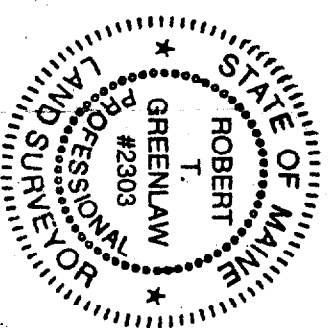


GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JOHN J. CAVALLARO BOOK 9450 PAGE 501 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF ORIGINAL PARCEL: 25200.0 SQ. FT. 0.58 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. PLAN OF BRIGHTON AVE. TERRACE PORTLAND, MAINE OWNED BY J. W. WILBUR JULY 9 1906 BY A. L. ELIOT C. E. RECORDED PLAN BOOK 11, PAGE 13
 - b. CITY OF PORTLAND STREET LINE MAPS
 - c. CITY OF PORTLAND ASSESSORS PLAN NO 261 LOT B22-27 & 46-51
 - d. PORTLAND WATER DISTRICT SYSTEM BASE MAPPING STUDY AREA DRAWING NO. 11-8 DATED 1981
5. ELEVATIONS BASED ON NGVD 1929
6. BASE FLOOD LIMIT AS SHOWN ON FIRM FLOOD INS. RATE MAP OF CITY OF PORTLAND, ME. CUMBERLAND COUNTY, PANEL # 230051 0012C, DATED DECEMBER 8, 1998 (FLOOD ELEVATION = 46.00) LINE SHOWN HEREON DIGITIZED FROM THE ABOVE MAP.

USE FOR FIRM

11/19/03
After The
subdivision sign
quester



HAY BALE BARRIER/SILT FENCE TO BE INSTALLED PRIOR TO CONSTRUCTION.

- LEGEND**
- Capped 5/8" Rebar Set With Registration Number 2303.
 - Iron Pipe or Solid Pin Found
 - Sanitary Manhole
 - Utility Pole
 - Property Line
 - Street Line
 - (50.00') Distance from reference plan or deed.
 - N/F New Or Formerly
 - - - Edge of traveled way
 - - - Set Back Line
 - - - S - Silt Fence to be installed.

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw

DATE: 09/08/2003

ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

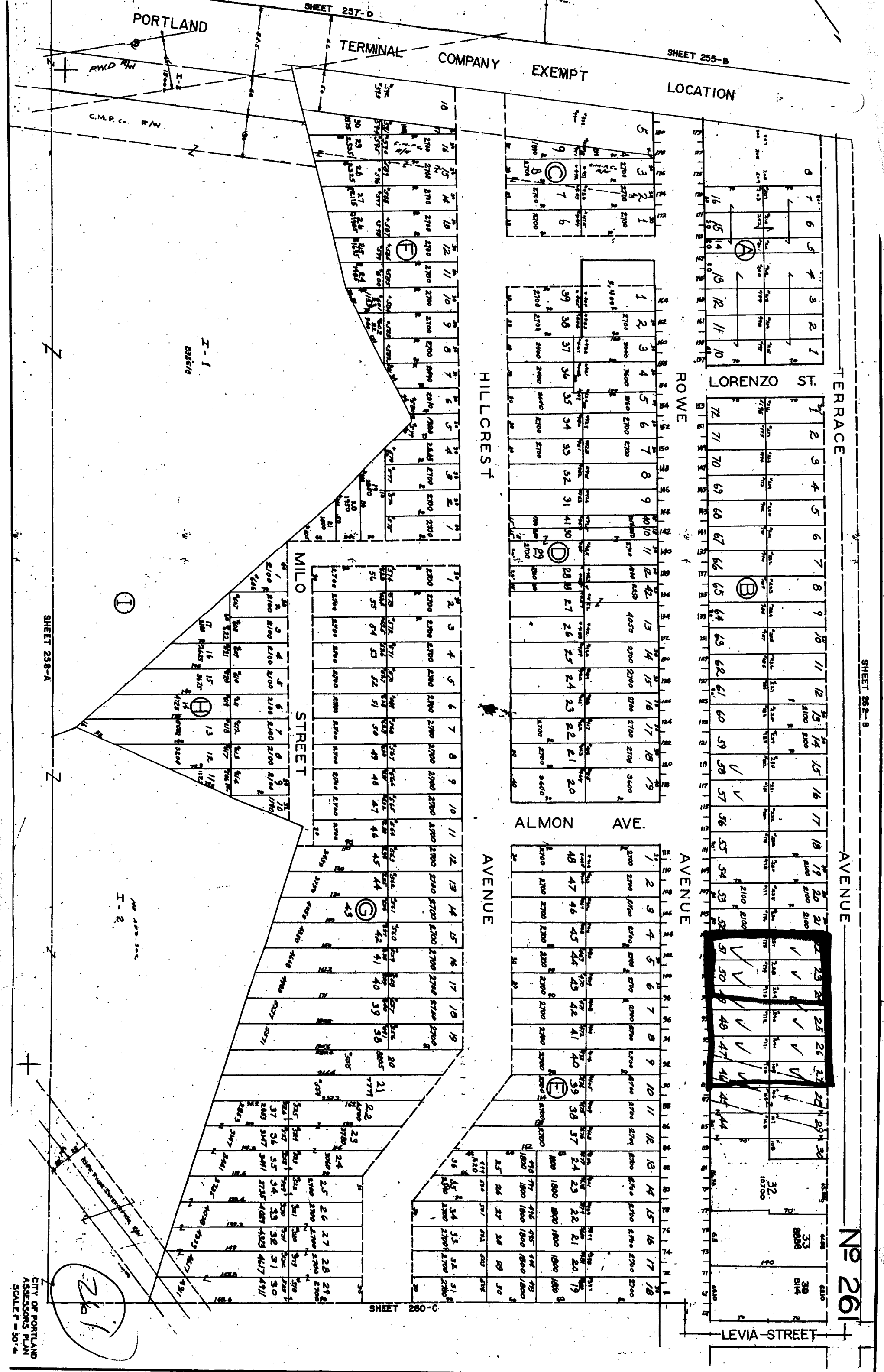
REVISION: 09-08-03 ADDED BOUNDARY INFO. & CHANGED SIZE OF PROPOSED HOME

SITE PLAN
 AT 99 ROWE STREET PORTLAND, MAINE

FOR: **JOHN CAVALLARO**

	PREPARED BY: BACK BAY BOUNDARY, INC. PROFESSIONAL LAND SURVEYING	DRAWN BY: DMD CHECKED BY: GAS
	65 NEWBURY STREET PORTLAND, MAINE	SCALE: 1" = 40' DATE: 4/23/2003
	207-774-2855 FAX 207-761-2010	JOB NUMBER: 200338
		SHEET: 2 OF 2

DRAWER: 2003 NO. 38



PORTLAND

SHEET 257-D

TERMINAL COMPANY EXEMPT

SHEET 255-B

LOCATION

C.M.P. Co. P/W

I-1
232610

SHEET 258-A

I-2
444 444-300

SHEET 260-C

SHEET 262-B

TERRACE

LORENZO ST.

ROWE

HILLCREST

ALMON AVE.

AVENUE

AVENUE

AVENUE

MILO STREET

No 261

LEVIA STREET

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50'

261

PORTLAND

TERMINAL COMPANY EXEMPT

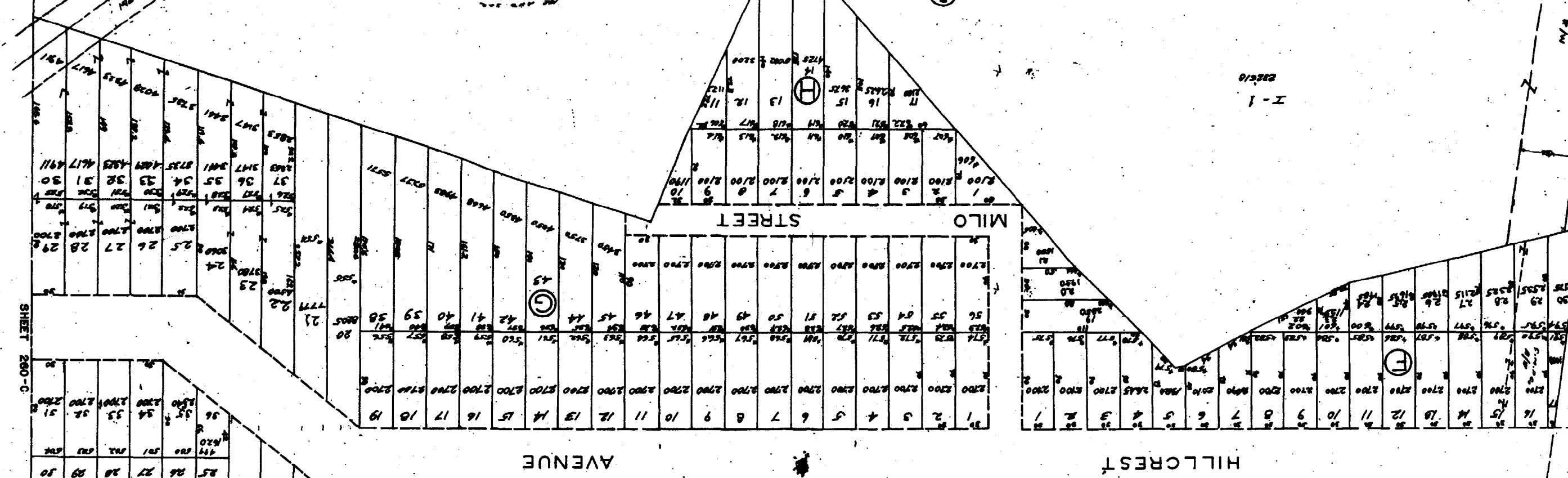
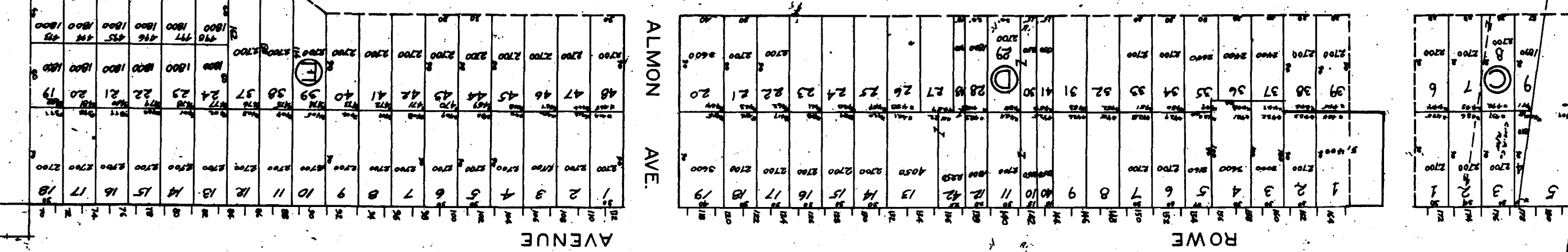
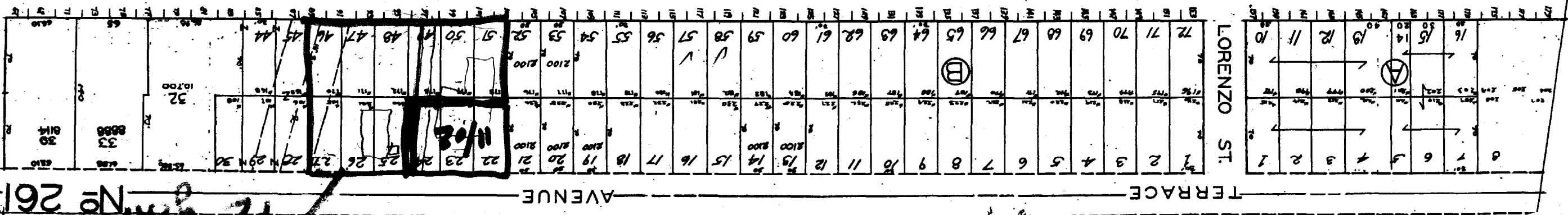
LOCATION

SHEET 258-B

SHEET 257-D

SHEET 260-C

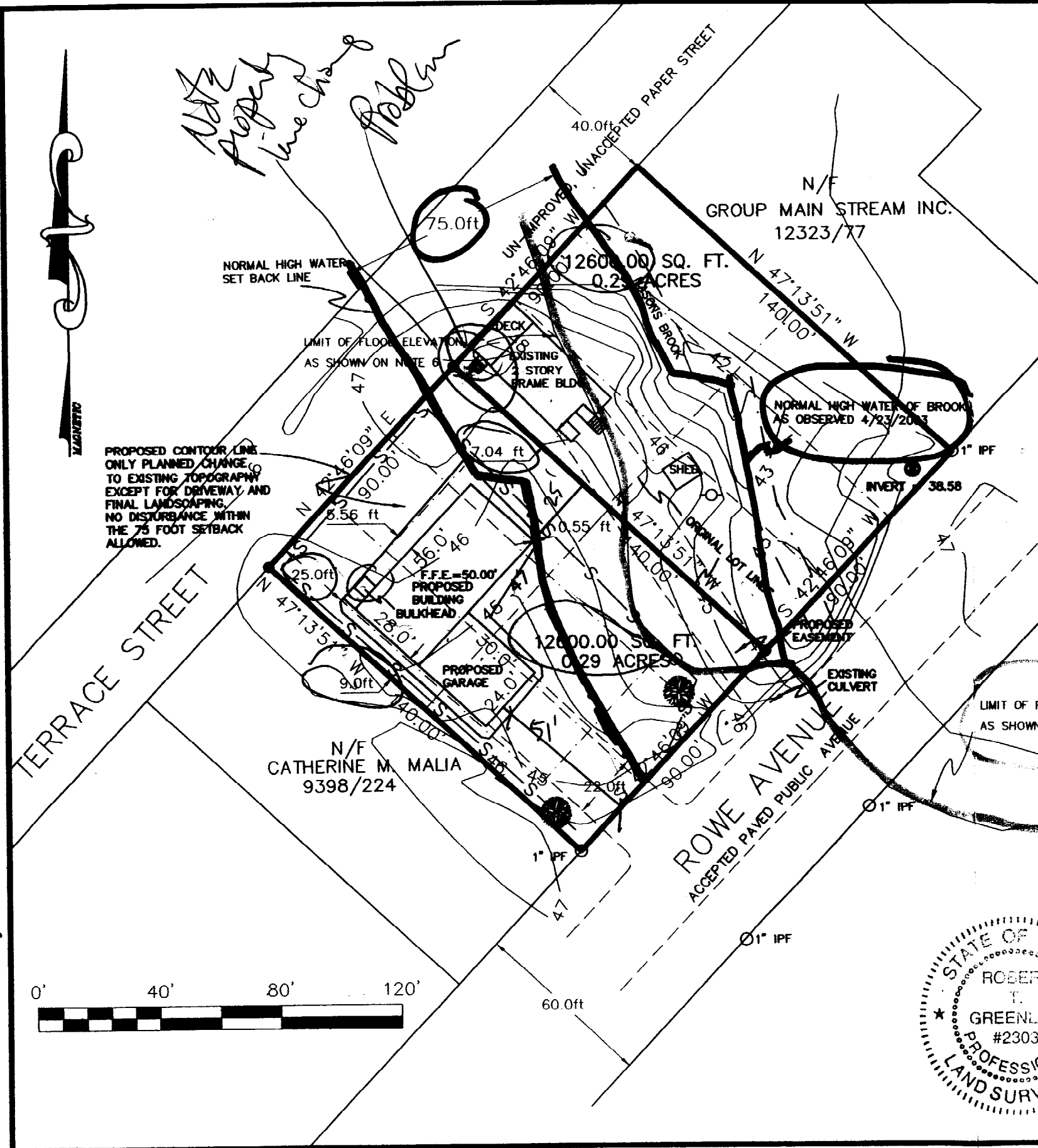
LEVIA STREET



261

ORIGINAL = VACANT LOT

see revised



GENERAL NOTES:

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5. EXISTING HOUSE BUILT IN 1930.

LEGEND

- Capped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- Sanitary Manhole
- Utility Pole
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- - - Edge of traveled way
- - - Set Back Line
- S Silt Fence to Be Installed.
- Proposed Street Tree

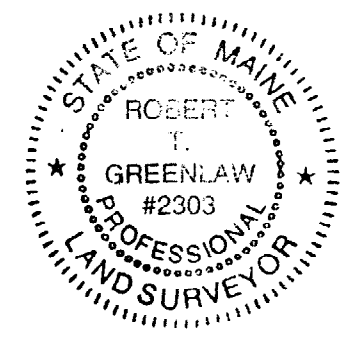
SURVEYORS STATEMENT:

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Robert T. Greenlaw
 ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

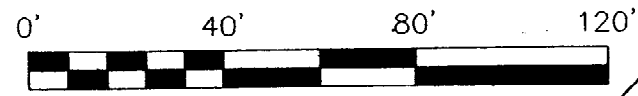
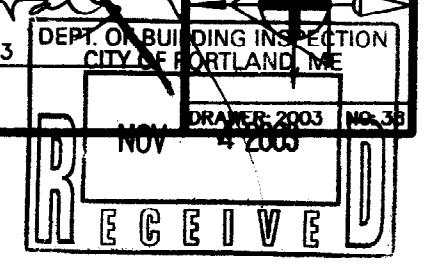
DATE: 10/31/2003
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

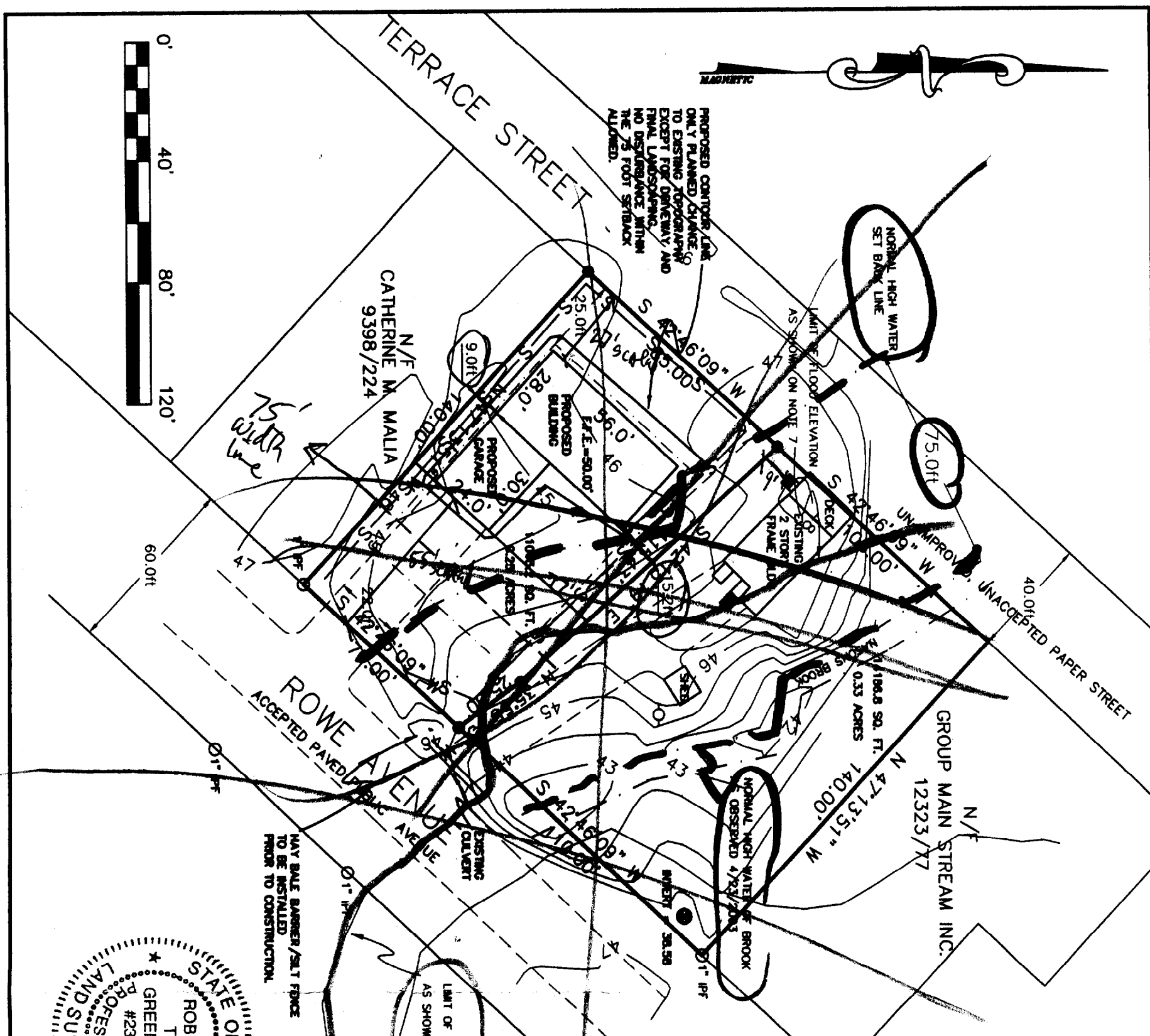


REVISION: 10-31-03-REVISED PROPERTY LINES, ADDED BULKHEAD, PROPOSED EASEMENT.
 SITE PLAN
 AT 99 ROWE STREET PORTLAND, MAINE
 JOHN CAVALLARO
 FOR:

DRAWN BY: DMD
 CHECKED BY: CAS
 SCALE: 1" = 40'
 DATE: 4/23/2003
 JOB NUMBER: 200338
 SHEET: 2 OF 2

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010



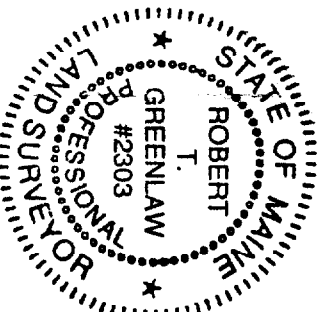
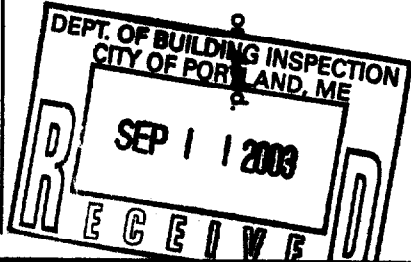


see revised plans dated 11/4/03 see revised

11/4/03
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- LEGEND**
- Capped 5/8" Rubber Set With Registration Number 2303.
 - Iron Pipe or Solid Pin Found
 - Sanitary Manhole
 - Utility Pole
 - Property Line
 - Street Line
 - (50.00') Distance from reference plan of
 - N/F Now Or Formerly
 - Edge of traveled way
 - Set Back Line
 - S - Sit Fence to Be Installed.



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Robert T. Greenlaw
ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 09/08/2003

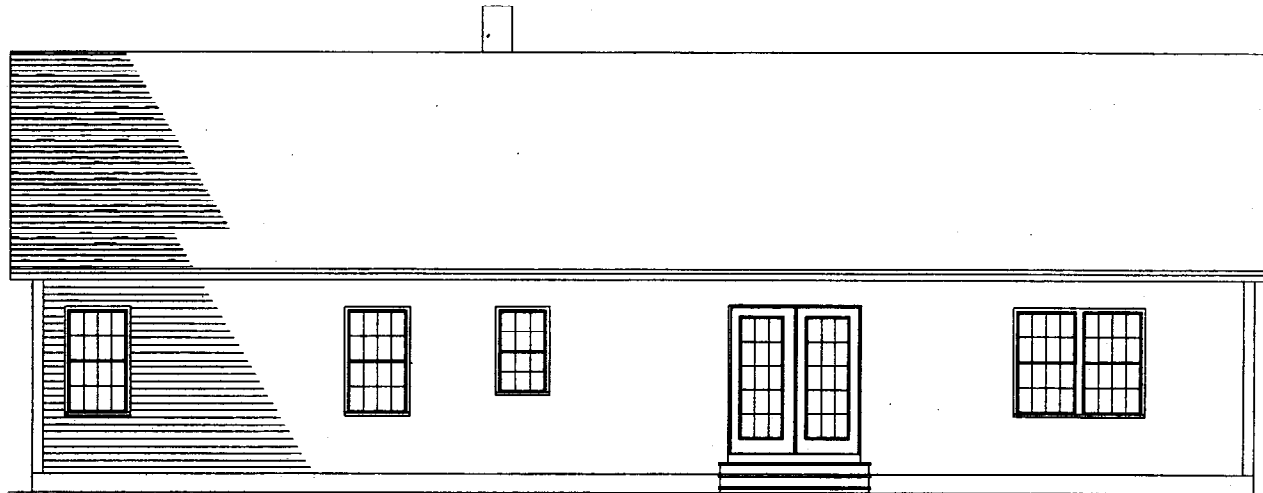
PREPARED BY: BACK BAY BOUNDARY, INC. PROFESSIONAL LAND SURVEYING 65 NEWBURY STREET PORTLAND, MAINE 207-774-2855 FAX 207-761-2010	DRAWN BY: DMD CHECKED BY: GAS SCALE: 1" = 40' DATE: 4/23/2003 JOB NUMBER: 200338 SHEET: 2 OF 2
--	--

REVISION: 09-08-03 ADDED BOUNDARY INFO. & CHANGED SIZE OF PROPOSED HOME
SITE PLAN AT 99 ROWE STREET PORTLAND, MAINE
FOR: <div style="text-align: center; font-size: 1.2em;"> JOHN CAVALLARO </div>

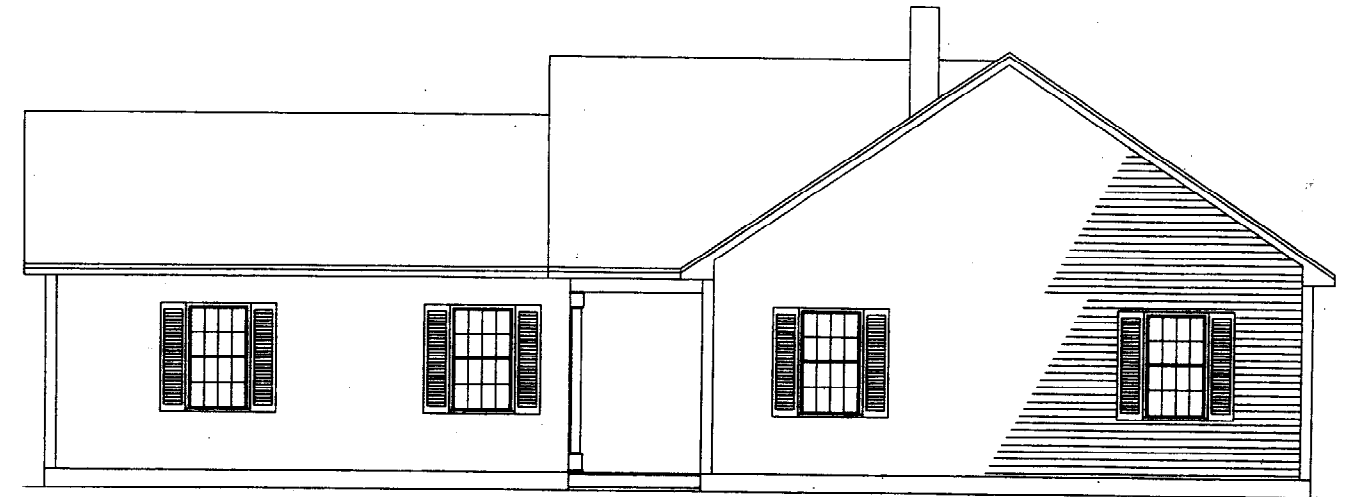
DRAWN: 2003 NO: 38

H.C.I.
 IF THIS STAMP IS NOT RED
 THIS IS AN ILLEGAL SET OF PLANS
 USE OR REPRODUCTION OF THESE PLANS WITHOUT
 PERMISSION IS PROHIBITED BY FEDERAL LAW
 VIOLATIONS ARE PUNISHABLE BY FINES OF UP TO \$ 100,000
 TO OBTAIN LEGAL COPIES OF THIS PLAN
 CONTACT
HOUSE CALLS INC.
 151 ROOSEVELT TRAIL, WINDHAM ME.
 207-892-2810

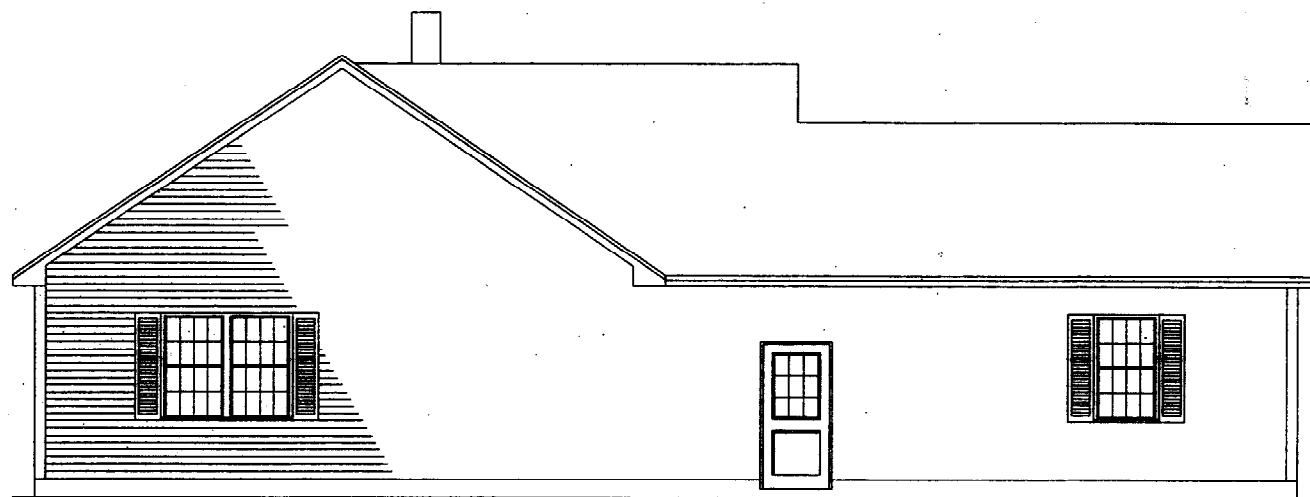
REAR ELEVATION



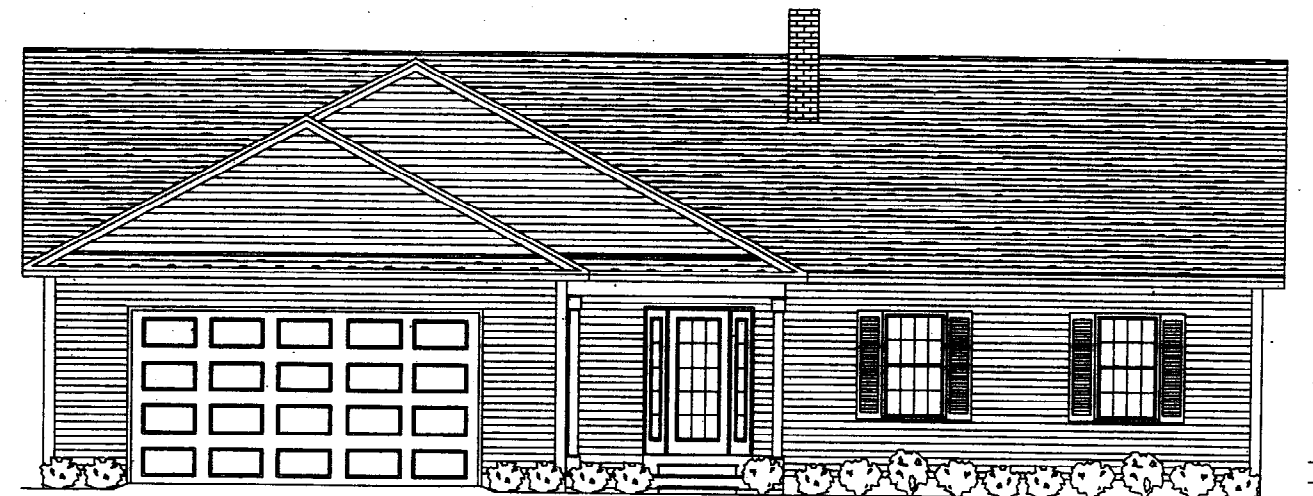
RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



HOUSE CALLS INC.
 HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, ME

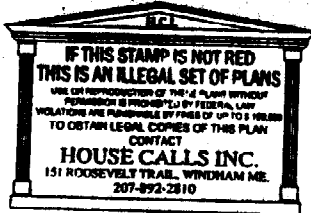
NAME **CAYALLARO RESIDENCE**
 DRAWING **ELEVATIONS**

SCALE **1/4" = 1'**
 DATE **8/03**

DRAWN BY **J. CALL**
 PAGE **1 OF 3**

IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL
 REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN
 ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS
 THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS
 BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT
 THE TIME OF CONSTRUCTION. THE OWNER AND THE BUILDER WILL GO OVER THESE
 DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR
 THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY
 ERRORS ARE FOUND, H.C.I. WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.

THESE DRAWINGS ARE COPY WRITTEN AND AS SUCH CANNOT BE COPIED, CONSTRUCTED FROM, OR GIVEN TO A THIRD PARTY
 WITHOUT WRITTEN PERMISSION FROM HOUSE CALLS INC. THEY ARE TO BE USED FOR THE CONSTRUCTION OF ONE HOME ONLY FOR THE
 PERSON NAMED ON THESE DRAWINGS



WINDOW NOTES:
 ALL DOOR AND WINDOW SIZES, BRAND, STYLE, AND EXACT LOCATIONS ARE TO BE DECIDED BETWEEN THE OWNER AND THE BUILDER.
 ANY DOOR OR WINDOW SIZES, STYLES OR LOCATIONS SHOWN ON PLAN ARE RECOMMENDATIONS ONLY.
 ALL WINDOWS ARE TO HAVE AT LEAST TWO BRASS STOPS.
 BATHROOM WINDOWS MAY NEED TO BE SAFETY GLASS CHECK WITH C.E.O.
 VERIFY ALL WINDOWS AND DOOR LOCATIONS WITH BUILDER BEFORE CONSTRUCTION STARTS.

REQ. STRUCTURAL:
 ALL OPENINGS OVER 4' ARE TO HAVE DOUBLE JACKS AND DOUBLE STUDS ON EACH SIDE.
 ALL HEADINGS ARE TO BE "BUILT-UP" 2x4, 2x6, 2x8 OR LAM BEAMS AS NEEDED.
 ALL PARTITION STUDS AND CORNER STUDS ARE TO BE INSULATED.

THE FINAL KITCHEN DESIGN IS TO BE DONE BY OTHERS.

PLEASE GO OVER ALL MEASUREMENTS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE WHAT YOU WANT.

IF THERE ARE ANY PLANNING WITH WINDOWS HOUSE CALLS INC. WILL BE GLAD TO CORRECT THEM BEFORE CONSTRUCTION STARTS.

ANY LAMINATED BEAMS OR STEEL BEAMS WILL BE SPECIFIED BY THE SUPPLIER (S&S).

ANY STAIRS MUST MEET PORTLANDS CODES OF MAX 1 3/4" RISE MIN 10" TREADS. HANDRAILS AT 36"

WINDOW SIZES SHOWN ON PLAN:
 (A) 2'-0" X 8'-0" OH
 (B) 2'-0" X 4'-0" OH
 (C) 2'-0" X 5'-0" CAS
 (D) 6'-0" X 5'-0" DCH

WINDOW SCHEDULE:

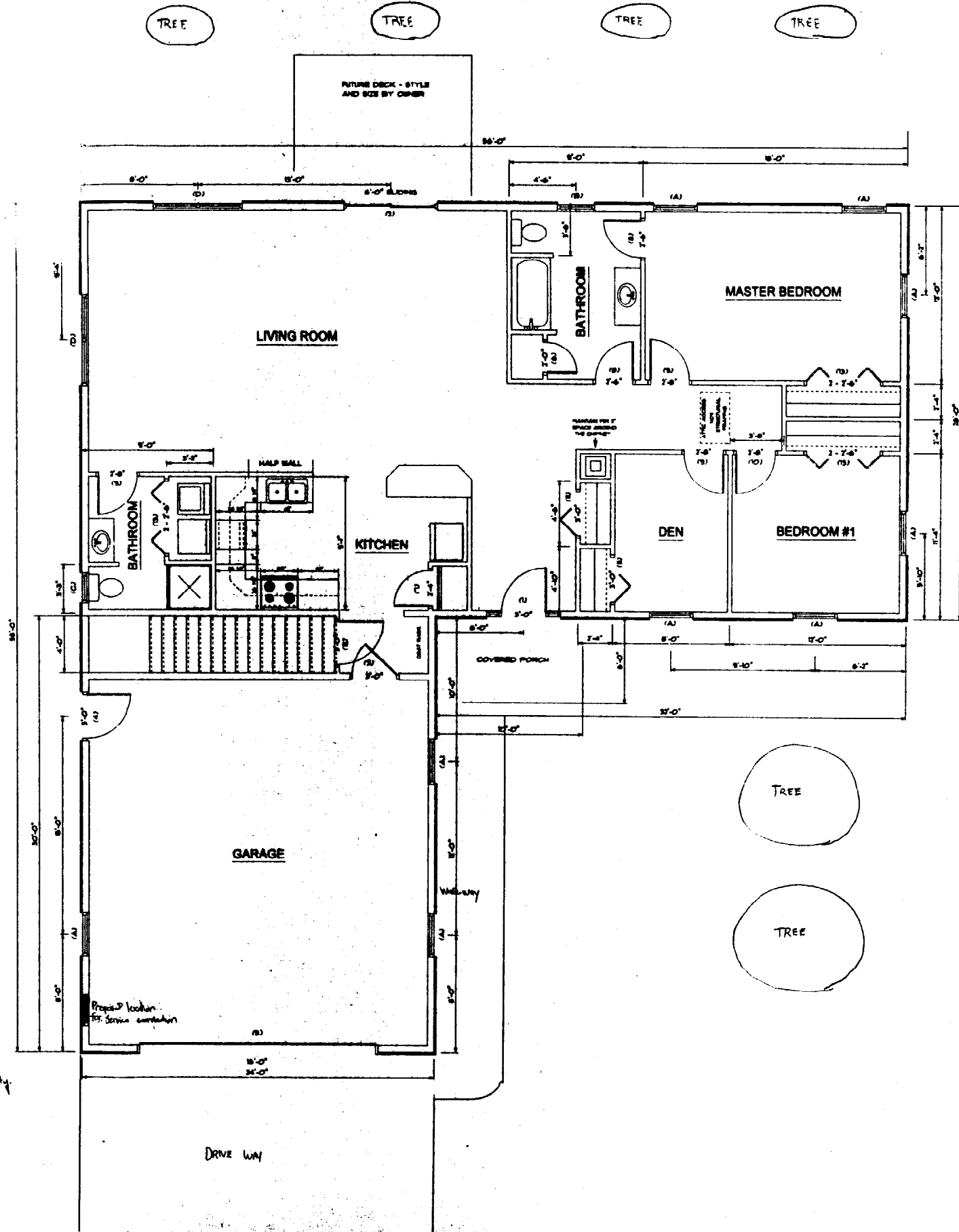
SIZE AND STYLE	ROUGH OPENING	QUANTITY
(A)		5
(B)		1
(C)		1
(D)		2

DOOR SCHEDULE:

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(A) 3' FRONT ENTRY W/ HANDLES		1
(B) 6' PATIO DOOR		1
(C) 3' EMERGENCY TO GARAGE FIRE DOOR		1
(D) 3' GARAGE REAR ENTRY		1
(E) INT GARAGE O.J.		1
(F) 2'-0" R		1
(G) 2'-0" L		1
(H) 2'-0" R		2
(I) 2'-0" L		2
(J) 2'-0" R		2
(K) 2'-0" L		2
(L) 2'-0" R		1
(M) 2'-0" L		3

VERIFY ALL WINDOWS AND DOOR STYLES, SIZES, BRANDS, AND QUANTITIES BEFORE ORDERING.
 SOME DOORS ARE IN 3 1/2" WALLS AND SOME ARE IN 6 1/2" WALLS - BUILDER TO VERIFY

- Field utility location to be determined by C.M.P. - Duvelling 200 NRP
- Disposal of surface water - Street has no existing storm drain. Will install hook up from structure to road for future hook up. Installing sub-pump and discharge to lowest point of property.



HOUSE CALLS INC.
 HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, ME

CAYALLARO RESIDENCE
 FLOOR PLAN

SCALE 1/4" = 1'
 DATE 8/03
 DRAWN BY J. CALL
 PAGE 2 OF 3

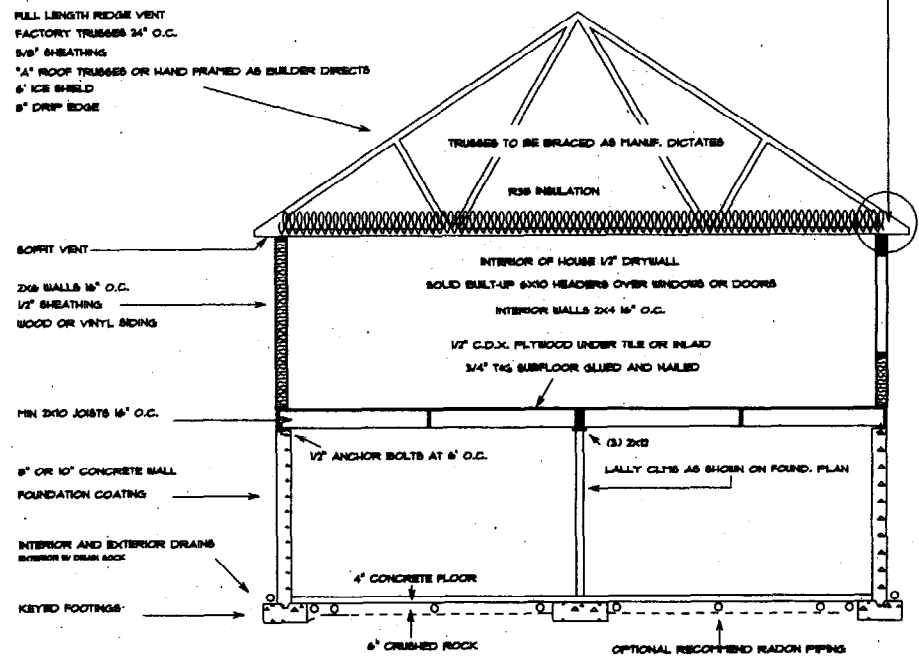
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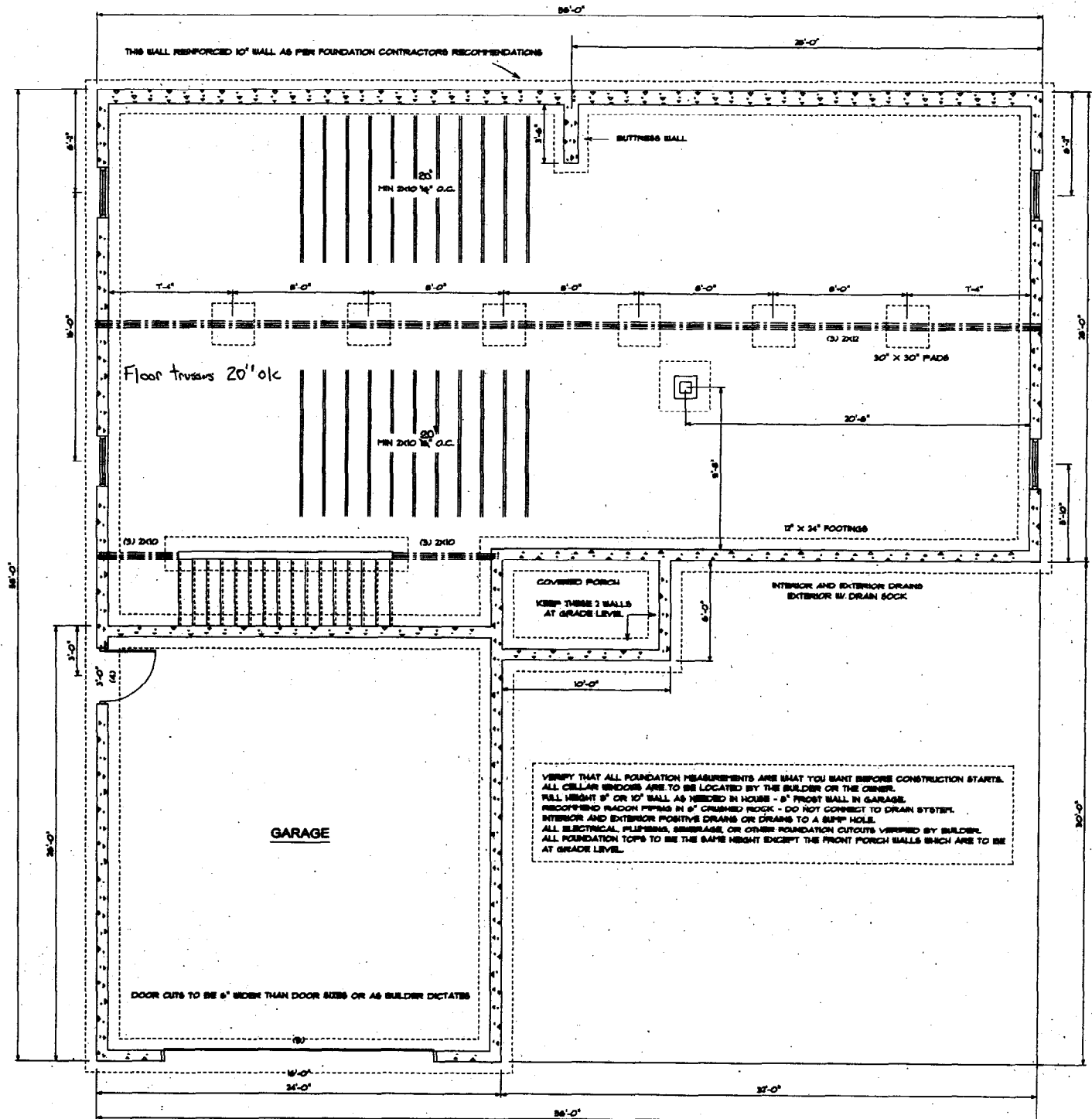
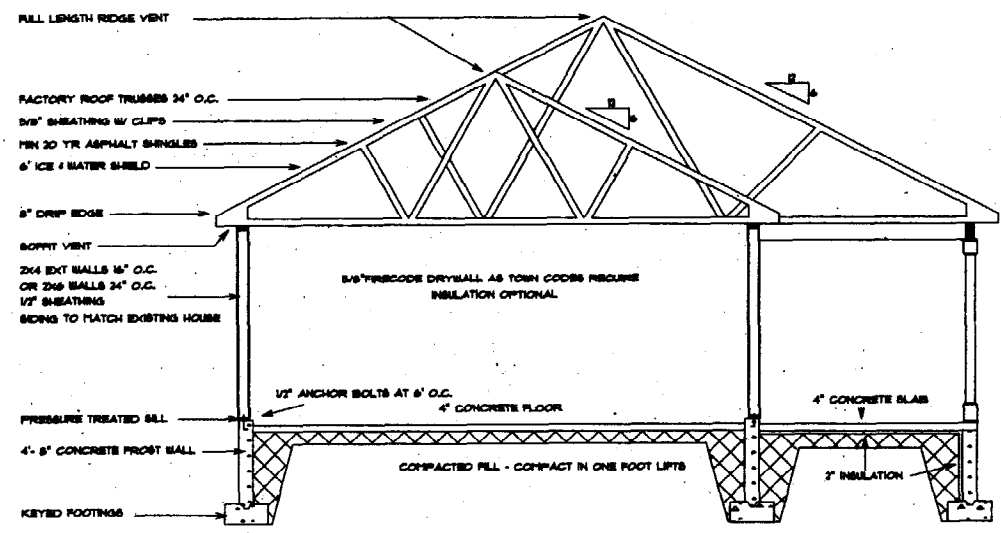
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 207-892-2810

TRUSSES SHOWN ARE REPRESENTATIONS ONLY ACTUAL TRUSSES DESIGNED BY MANUFACTURER
 USE CANTILEVERED STYLE TRUSSES FOR BETTER INSULATION ABOVE WALLS - SEE DETAIL

HOUSE STRUCTURAL



GARAGE / PORCH STRUCTURAL



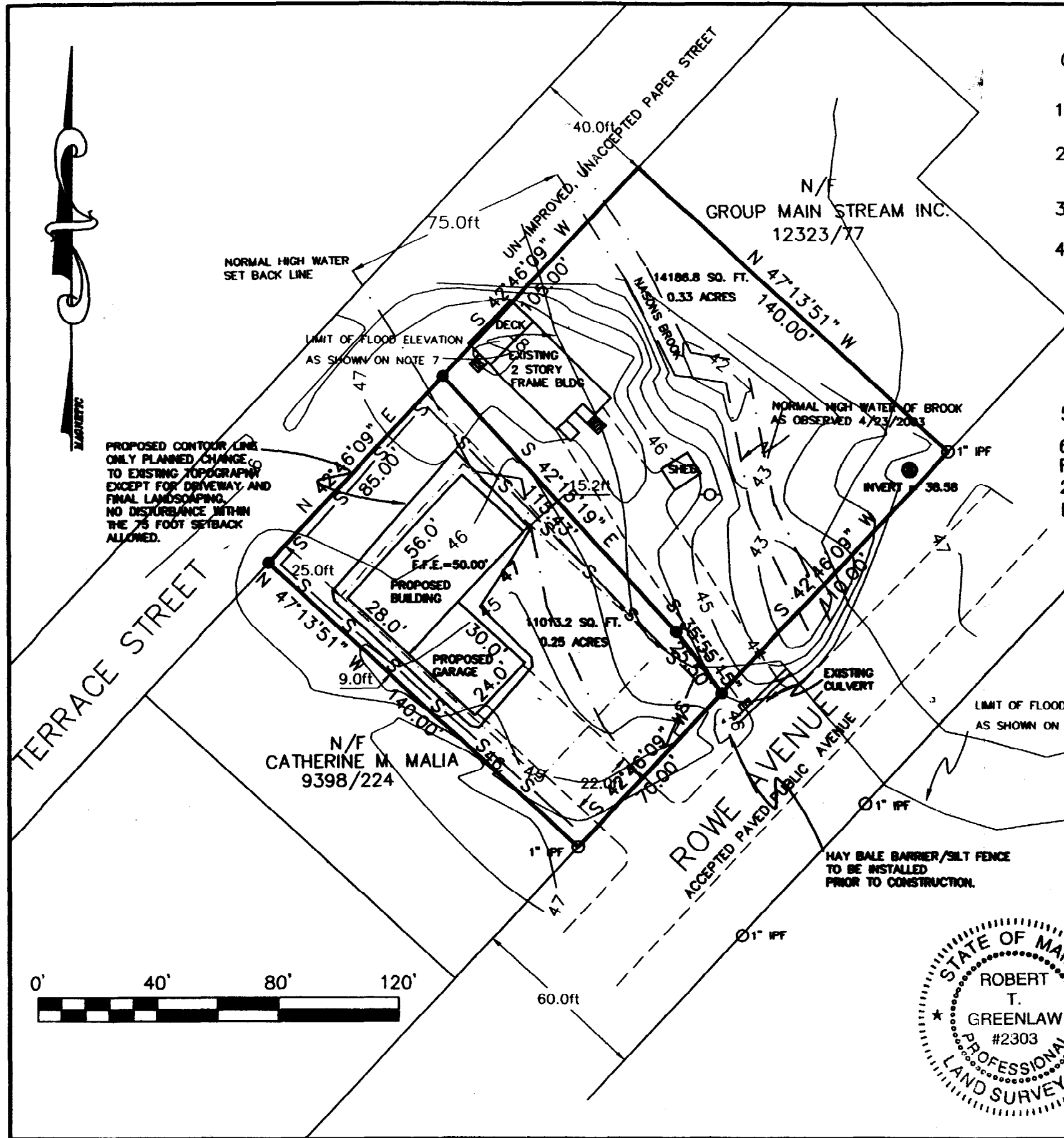
HOUSE CALLS INC.
HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, ME

NAME **CAYALLARO RESIDENCE**
 DRAWING **FOUNDATION & STRUCTURALS**

SCALE **1/4" = 1'**
 DATE **8/03**
 DRAWN BY **J. CALL**
 PAGE **3 OF 3**

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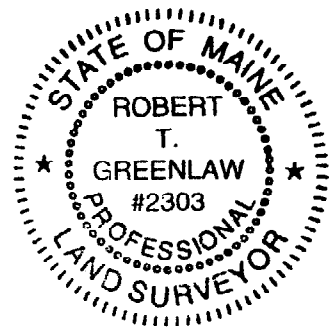
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Robert T. Greenlaw

DATE: 09/08/2003

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

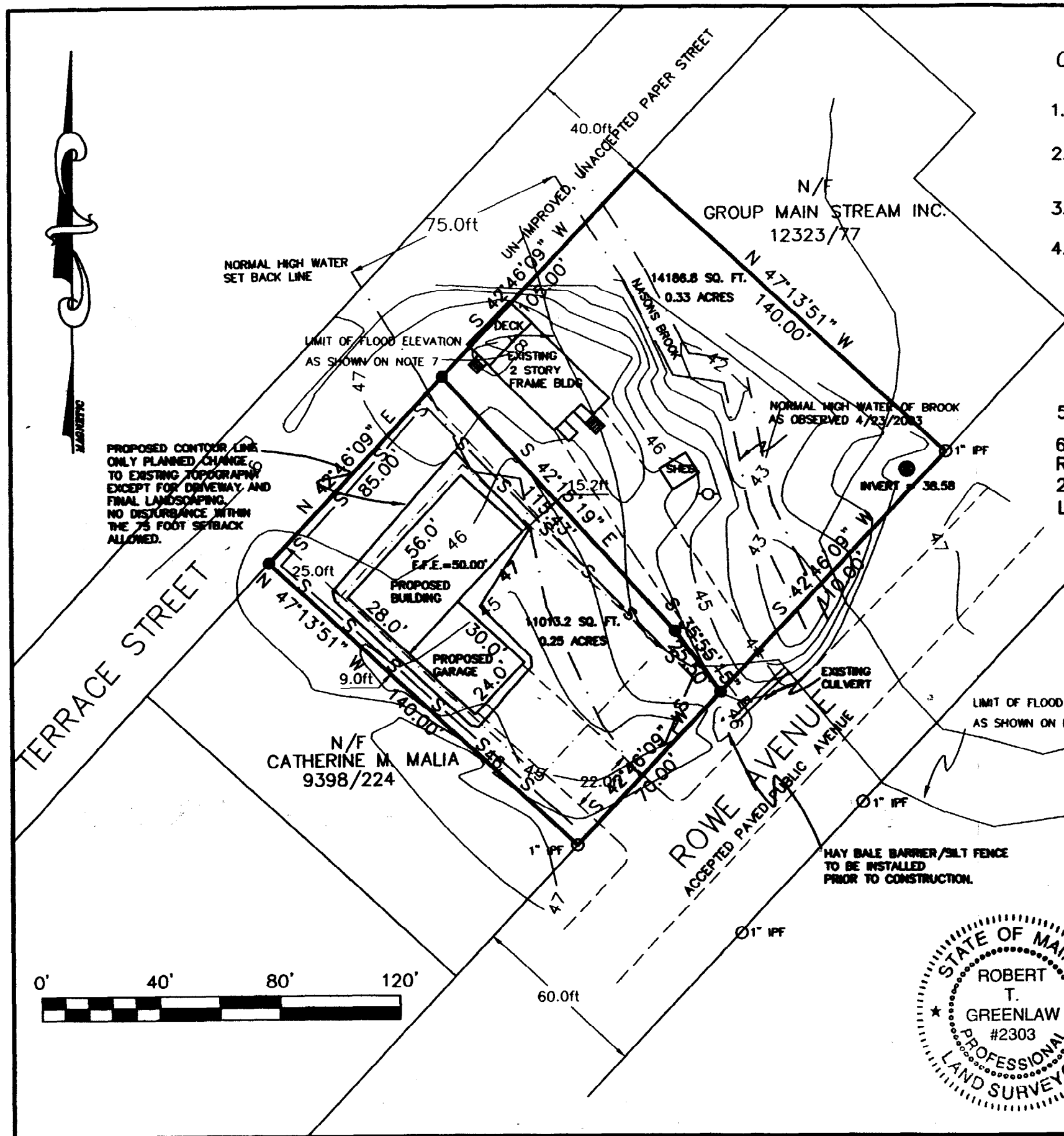


REVISION: 09-08-03 ADDED BOUNDARY INFO. & CHANGED SIZE OF PROPOSED HOME
STATE PLAN
AT 99 ROWE STREET PORTLAND, MAINE
JOHN CAVALLARO
 FOR:

DRAWN BY: DMD
 CHECKED BY: GAS
 SCALE: 1" = 40'
 DATE: 4/23/2003
 JOB NUMBER: 200338
 SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2003 NO: 38

9/10/03



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 - b. CITY OF PORTLAND STEET LINE MAPS
 - c. CITY OF PORTLAND ASSESSORS PLAN NO 261 LOT B22-27 & 46-51
 - d. PORTLAND WATER DISTRICT SYSTEM BASE MAPPING STUDY AREA DRAWING NO. 11-8 DATED 1981
5. ELEVATIONS BASED ON NGVD 1929
6. BASE FLOOD LIMIT AS SHOWN ON FIRM FLOOD INS. RATE MAP OF CITY OF PORTLAND, ME. CUMBERLAND COUNTY. PANEL # 230051 0012C, DATED DECEMBER 8, 1998 (FLOOD ELEVATION = 46.00) LINE SHOWN HEREON DIGITIZED FROM THE ABOVE MAP.

LEGEND

- Capped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- Sanitary Manhole
- Utility Pole
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- - - Edge of traveled way
- - - Set Back Line
- - - s - Silt Fence to Be Installed.

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw

DATE: 09/08/2003

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.



REVISION: 09-08-03 ADDED BOUNDARY INFO. & CHANGED SIZE OF PROPOSED HOME
SITE PLAN
 AT 99 ROWE STREET PORTLAND, MAINE
 JOHN CAVALLARO
 FOR:

DRAWN BY: DMD
 CHECKED BY: GAS
 SCALE: 1" = 40'
 DATE: 4/23/2003
 JOB NUMBER: 200358
 SHEET: 2 OF 2

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2003 NO: 38

9/10/03