions listed below Denied

- _____
- _____
- _____
- SEE ATTACHED CONDITIONS

Approval Date 4/22/97 Approval Expiration 4/98 Extension to _____ date date Additional Sheets Attached

Condition Compliance DECL WAS signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 127 - 135 Webb St

Applicant: Dennis Fectezu

Date: 4/25/97

Address: 127-135 Webb St

C-B-L: 262-B-16+19

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct 1-family dwelling with attached garage

Sewage Disposal -

Lot Street Frontage - 50' req - 120' shown

Front Yard - 25' req - 40' shown

Rear Yard - 25' req - 60' shown

Side Yard - 0' req - 22' & 26' shown

Projections -

Width of Lot - 75' req - 120' shown

Height - 1 Story (Ranch type)

Lot Area - 6,500^{sq ft} req - 16,285^{sq ft} shown

Lot Coverage/ Impervious Surface - 25% = MAX 4071.25

Area per Family - 6,500^{sq ft}

Off-street Parking - 2 spaces req - has 2 car garage

Loading Bays -

Site Plan - minor/minor

24 x 26 = 624
26 x 46 = 1196

Shoreland Zoning/ Stream Protection - N/A

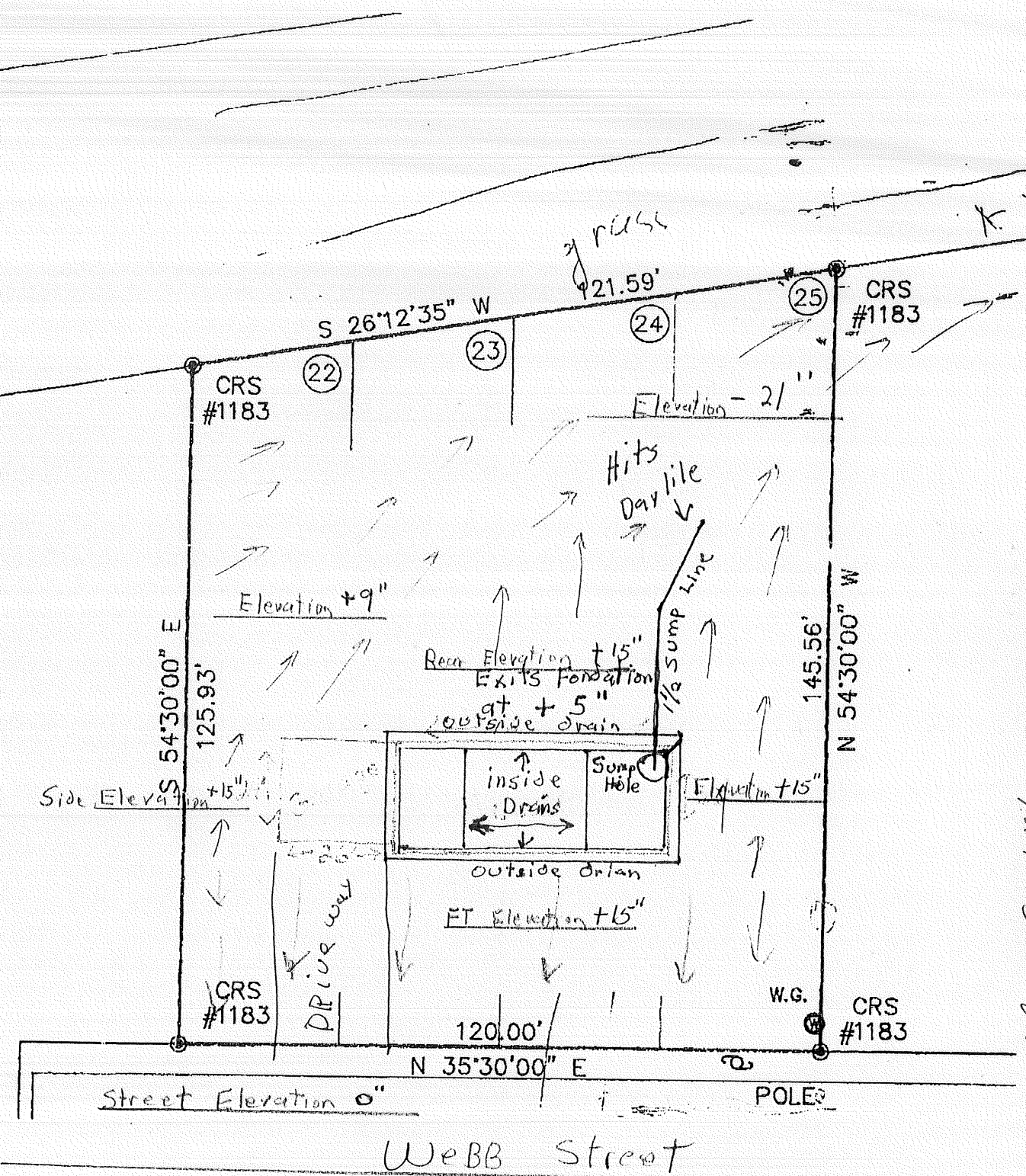
Flood Plains - Panel 12 of 17

Zone C - Not flood zone

1850^{sq ft}
196

After Excavating Drainage

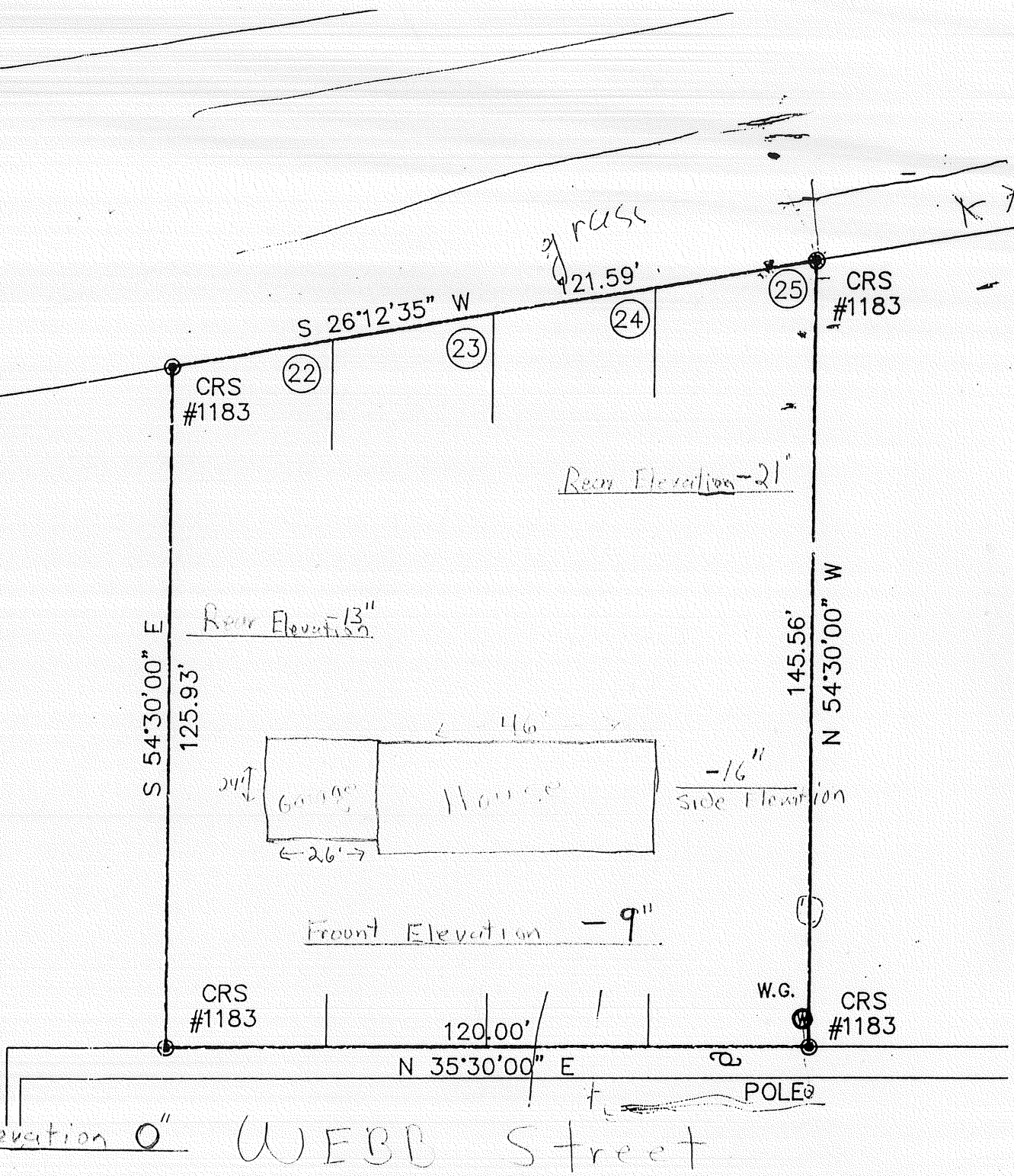
N/F
H. RISBARA



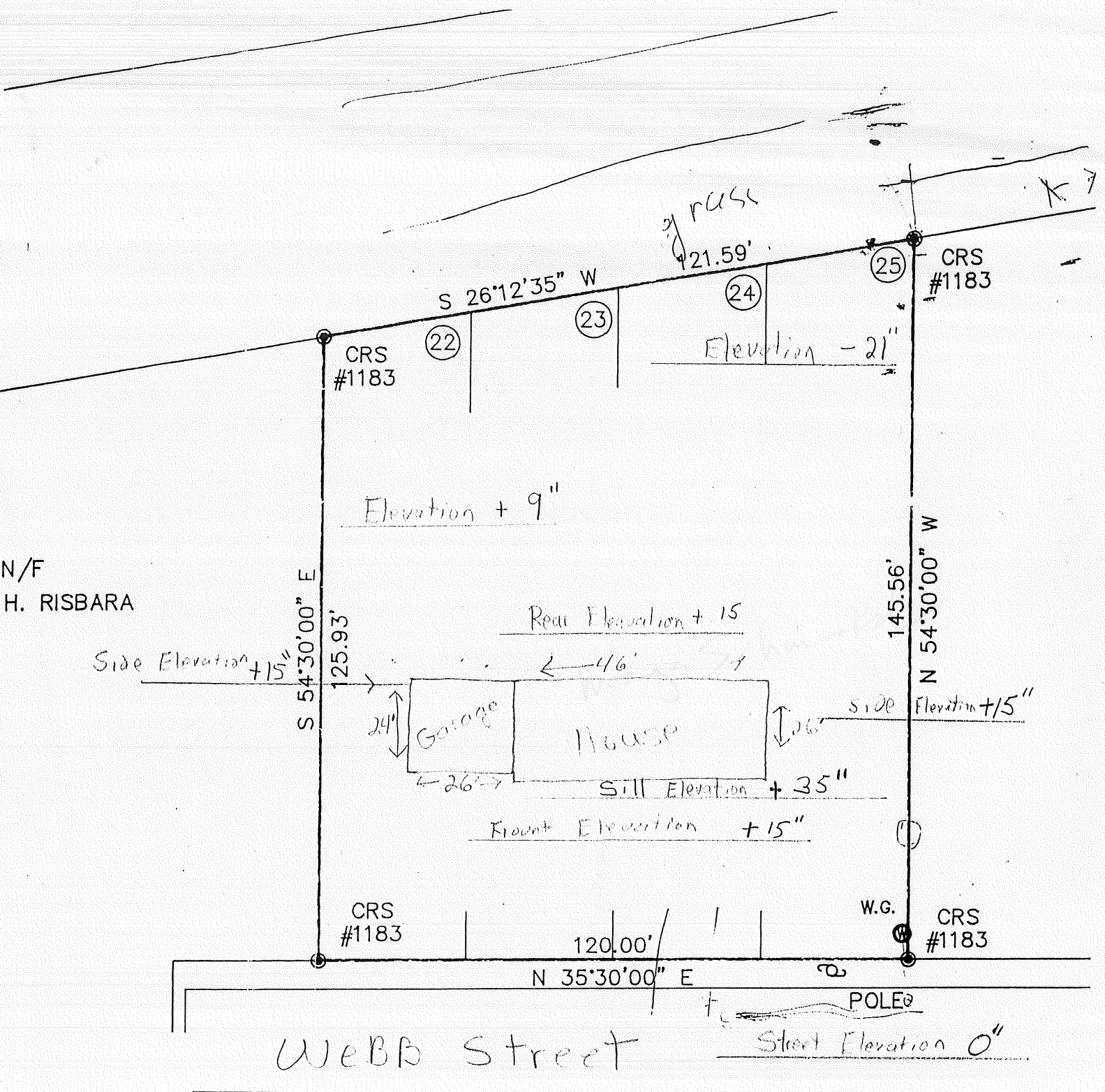
127-135 Webb St

Before Excavating

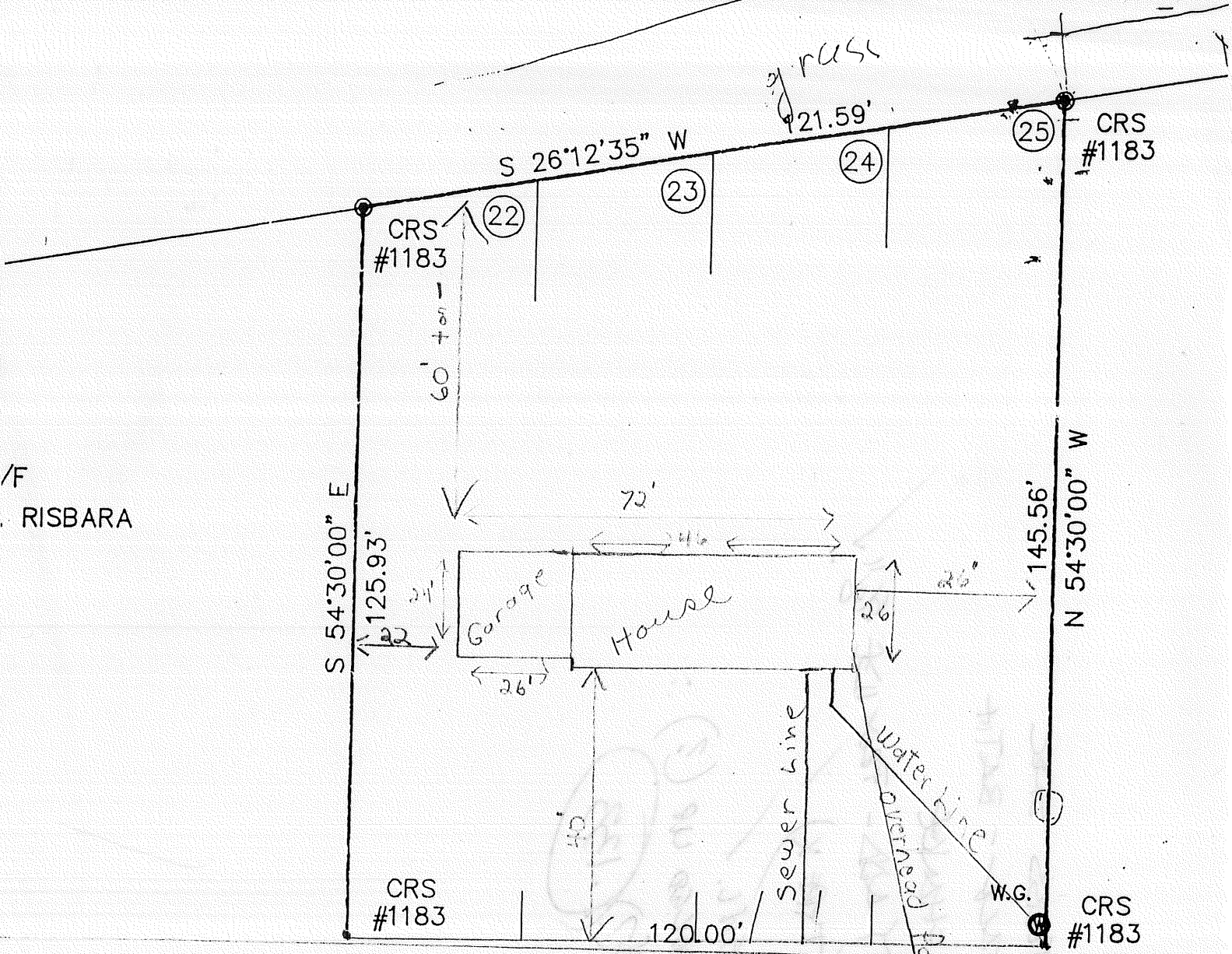
N/F
H. RISBARA



After Excavating



Plot Plan



1/F
RISBARA

WEBB Street

Dep. S. No. # 97150291-7

REC'D TRUSS SPEC
R @ STALK - BATH

CLOSET CHANGE

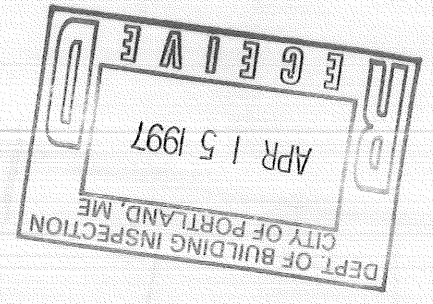
CHIMNEY ADD - PROX 11' 5/8" ✓

GARAGE (TYPE X) ✓

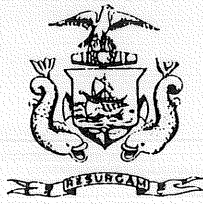
SILL AT SWL ✓

SUPPLY HOOKED UP (?) :

HOUSE # (?) 133



Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 28 , 1997

Fecteau's Remodeling Inc.
P.O. Box 1216
Westbrook., ME 04098

RE: 127- 135 Webb St.

Dear Sir:

Your application to construct a single family dwelling with two car attached garage has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal Laws.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL REQUIREMENTS OF THIS LETTER ARE MET.

Site Plan Review Requirements

Building Inspection: 1. Separate permits will be required for any future decks. M . Schmuckal

Development Review Coordinator: See attached Conditions - J Wendel

Building and Fire Code Requirements

1. Please read and implement items 1, 2,5, 6,7,8,9,10,11,15, 20 & 24 of the attached building permit report.

Sincerely,


P. Samuel Hoffses
Chief Building Inspector

c: M. Schmuckal
J. Wendal

127-135 Webb St.

524 2x4 #2 GRADES

RECOMMENDED LIFTING PRACTICE

TRUSS MUST BE LIFTED BY TOP CHORD ONLY - DO NOT INSTALL UPSIDE DOWN.

redo 10/19/97

Warning

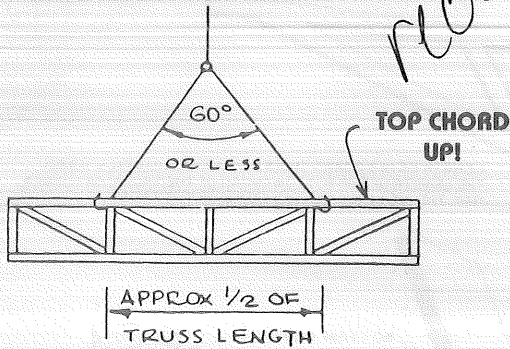
These trusses must be SUBSTANTIALLY braced during erection and before any load (plywood, roofing, etc.) is applied. If in doubt, consult with architect or engineer for bracing details.

The trusses must be lifted with care using a strong-back or spreader bar to avoid damage to truss and/or personnel.

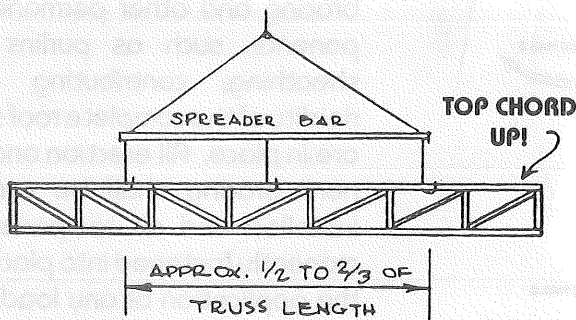
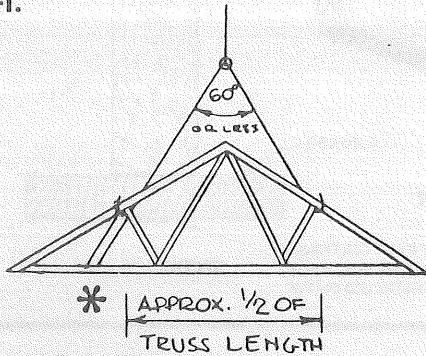
Trusses must be positioned right side up and turned in right direction.

Refer to truss design drawings and specifications for important information.

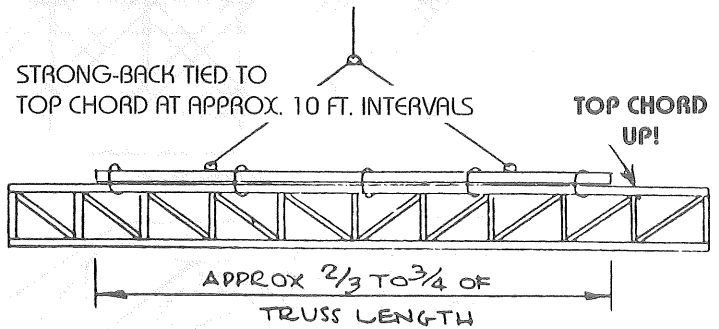
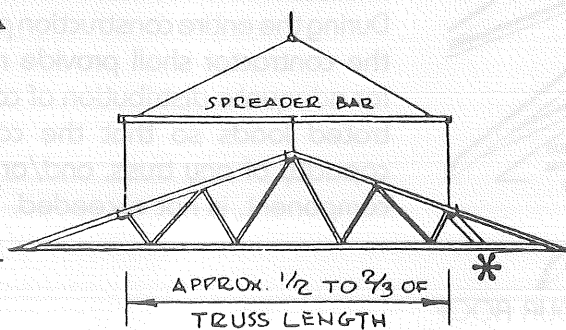
Warning



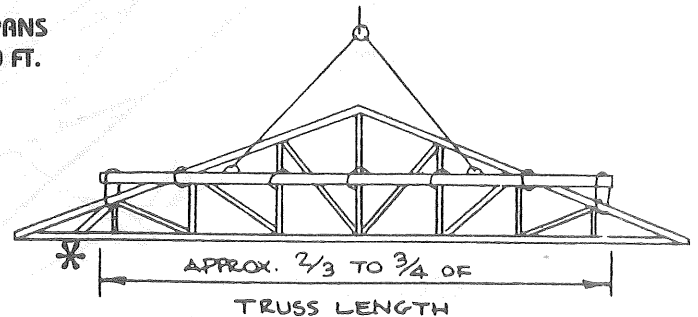
SHORT SPANS UP TO 30 FT.



INTERMEDIATE SPANS 30 FT. TO 60 FT.



LONG SPANS OVER 60 FT.



STRONG-BACK TIED TO TOP CHORD AND WEB MEMBERS AT APPROX. 10 FT. INTERVALS. POSITION STRONG-BACK AT OR ABOVE MID-HEIGHT OF TRUSS TO PREVENT OVERTURNING.

STRONG-BACK CAN BE ANY MATERIAL WITH RIGIDITY AND GOOD BENDING STRENGTH (PIPE, STEEL, I-BEAM, HEAVY TIMBER, ETC.)

*IF TRUSS IS UNSYMMETRICAL, CHECK FRAMING PLAN FOR PROPER POSITIONING OF TRUSS. BE SURE TRUSS IS TURNED IN RIGHT DIRECTION BEFORE PLACEMENT!



WOOD STRUCTURES, INC.

ALTERNATE LIFTING METHOD

NAIL ON THE 1X6 WITH 8d, 10d or 12d COMMON NAILS. SPACE THE NAILS APPROXIMATELY EVERY TWO (2) FEET ALONG THE BOTTOM CHORD.

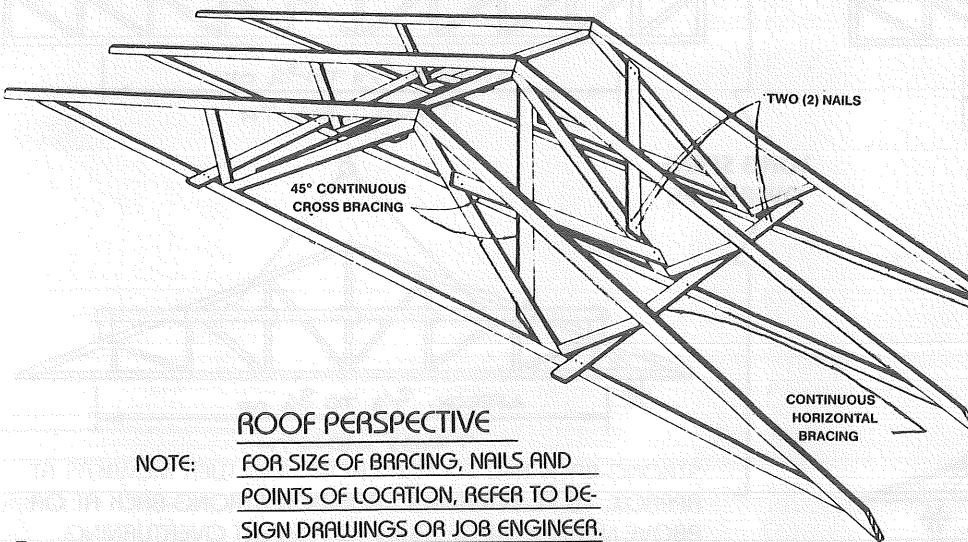
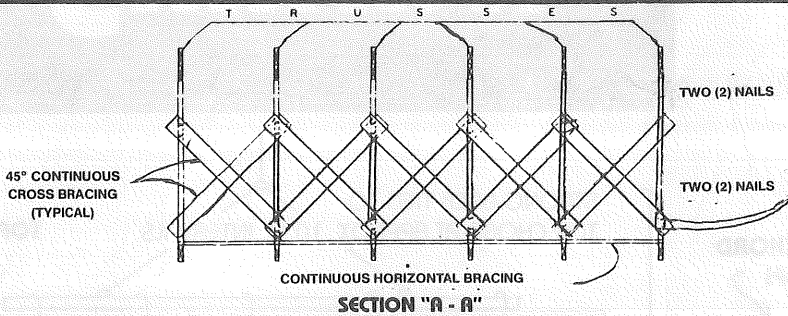
LENGTH OF 1X6 BOARD SHOULD BE APPROXIMATELY 1/3 RD THE LENGTH OF THE BOTTOM CHORD OF THE TRUSS, OR LONGER. NAIL THE 1X6 IN THE CENTER 1/3 RD OF THE TRUSS.

BOTTOM CHORD

1X6 BOARD

SECTION "A - A"

USE 8d, 10d or 12d COMMON NAILS ON 2 FOOT CENTERS. DOUBLE HEADED NAILS ARE SUGGESTED IF AVAILABLE. REMOVE 1X6 BOARD AFTER TRUSS IS INSTALLED ON THE BUILDING AND BRACED.



ROOF PERSPECTIVE

NOTE: FOR SIZE OF BRACING, NAILS AND POINTS OF LOCATION, REFER TO DESIGN DRAWINGS OR JOB ENGINEER.

BRACING IS AN IMPORTANT AND NECESSARY PART OF YOUR ROOF SYSTEM. ITS DESIGN AND APPLICATION ARE NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, TRUSS PLATE MANUFACTURER OR TRUSS MANUFACTURER. SEEK PROFESSIONAL GUIDANCE IF NEEDED.

Erection bracing must be installed to hold the truss true and plumb and in safe condition until permanent truss bracing and other permanent components, such as purlins and/or sheathing, contributing to the rigidity of the complete roof structure are in place. All erection and permanent bracing shall be completely installed and all components permanently fastened into place before the application of any loads except the weight of the erectors. Do not alter trusses. Do not use trusses if damaged.

During the entire construction period, the contractor shall provide means for adequate distribution of concentrated loads so that the carrying capacity of any truss, and/or other component, is not exceeded.



This safety alert symbol is used to attract your attention! **PERSONAL SAFETY IS INVOLVED!** When you see this symbol - **BECOME ALERT - HEED ITS MESSAGE.**



DANGER: A DANGER designates a condition where failure to follow instructions or heed warning will most likely result in serious personal injury or death or damage to structures.



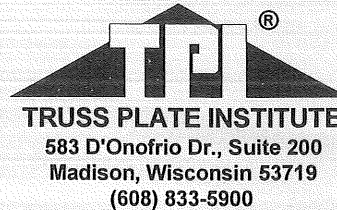
CAUTION: A CAUTION identifies safe operating practices or indicates unsafe conditions that could result in personal injury or damage to structures.



WARNING: A WARNING describes a condition where failure to follow instructions could result in severe personal injury or damage to structures.

HIB-91 Summary Sheet

COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES ©



It is the responsibility of the installer (builder, building contractor, licensed contractor, erector or erection contractor) to properly receive, unload, store, handle, install and brace metal plate connected wood trusses to protect life and property. The installer must exercise the same high degree of safety awareness as with any other structural material. TPI does not intend these recommendations to be interpreted as superior to the project Architect's or Engineer's design specification for handling, installing and bracing wood trusses for a particular roof or floor. These recommendations are based upon the collective experience of leading technical personnel in the wood

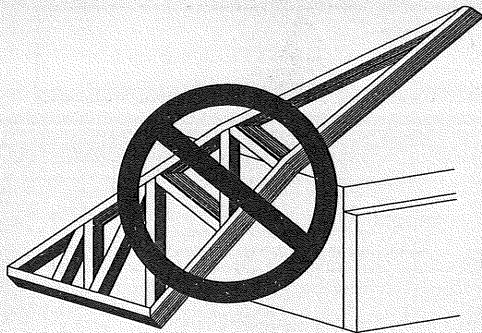
truss industry, but must, due to the nature of responsibilities involved, be presented as a guide for the use of a qualified building designer or installer. Thus, the Truss Plate Institute, Inc. expressly disclaims any responsibility for damages arising from the use, application or reliance on the recommendations and information contained herein by building designers, installers, and others. Copyright © by Truss Plate Institute, Inc. All rights reserved. This document or any part thereof must not be reproduced in any form without written permission of the publisher. Printed in the United States of America.



CAUTION: The builder, building contractor, licensed contractor, erector or erection contractor is advised to obtain and read the entire booklet "Commentary and Recommendations for Handling, Installing & Bracing Metal Plate Connected Wood Trusses, HIB-91" from the Truss Plate Institute.

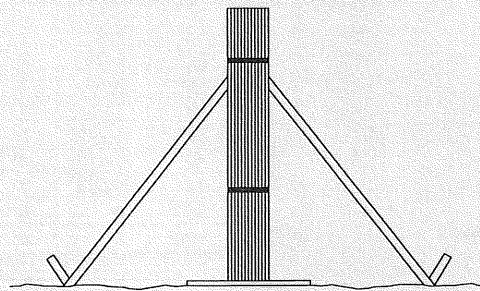
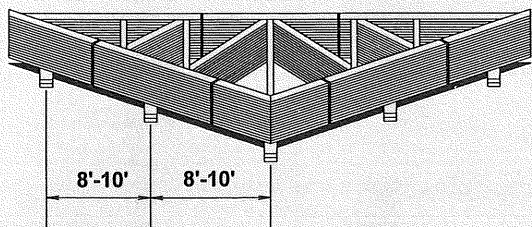


CAUTION: All temporary bracing should be no less than 2x4 grade marked lumber. All connections should be made with minimum of 2-16d nails. All trusses assumed 2' on-center or less. All multi-ply trusses should be connected together in accordance with design drawings prior to installation.



TRUSS STORAGE

CAUTION: Trusses should not be unloaded on rough terrain or uneven surfaces which could cause damage to the truss.



CAUTION: Trusses stored horizontally should be supported on blocking to prevent excessive lateral bending and lessen moisture gain.



CAUTION: Trusses stored vertically should be braced to prevent toppling or tipping.



WARNING: Do not break banding until installation begins. Care should be exercised in banding removal to avoid shifting of individual trusses.



DANGER: Do not store bundles upright unless properly braced. Do not break bands until bundles are placed in a stable horizontal position.



WARNING: Do not lift bundled trusses by the bands. Do not use damaged trusses.

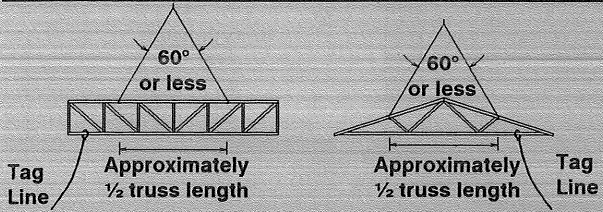


DANGER: Walking on trusses which are lying flat is extremely dangerous and should be strictly prohibited.

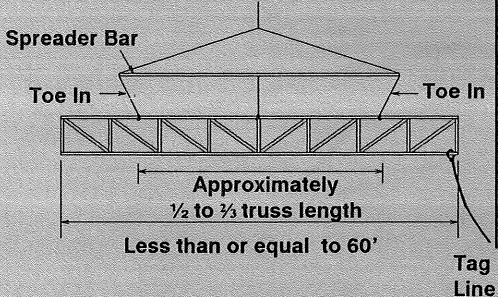
WARNING: Do not attach cables, chains, or hooks to the web members.

WARNING: Do not lift single trusses with spans greater than 30' by the peak.

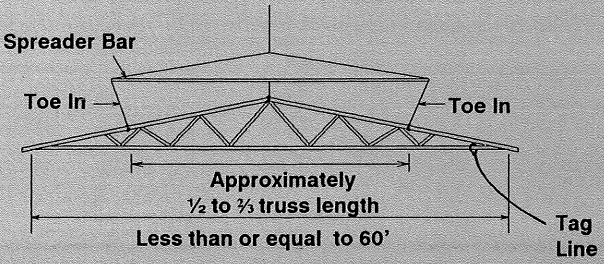
MECHANICAL INSTALLATION



Truss spans less than 30'.

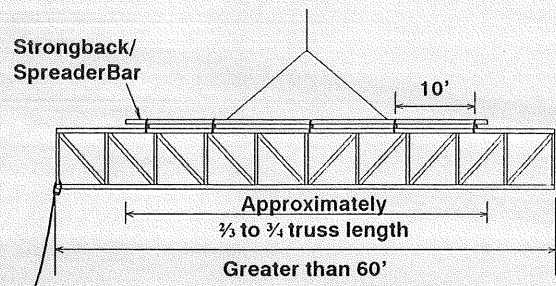
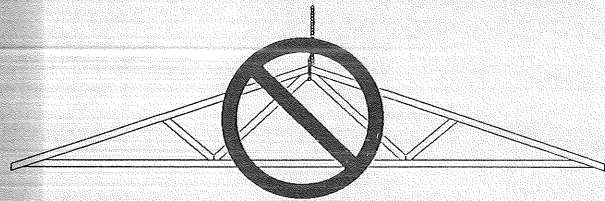


Approximately 1/2 to 3/4 truss length
Less than or equal to 60'

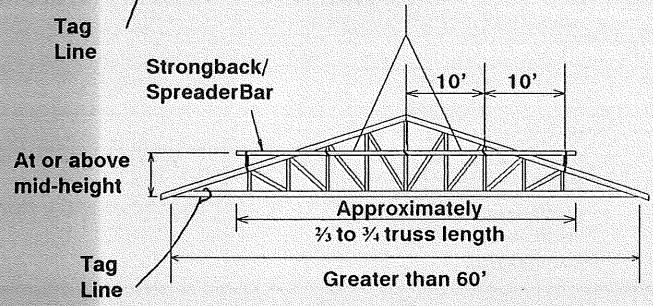


Approximately 1/2 to 3/4 truss length
Less than or equal to 60'

Lifting devices should be connected to the truss top chord with a closed-loop attachment utilizing materials such as slings, chains, cables, nylon strapping, etc. of sufficient strength to carry the weight of the truss. Each truss should be set in proper position per the building designer's framing plan and held with the lifting device until the ends of the truss are securely fastened and temporary bracing is installed.



Tag Line



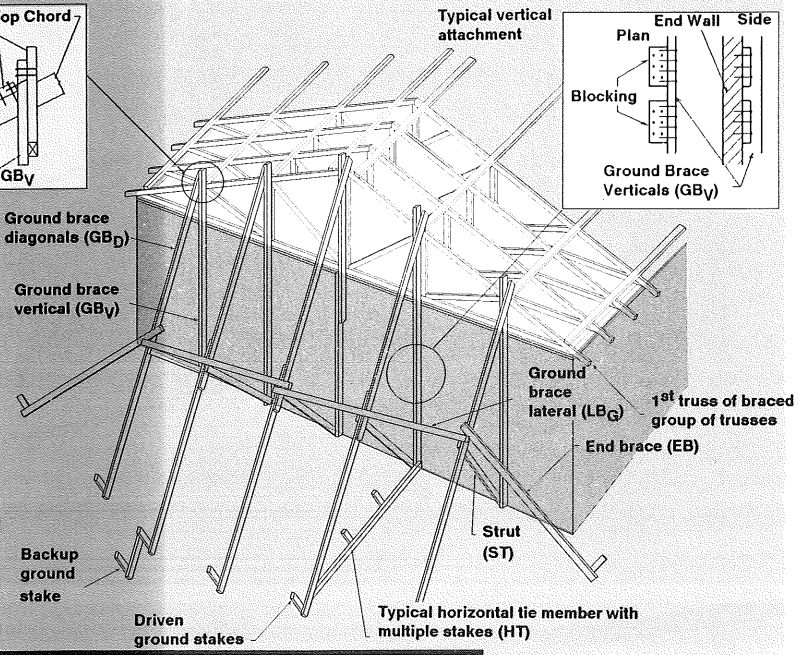
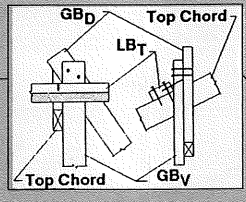
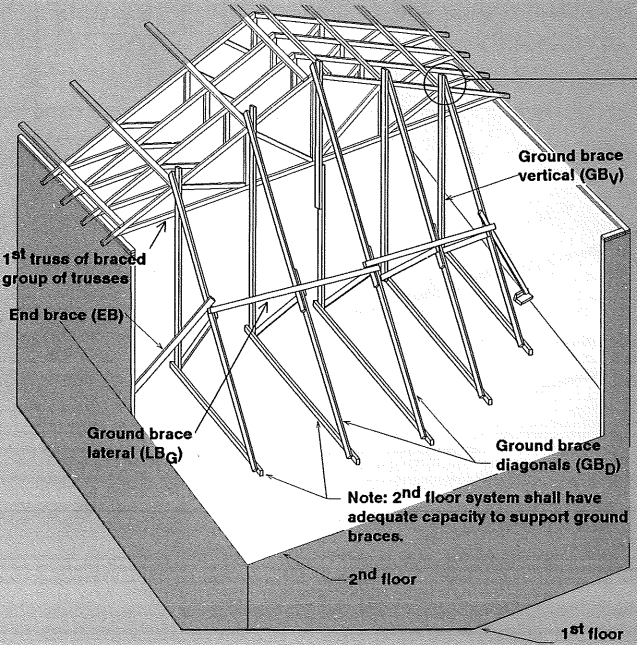
At or above mid-height

Tag Line

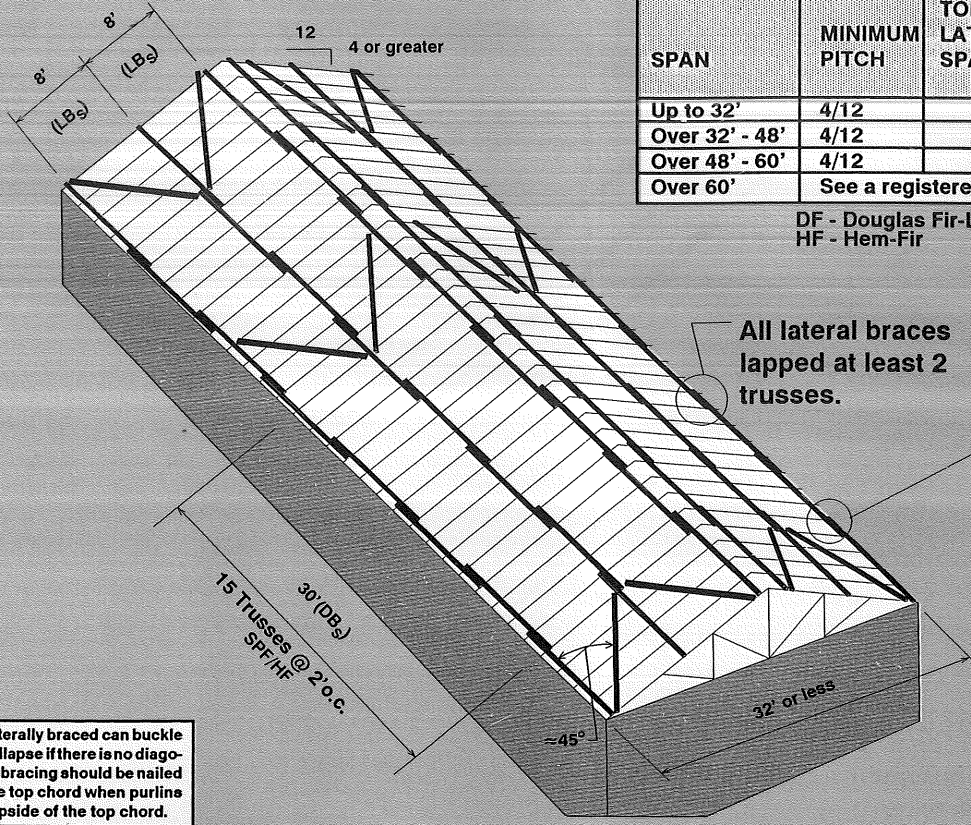
CAUTION: Temporary bracing shown in this summary sheet is adequate for the installation of trusses with similar configurations. Consult a registered professional engineer if a different bracing arrangement is desired. The engineer may design bracing in accordance with TPI's *Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses, DSB-89*, and in some cases determine that a wider spacing is possible.

GROUND BRACING: BUILDING INTERIOR

GROUND BRACING: BUILDING EXTERIOR

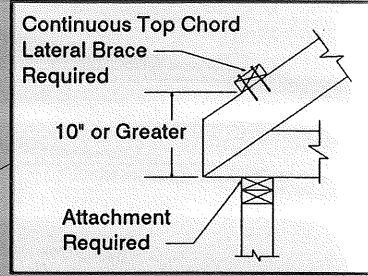


CAUTION: Ground bracing required for all installations.



SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING (LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	8'	20	15
Over 32' - 48'	4/12	6'	10	7
Over 48' - 60'	4/12	5'	6	4
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



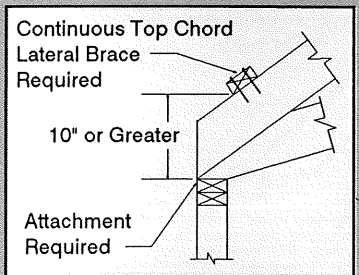
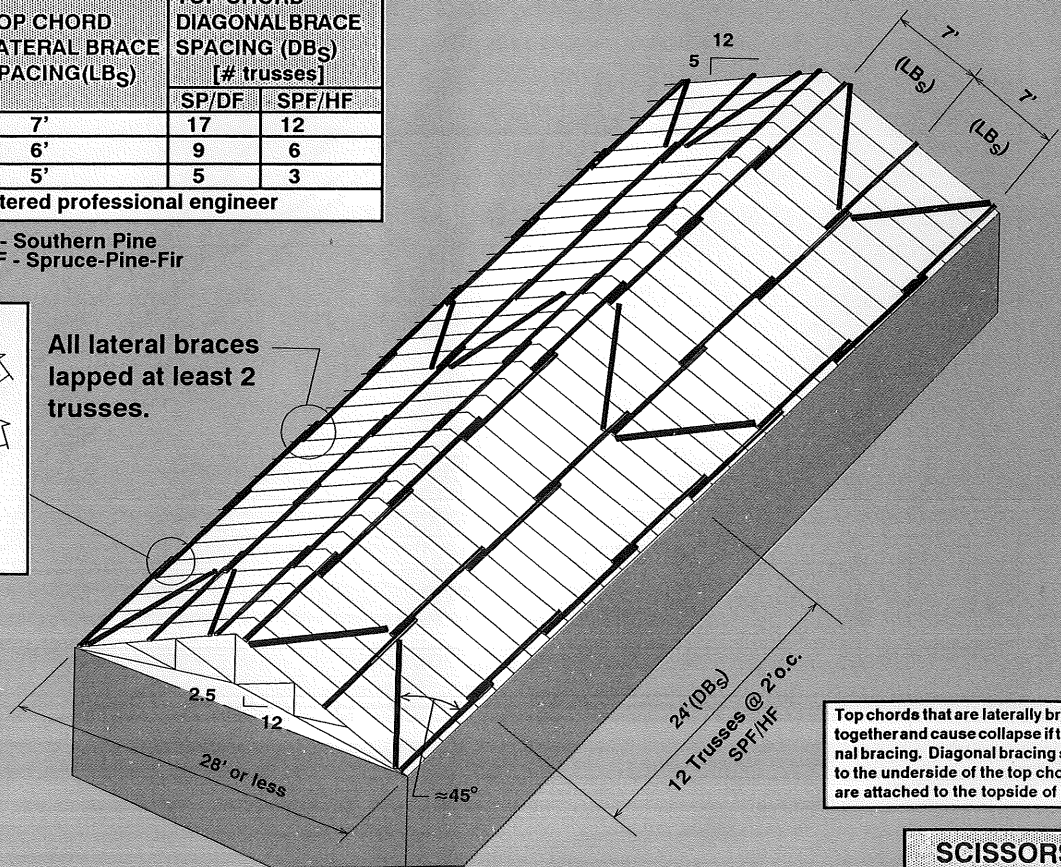
Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

PITCHED TRUSS

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

SPAN	MINIMUM PITCH DIFFERENCE	TOP CHORD LATERAL BRACE SPACING (LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s) [# trusses]	
			SP/DF	SPF/HF
Up to 28'	2.5	7'	17	12
Over 28' - 42'	3.0	6'	9	6
Over 42' - 60'	3.0	5'	5	3
Over 60'	See a registered professional engineer			

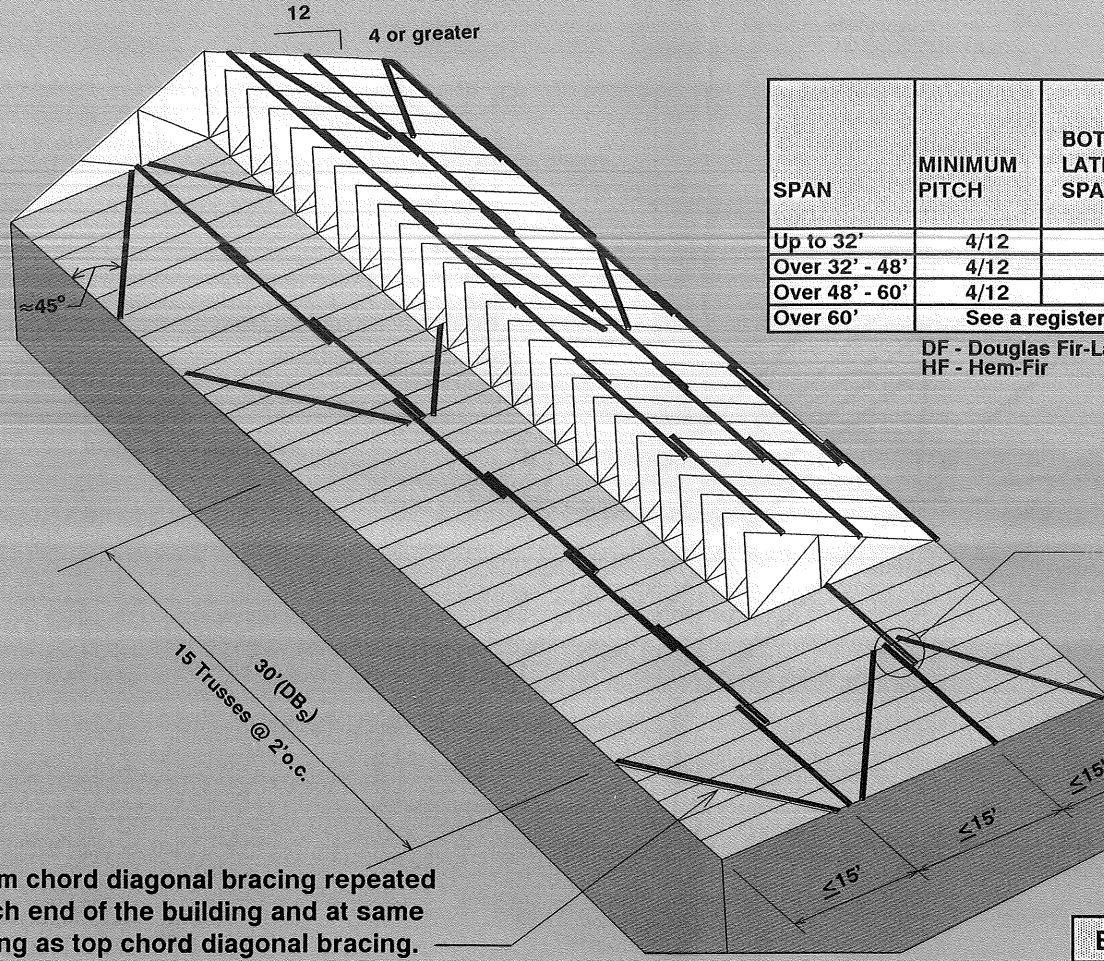
DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



All lateral braces lapped at least 2 trusses.

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

SCISSORS TRUSS



SPAN	MINIMUM PITCH	BOTTOM CHORD LATERAL BRACE SPACING (LBS)	BOTTOM CHORD DIAGONAL BRACE SPACING (DBs) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	15'	20	15
Over 32' - 48'	4/12	15'	10	7
Over 48' - 60'	4/12	15'	6	4
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
HF - Hem-Fir

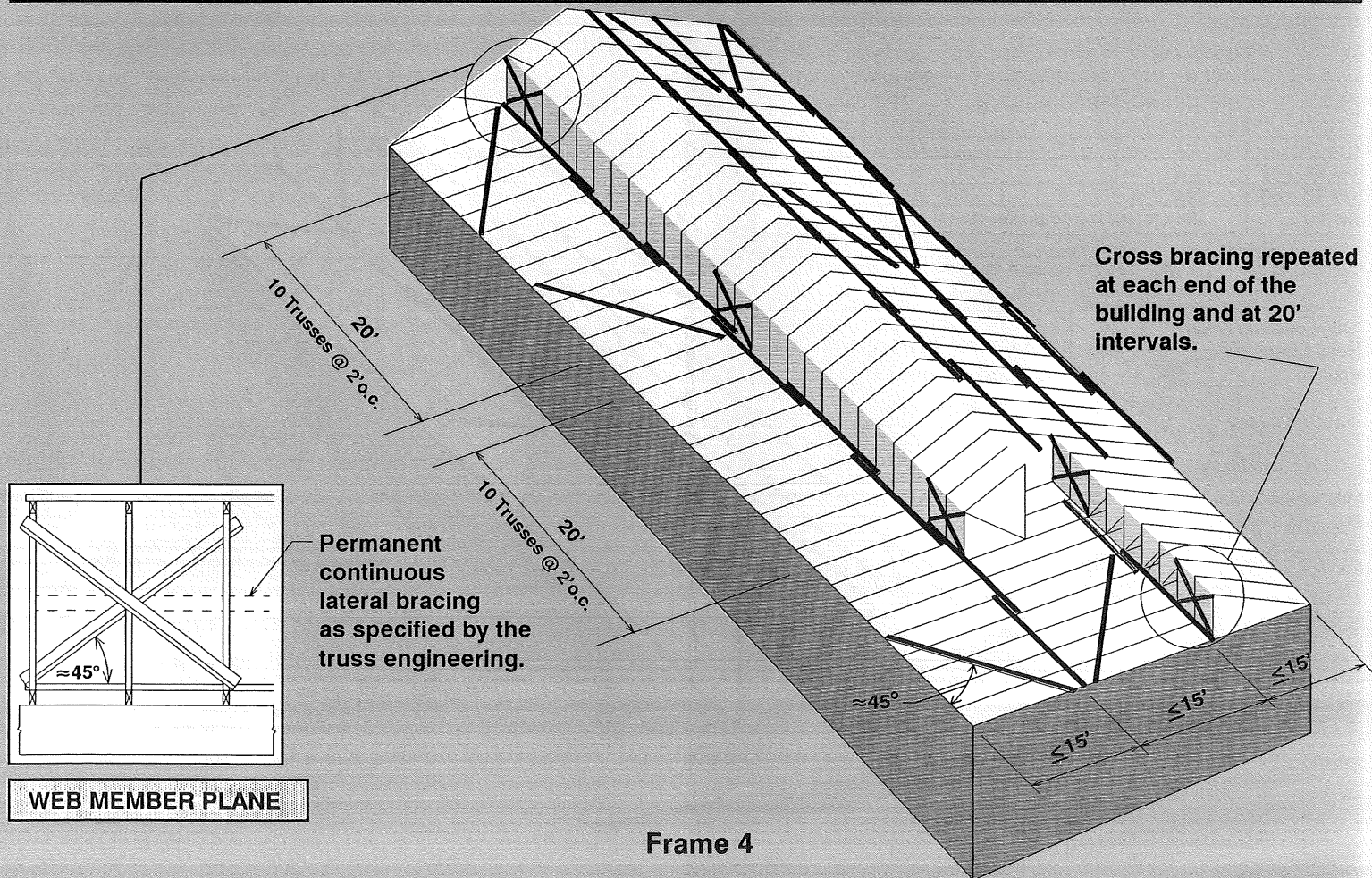
SP - Southern Pine
SPF - Spruce-Pine-Fir

All lateral braces lapped at least 2 trusses.

Bottom chord diagonal bracing repeated at each end of the building and at same spacing as top chord diagonal bracing.

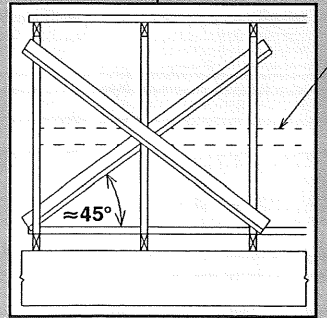
BOTTOM CHORD PLANE

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.



Cross bracing repeated at each end of the building and at 20' intervals.

Permanent continuous lateral bracing as specified by the truss engineering.



WEB MEMBER PLANE

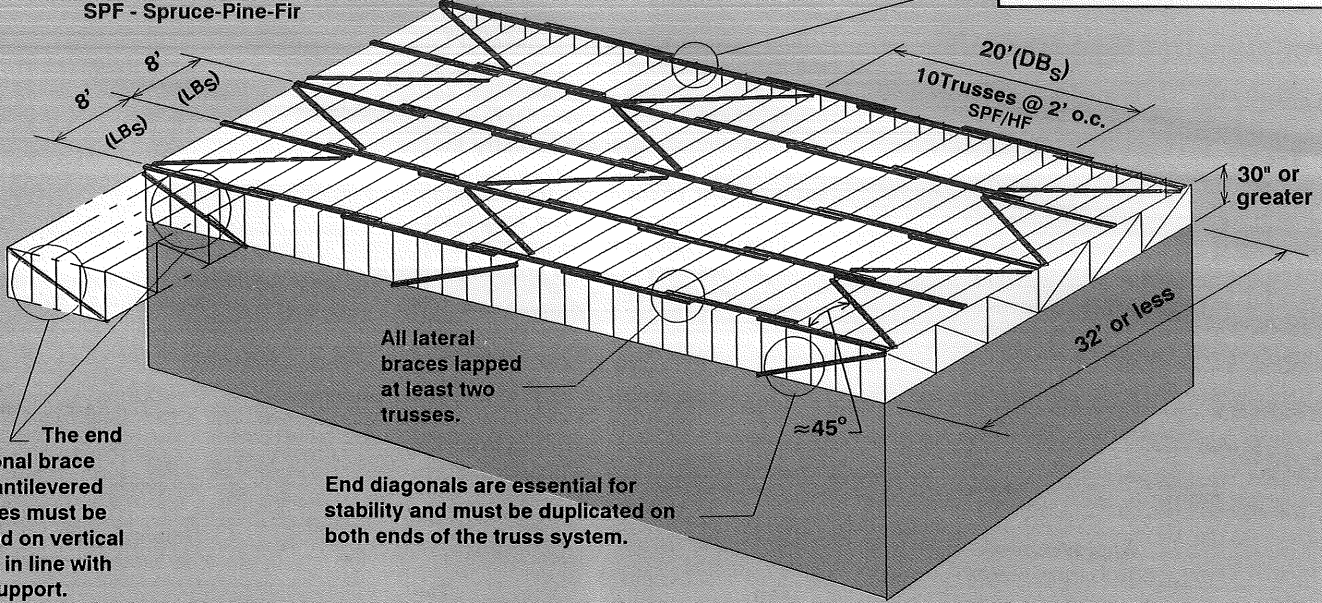
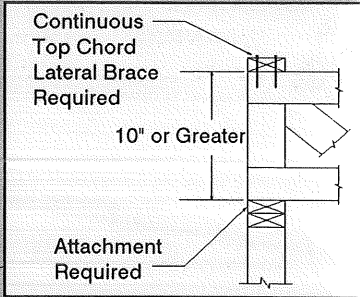
Frame 4

SPAN	MINIMUM DEPTH	TOP CHORD LATERAL BRACE SPACING (LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	30"	8'	16	10
Over 32' - 48'	42"	6'	6	4
Over 48' - 60'	48"	5'	4	2
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch SP - Southern Pine
 HF - Hem-Fir SPF - Spruce-Pine-Fir

2x4/2x6 PARALLEL CHORD TRUSS

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



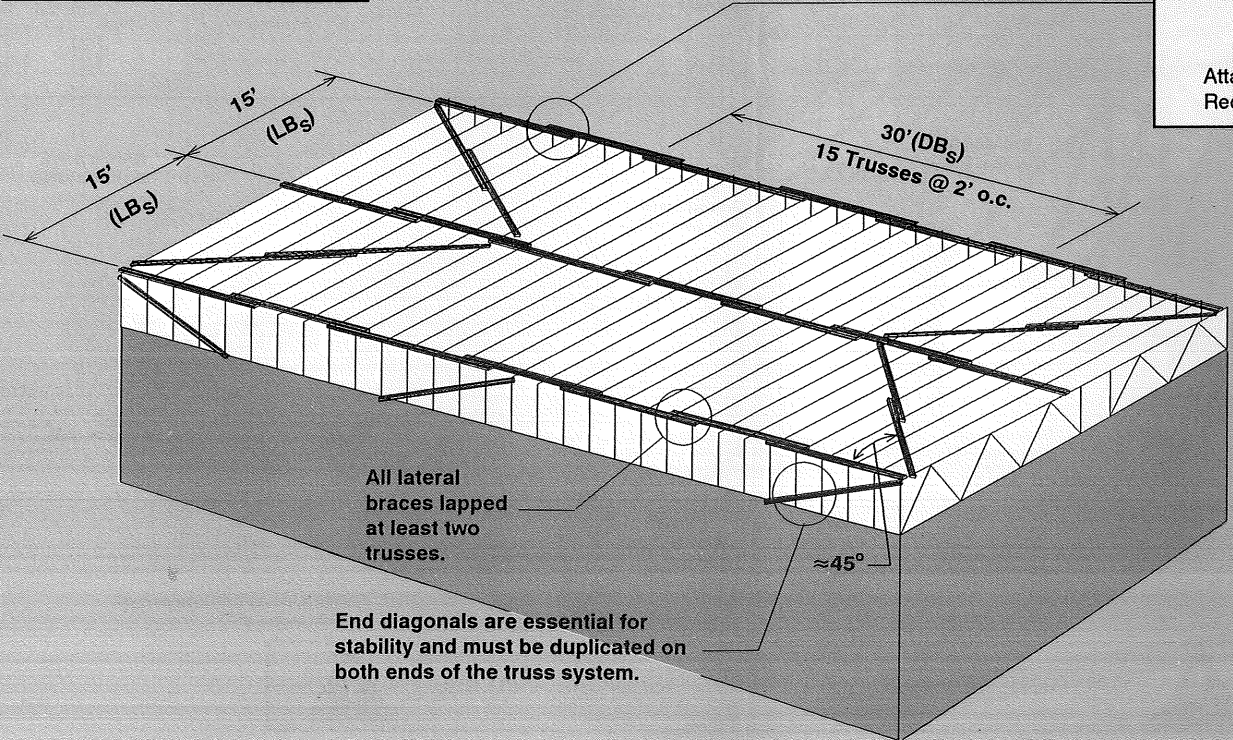
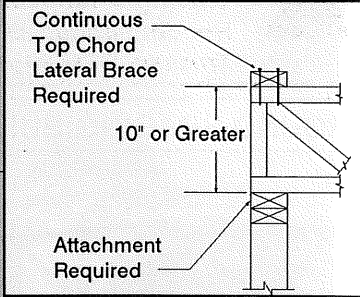
The end diagonal brace for cantilevered trusses must be placed on vertical webs in line with the support.

End diagonals are essential for stability and must be duplicated on both ends of the truss system.

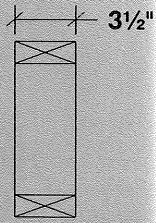
WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

4x2 PARALLEL CHORD TRUSS: TOP CHORD

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



All lateral braces lapped at least two trusses.
 End diagonals are essential for stability and must be duplicated on both ends of the truss system.

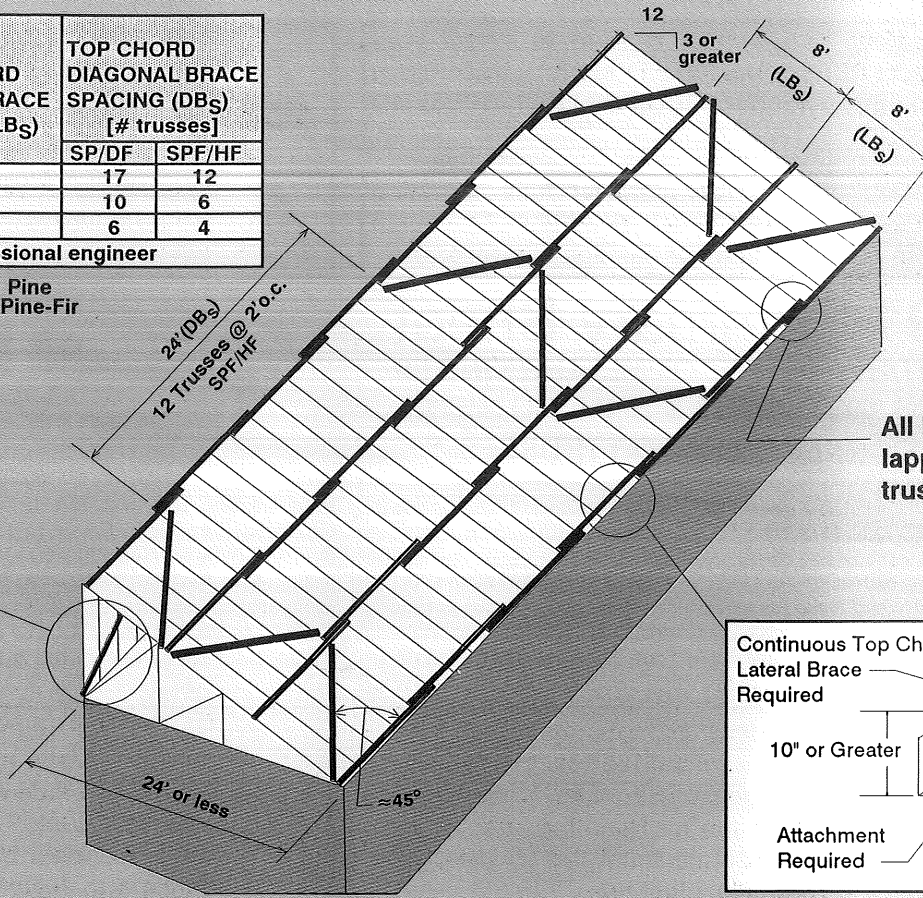


Trusses must have lumber oriented in the horizontal direction to use this brace spacing.

SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING (LB _S)	TOP CHORD DIAGONAL BRACE SPACING (DB _S) [# trusses]	
			SP/DF	SPF/HF
Up to 24'	3/12	8'	17	12
Over 24' - 42'	3/12	7'	10	6
Over 42' - 54'	3/12	6'	6	4
Over 54'	See a registered professional engineer			

DF - Douglas Fir-Larch
HF - Hem-Fir

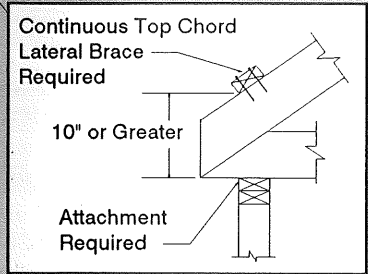
SP - Southern Pine
SPF - Spruce-Pine-Fir



Diagonal brace also required on end verticals.

All lateral braces lapped at least 2 trusses.

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



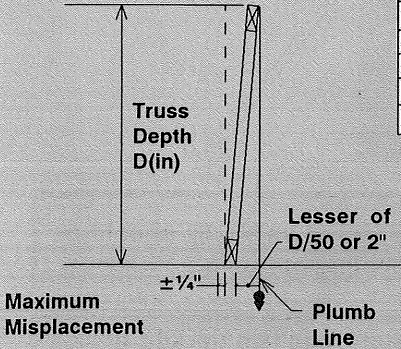
MONO TRUSS

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

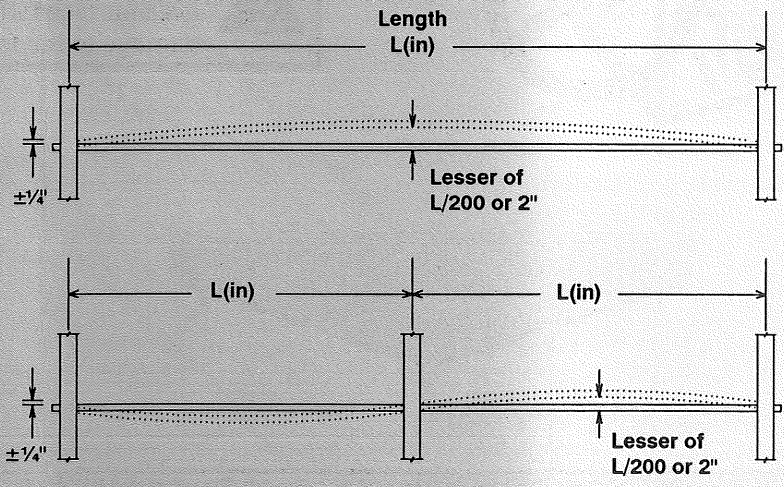
INSTALLATION TOLERANCES

PLUMB

D (in)	D/50	D (ft)
12"	1/4"	1'
24"	1/2"	2'
36"	3/4"	3'
48"	1"	4'
60"	1-1/4"	5'
72"	1-1/2"	6'
84"	1-3/4"	7'
96"	2"	8'
108"	2"	9'



BOW



L (in)	L/200	L (ft)
50"	1/4"	4.2'
100"	1/2"	8.3'
150"	3/4"	12.5'

L (in)	L/200	L (ft)
200"	1"	16.7'
250"	1-1/4"	20.8'
300"	1-1/2"	25.0'

OUT-OF-PLUMB INSTALLATION TOLERANCES.

OUT-OF-PLANE INSTALLATION TOLERANCES.

WARNING: Do not cut trusses.

DANGER: Under no circumstances should construction loads of any description be placed on unbraced trusses.