

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1075	Issue Date: NOV 19 2003	CBL: 261 B022001
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Location of Construction: 101 101 99 Rowe Ave	Owner Name: Cavallaro John	Owner Address: 99 Rowe Ave CITY OF PORTLAND	Phone: 828-1566 865-2588 (4)
Business Name:	Contractor Name: Joe Gallant	Contractor Address: 15 Rochester St Westbrook	Phone: 2078540219
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: vacant land	Proposed Use: Single Family dwelling: construct new 28' x 56' ranch w/24' x 30' attached garage	Permit Fee: \$1,266.00	Cost of Work: \$130,000.00	CEO District: 3
Proposed Project Description: Construct new 28' x 56' ranch w/24' x 30' attached garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB BOCA 1999
		Signature:		Signature: JMB 11/19/03

Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____
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Permit Taken By: kwd	Date Applied For: 09/05/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<p>Special Zone or Review:</p> <input type="checkbox"/> Shoreland <i>Stream protection just outside of the 75' HWM</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 12 zone X</i> <input type="checkbox"/> Subdivision <i>not a subdivision</i> <input checked="" type="checkbox"/> Site Plan <i># 2003-1085</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>10/14/03</i> <i>OK with conditions</i> <i>OK again 11/19/03</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1075	Date Applied For: 09/05/2003	CBL: 261 B022001
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Location of Construction: 101 Rowe Ave	Owner Name: Cavallaro John	Owner Address: 99 Rowe Ave	Phone:
Business Name:	Contractor Name: Joe Gallant	Contractor Address: 15 Rochester St Westbrook	Phone (207) 854-0219
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family dwelling: construct new 28' x 56' ranch w/24' x 30' attached garage	Proposed Project Description: Construct new 28' x 56' ranch w/24' x 30' attached garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/14/2003

Note: 9/29/03 voice mail for J. Cavallaro - question on the deed description (3 lots along Rowe are not mentioned) - **Ok to Issue:**
 also can the house be moved forward so that a future deck larger than 2' can be added?
 10/14/03 Tax bill shows that Cavallaro already owned the other lots in question. No new plans showing moving the building forward
 11/19/03 When I was on vacation there was concern that this would be officially considered to be a subdivision - That has been resolved - IT IS NOT A SUBDIVISION

- 1) It shall be required to record the revised deed description to show the new lot lines for these two separate lots (existing house and newly proposed house].
- 2) It is recommended that the building be moved forward toward Rowe Avenue so that a reasonably sized rear deck could be added in the future. Presently only a two (2) foot wide deck could be approved based upon a required 25 foot rear setback requirement. PLEASE NOTE: the house shall not be moved further up beyond where a minimum 75 foot lot width is required. A revised building permit shall be required for any change to the originally submitted plans.
- 3) NO DAYLIGHT BASEMENTS are being shown. NO DAYLIGHT BASEMENTS are approved with the issuance of this permit.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages. NO REAR DECKS are being shown. NO REAR DECKS are approved with the issuance of this permit.
- 5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 6) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 11/19/2003

Note: 10/16/03 left vm for Joe G. And John C. To call for further info. **Ok to Issue:**
 10/16 John returned call and inquired about a bulkhead addition, a patio and the limit of the 75' stream protection. I returned a call and left vm with info, also that site plan has not signed off, waiting for revision from Bob G.
 10/24 received specs on floor trusses, ok to issue pending site plan approval

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical or plumbing work.

Comments:

09/05/2003-kwd: called, left message on home machine: need revised site plan to reflect downsizing in foundation size; need dimensions of lot and setbacks on site plan. ON HOLD until received. Kwd

09/12/2003-kwd: site plan received. Will route. Kwd

11/04/2003-kwd: revised site plan received. Routed to zoning. Kwd

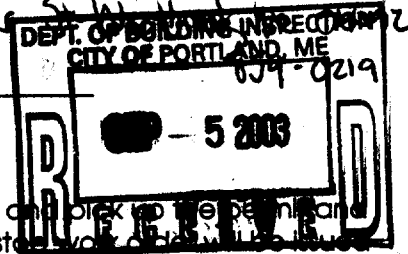
03-1075

Site plan
2003-0185

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>99 Rowe Ave - Portland</u>		
Total Square Footage of Proposed Structure <u>1,568 sq. ft.</u>	Square Footage of Lot <u>25,200 Sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>261</u> Block# <u>R025</u> Lot# <u>22, 23, 24, 49, 50, 51</u>	Owner: <u>John Cavallaro</u>	Telephone: <u>H-828-1566</u> <u>W-865-2588</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>John Cavallaro</u> <u>99 Rowe Ave</u> <u>Portland, Me 04102</u>	Cost Of Work: <u>\$130,000.00</u> Fee: \$ <u>Site Fee 1191.00</u> <u>Copy 75.00</u> <u>1566.00</u>
Current use: <u>Vacant</u>	If the location is currently vacant, what was prior use: <u>Unknown - Vacant</u>	
Approximately how long has it been vacant: <u>20 plus years</u>	Proposed use: <u>Private - Permanent residence for applicant. 56 x 28' + 24' x 30' 2 car garage</u>	
Project description: <u>included attached garage</u>		
Contractor's name, address & telephone: <u>Joe Gallant 15 Rochester St. W. Portland, ME</u>		
Who should we contact when the permit is ready: <u>John Cavallaro</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A start-up fee of \$100.00 and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>H-828-1566</u> <u>W-865-2588</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>9/5/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: John C. Wallano

Date: 9/29/03

Address: 101 Rowe Ave (with Terrace Ave. abutting rear prop. line) C-B-L: 261-B-22, 23, 24 most of

CHECK-LIST AGAINST ZONING ORDINANCE and part of 49, so is 57

Date - ^{me} New lot from existing Dev. # 03-1075

Zone Location - R-3

Interior of corner lot -

28x56

24' x 30

Proposed Use/Work - New single family w 2 attached 2 car garages

No rear Deck

Sevage Disposal - City

No Daylight Basement

Lot Street Frontage - 50' req - 70' shown

Front Yard - 25' req - 55' scaled

Rear Yard - 25' req - 27' scaled

Side Yard - 8' req - 9' & ~~10'~~ 14' shown

Projections - front porch 6x10 - rear bulkhead

Width of Lot - 75' min - 77' scaled at narrowest

Height - 35' max - 16' scaled at the 1/2 way point

Lot Area - 6,500^{sq} min - 11,013.2^{sq} shown

Lot Coverage/Impervious Surface - 25% max = 2753.3^{sq} max

Area per Family - 6,500^{sq}

28 x 56 = 1568^{sq}

Off-street Parking - 2 req - 2 car garages shown

24 x 30 = 720

Loading Bays - N/A

6 x 10 = 60

Site Plan - mmr/mmrf # 2003-1085

2288^{sq}

Shoreland Zoning (Stream Protection) showing just over 75' from HWM

Flood Plains - Panel 12 - Zone X

- Deed may mention 3 lots along Terrace, with the 3 lots along Rowe

- Can this Bldg be moved forward so that a reasonable sized future deck can be put on the rear?

Suggest Form # 1 in this sheet

Not submitted to all show us the other lots

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0185
Application I. D. Number
09/05/2003
Application Date
Single family on 11,013 sf lot
Project Name/Description

Cavallaro John
Applicant
99 Rowe Ave , Portland , ME 04102
Applicant's Mailing Address

101 1/3 Rowe Ave, Portland, Maine
Address of Proposed Site
261 B022001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 828-1566 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1568 sf + 720 garage 11013 R-3
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 09/05/2003

Status: _____ Reviewer Jay Reynolds
 Approved Denied

Approval Date 11/04/2003 Approval Expiration 11/04/2004 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds 11/04/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0185

Application I. D. Number

09/05/2003

Application Date

Single family on 11,013 sf lot

Project Name/Description

Cavallaro John

Applicant

99 Rowe Ave , Portland , ME 04102

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 828-1566 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

101 - 103 Rowe Ave, Portland, Maine

Address of Proposed Site

261 B022001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 101 ROWE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 8 Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.

03-1075
99-103 Rowe Ave

261-B-22

Soil type/Presumptive Load Value (Table 401.4.1)	24" Footing 1st story can be under 1500 psf	
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	Scaled 2' w 10" D	OK
Foundation Drainage Dampproofing (Section 406)	OK coating, sock	OK
Ventilation (Section 409.1) Crawls Space ONLY	4 windows	OK
Anchor Bolts/Straps (Section 403.1.4)	1/2" @ 6 O.C.	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3 1/2 concrete 8'0 max	8'10 allowed OK
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3-2x12 → 3-2x10 - 6'0	6'11 allowed OK
Sill/Band Joist Type & Dimensions	PT 2x6 2x10	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	Floor Trusses 20" O.C.	? Spec. will be sent OK

Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A	N/A
Attic or additional Floor Joist Species Dimensions and Spacing(Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Roof Trusses 240.L	OK
Roof Rafter;Pitch, Span, Spacing& Dimension(Table 802.3.2(7))	6:12	OK
Sheathing; Floor, Wall and roof (Table 503.2.1(1)	3/4 T&G, 1/2, 5/8	OK
Fastener Schedule (Table 602.3(1) & (2))	BOCA	OK

Stairs Number of Stairways Interior Exterior Treads and Risers (Section 314) Width Headroom Guardrails and Handrails (Section 315)	1 1 steps Fr. & Rr. 7 3/4 - 10" 6' 1/8" 36"	 OK — OK If over 15 1/2" OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or <u>beside</u>) Fire separation	5/8 common wall	OK
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	Fire Door to breezeway	OK
Egress Windows (Section 310)	30" x 5'0"	OK

Roof Covering (Chapter 9)	20yr-Asphalt	OK
Safety Glazing (Section 308)	N/A Per Plans	OK
Attic Access (BOCA 1211.1)	2 Located in Hall	OK
Draft Stopping around chimney	min 2"	OK Disclosure
Header Schedule	Plans	OK
Type of Heating System	Chimney Oil FHW	
Smoke Detectors Location and type/Interconnected	? Interconnected B-Back-up	OK

See Chimney Summary Checklist

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS		
		Summary	See Section	
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1	
		2-inch minimum thickness for hearth extension.	1003.9.2	
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10	
		12 inches for fireplace opening greater than or equal to 6 square feet.		
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10	
		20 inches for fireplace opening greater than or equal to 6 square feet.		
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9	
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11	
		12-inch minimum firebox depth for Rumford fireplaces.		
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5	
Distance from top of opening to throat	G	8 inches minimum.	1003.7	
Smoke chamber	H	Wall thickness	6 inches lined; 8 inches unlined.	1003.8
Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1	
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1	
Chimney horizontal reinforcing ^a	J	1/2-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2	
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7	
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;	
		1/2-inch grout or airspace between liner and wall.	1001.9	
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12	
Clearances	N	From chimney	2 inches interior, 1 inch exterior.	1001.15
From fireplace		2 inches front, back or sides.	1003.12	
Combustible trim or materials		6 inches from opening.	1003.13	
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6	
Anchorage ^a	O	Strap	3/16 inch by 1 inch.	1003.4
Number		Two.		
Embedment into chimney		12 inches hooked around outer bar with 6-inch extension.		
Fasten to		Four joists.		
Bolts	Two 1/2-inch diameter.			
Footing	P	Thickness	12-inch minimum.	1003.2
Width		6 inches each side of fireplace wall.		

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2003-0185
Application I. D. Number

9/5/2003
Application Date

Single family on 11,013 sf lot
Project Name/Description

Cavallaro John
Applicant
99 Rowe Ave , Portland , ME 04102
Applicant's Mailing Address

101 - 103 Rowe Ave, Portland, Maine

Address of Proposed Site

261 B022001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 828-1566 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1568 sf + 720 garage

11013

R-3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 9/5/2003

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

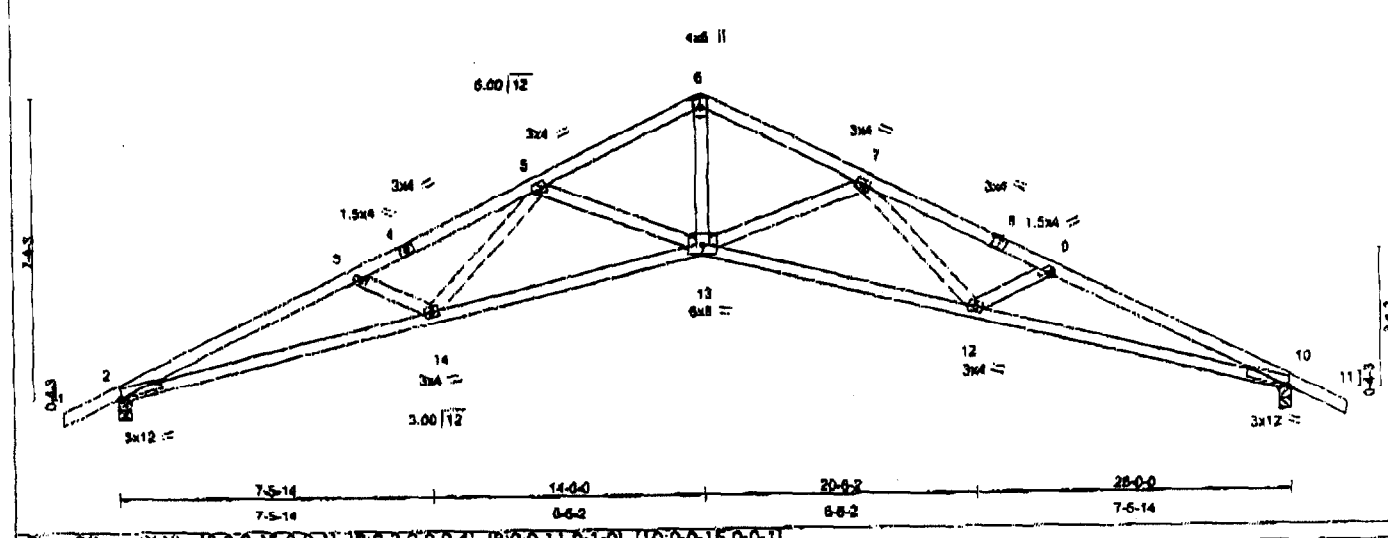
Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Job	Truss	Truss Type	Qty	City	State	428 Snow 120 mph wind	14838301
WFL_STK	0286 5286	SCISSORS	60	60	1	Job Reference (optional)	

Wood Structures, Biddeford, ME 04005
 5:100 s Mar 25 2003 Mitek Industries, Inc. Fri May 30 10:24:48 2003 Page 1
 Scale = 1/8" = 1'-0"



Plan Offsets (X,Y): 2-0-0, 15-0-0, 11-0-2, 0-0-4, 19-0-0, 11-0-0, 10-0-0, 16-0-0, 11									
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d	PLATES	GRP
TCLL 42.0	Plates Increase	1.16	TC 0.78	Vent(LL)	-0.57 13	> 679	380	MI/20	165/123
TCOL 7.0	Lumber Increase	1.16	BC 0.72	Vent(TL)	-0.82 12-13	> 406	180		
BCLL 0.0	Rep Stress Incr	YES	WB 0.67	Horz(TL)	0.67 10	n/a	n/a		
BCDL 10.0	Code	BOCA/ANSI96	(Matrix)					Weight: 95 lb	

LUMBER
 TOP CHORD 2 X 4 SPF 1850F 1.5E
 BOT CHORD 2 X 4 SPF 2100F 1.3E
 WEBS 2 X 4 SPF-S Stud 'Except'
 6-13 2 X 4 SPF-S No.2

BRACING
 TOP CHORD Sheathed or 2-3-13 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 5-2-10 oc bracing.

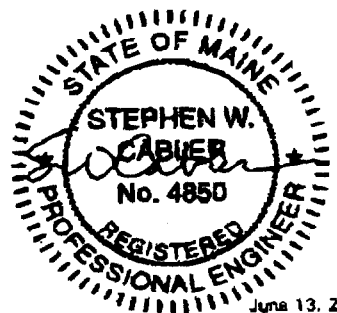
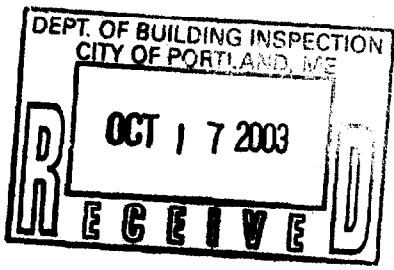
REACTIONS (lb/size) 2 = 1780/0-3-8, 10 = 1780/0-3-8
 Max Horz 2 = -289(load case 5)
 Max Uplift 2 = -852(load case 4), 10 = -852(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2 = 54, 2-3 = -5443, 3-4 = -4975, 4-5 = -4873, 5-6 = -3819, 6-7 = -3618, 7-8 = -4873, 8-9 = -4975.
 8-10 = -5443, 10-11 = 64
 BOT CHORD 2-14 = 4867, 13-14 = 4070, 12-13 = 4070, 10-12 = 4867
 WEBS 3-14 = -401, 6-14 = 883, 6-13 = -836, 6-13 = 2771, 7-13 = -836, 7-12 = 683, 8-12 = -401

- NOTES**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-98: 120mph; h = 35ft; TCOL = 4.2psf; BCDL = 5.0psf; Category II; Exp C; enclosed/MWFRS gable end zone; cantilever left and right exposed; Lumber DOL = 1.33 plate grip DOL = 1.33.
 - This truss has been designed for a live load of 20,0psf on the bottom chord in all areas with a clearance greater than 3'-6" between the bottom chord and any other members.
 - Bearing at joints 2, 10 considers parallel to grain value using ANSI/TPI 1-1996 angle to grain formula. Building designer should verify capacity of bearing surfaces.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 852 lb uplift at joint 2 and 852 lb uplift at joint 10.

LOAD CASE(S) Standard

DESIGN LOADING:
 TCLL/TOTAL (PSF)
 42/58 @ 24" oc.
 63/74 @ 19.2" oc.
 63/79 @ 15" oc.



Warning - Verify design parameters and READ NOTES ON THIS AND INCLUDED GIVEN REFERENCE PAGE NUMBERS BEFORE USE
 Design valid for use only with Mitek connectors. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing is required during construction in the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult Q87-03 Quality Standard, Q58-06 Bracing Specification, and H18-01 Handling, Installing and Bracing Recommendation available from Truss Plate Institute 343 D'Neef Drive, Madison, WI 53718



John Cavallaro - 99 Rowe Ave - Portland, Me

MONAGHAN LEAHY, LLP

ATTORNEYS AT LAW

THOMAS G. LEAHY
KEVIN G. LIBBY
CHRISTOPHER C. DINAN
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KENNETH D. PIERCE
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CAROL G. McMANNUS
ELIZABETH A. MOONEY

THOMAS F. MONAGHAN
OF COUNSEL

95 EXCHANGE STREET
P.O. BOX 7046
PORTLAND, MAINE
04112-7046

TEL 207-774-3906
FAX 207-774-3833

mhill@monaghanleahy.com

June 3, 2003

John J. Cavallaro
99 Rowe Avenue
Portland, ME 04102

RE: Purchase of land abutting 99 Rowe Avenue, Portland

Dear John:

Enclosed please find the original, recorded Warranty Deed in regard to the above-referenced matter.

If you have any questions, please give me a call.

Very truly yours,

MONAGHAN LEAHY, LLP

By 
Michael H. Hill, Esq.

MHH/jh
Enclosure

S:\MMD\DCavallaro, John\Ltr. Cavallaro 6-3-03.doc

**WARRANTY DEED
Maine Statutory Short Form**


Know all Men by these presents,

That **JOSEPH E. McGONAGLE, Jr.**, Attorney-in-Fact for Joseph E. McGonagle, under General Power of Attorney dated November 2, 1994, to be recorded in the Cumberland County Registry of Deeds at even or recent date herewith, for consideration paid, grants to **JOHN CAVALLARO**, an individual whose mailing address is 99 Rowe Avenue, Portland, Maine, with **Warranty Covenants**, certain lots or parcels of land with any improvements thereon located in the City of Portland, County of Cumberland, State of Maine as more particularly described on **Exhibit A**. attached hereto and made a part hereof.

Also hereby conveying all rights, easements, privileges, and appurtenances belonging to the premises hereinabove described.

Witness my hand in my said capacity this 21st day of May, 2003.

Signed and Delivered in
the presence of:

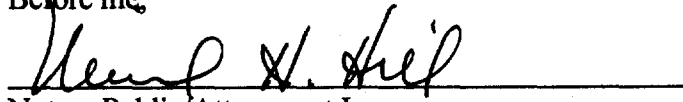

Joseph E. McGonagle, Jr.,
Attorney-in-Fact

STATE OF MAINE
CUMBERLAND, SS.

May 21, 2003

Then personally appeared the above named Joseph E. McGonagle, Jr. in his said capacity, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of Joseph E. McGonagle.

Before me,



Notary Public/Attorney at Law

Printed Name: MICHAEL H. HULL

MAINE REAL ESTATE TAX PAID

EXHIBIT A

Three certain lots or parcels of land situated on Terrace Avenue in the City of Portland, County of Cumberland, and State of Maine, being Lots numbered two hundred thirty-seven (237), two hundred thirty-eight (238), and two hundred thirty-nine (239), all as shown on Plan of Lots at Brighton Avenue Terrace belonging to J.W. Wilbur, said Plan being made by A.L. Eliot, surveyor, dated July 9, 1906, and recorded in the said Registry of Deeds at Plan Book 11, Page 13.

Said lots measure thirty (30) feet in width, but seventy (70) feet in depth each, and contain, according to said Plan, two thousand one hundred (2,100) square feet, more or less, each.

The above described lots are the same premises conveyed to Joseph E. McGonagle by deed of James F. McGonagle, dated October 4, 1950 and recorded in the said Registry of Deeds at Book 2257, Page 356.

Received
Recorded Register of Deeds
May 22, 2003 01:17:14P
Cumberland County
John B. O'Brien

CLOSING STATEMENT

**Sale of 3 Lots on Terrace Avenue
from Joseph E. McGonagle, Sr. (by Joseph E. McGonagle, Jr. P.O.A.)
To John J. Cavallaro
May 21, 2003**

PURCHASE PRICE:	\$4,016.00
• Less Downpayment (pd. 2/17/03)	100.00
• Less Fee for Deed preparation (Monaghan Leahy, LLP)	100.00
• Less Seller's Share Transfer Tax	8.84
• Plus Buyer's Pro Rata share of real estate taxes *	<u>6.29</u>

Net Purchase Price Due from Buyer **\$ 3,813.45**

PLUS:

• Recording Fees for Buyer:	
-Buyer's Share Transfer Tax	8.84
-(plus Seller's share as net out of Purchase Price)	8.84
-Recording of Deed	13.00
-Recording of Power of Attorney	13.00
• Deed preparation (as net out of Purchase price)	100.00

TOTAL DUE from BUYER:	\$3,957.13
------------------------------	-------------------

CHECKS at CLOSING:

1) Joseph E. McGonagle, Jr., as Attorney-in-Fact for Joseph E. McGonagle	\$3,813.45
2) Cumberland County Registry of Deeds	43.68
3) Monaghan Leahy, LLP Trust Account	100.00
	\$3,957.13

SEEN AND AGREED:**SELLER:****BUYER:**

Joseph E. McGonagle, Jr., Attorney-in-Fact
For Joseph E. McGonagle

John J. Cavallaro

*Real estate Taxes in the amount of \$56.84 have been paid through June 30, 2003. Proration from date of closing to June 30, 2003 would be 41 days at approximately .15 per day, = \$6.29.

MONAGHAN LEAHY, LLP

95 EXCHANGE STREET

P.O. BOX 7046

PORTLAND, MAINE 04112-7046

207-774-3906 FAX 207-774-3965 FAX 207-774-3833

Date: 5/20/03

For: John Cavallero

TO SPEED THINGS ALONG...

I am sending you the enclosed without a formal letter.

John,
As per our conversation —
Jawit

KEEP THIS PORTION

REAL ESTATE PROPERTY TAX STATEMENT
City of Portland

2004
Fiscal Year
July 1, 2003 - June 30, 2004
Owner or Record as of April 1, 2003

MCGONAGLE JOSEPH E

RR1 BOX 149-E
HOLLIS CENTER ME 04042



ACCOUNT NUMBER
30400

CBL
261 - B-022-001

19 29.67

Assessed Property Description
261-B-22 TO 24
TERRACE AVE
6300 SF

CURRENT BILLING DISTRIBUTION

School	\$29.74
Public Works	\$3.02
Parks & Recreation	\$1.48
Fire	\$4.56
Police	\$4.44
Debt Repayments	\$5.09
General Government	\$4.80
County	\$2.07
Health & Human Services	\$0.30
Library	\$1.78
Metro Transit District	\$1.13
Enterprise Funds	-\$0.12
Regional Waste Systems	\$0.95

CURRENT BILLING INFORMATION

Land Value	\$2,210.00
Building Value	\$0.00
Total Value	\$2,210.00
Exemptions	\$0.00
Homestead	\$0.00
Taxable Value	\$2,210.00
Tax Rate	\$26.80
TOTAL TAX	\$59.24
AMOUNT PAID	\$0.00

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to: **CITY OF PORTLAND**. Credit cards are not accepted for property tax payments.

Use enclosed envelope to mail in your payment.

Use top right margin for change of address.

Remit To: **CITY OF PORTLAND MAINE**
FINANCE DEPARTMENT
TREASURY AND COLLECTION DIVISION
P O BOX 544
PORTLAND ME 04112-0544

KEEP THIS PORTION

ACCOUNT NUMBER
30402

REAL ESTATE PROPERTY TAX STATEMENT
City of Portland

CBL
261 - B-025-001

2004

Fiscal Year
July 1, 2003 - June 30, 2004
Owner or Record as of April 1, 2003



CAVALLARO JOHN J

Assessed Property Description
261-B-25 TO 27-46TO 51
ROWE AVE 89-101
TERRACE AVE
18900 SE

99 ROWE AVE
PORTLAND ME 04102

CURRENT BILLING DISTRIBUTION

School	\$1,196.98
Public Works	\$121.60
Parks & Recreation	\$59.61
Fire	\$183.60
Police	\$178.83
Debt Repayments	\$205.06
General Government	\$193.14
County	\$83.45
Health & Human Services	\$11.92
Library	\$71.53
Metro Transit District	\$45.30
Enterprise Funds	-\$4.77
Regional Waste Systems	\$38.15

CURRENT BILLING INFORMATION

Land Value	\$37,700.00
Building Value	\$57,010.00
Total Value	\$94,710.00
Exemptions	\$0.00
Homestead	\$5,740.00
Taxable Value	\$88,970.00
Tax Rate	\$26.80
TOTAL TAX	\$2,384.40
AMOUNT PAID	\$0.00

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to: **CITY OF PORTLAND**. Credit cards are not accepted for property tax payments.

Use enclosed envelope to mail in your payment.

Remit To: **CITY OF PORTLAND MAINE**
FINANCE DEPARTMENT
TREASURY AND COLLECTION DIVISION
P O BOX 544
PORTLAND ME 04112-0544

Use top right margin for change of address.

Mailed - 8-4-03 P.I. Bank of America
14528 So. Cedar Ferry Rd. Chestertown Mo 63017

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031075
NOV 19 2003

Please Read Application And Notes, If Any, Attached

This is to certify that Cavallaro John /Joe Gallant
has permission to Construct new 28' x 56' ranch 24' x 30' garage
AT 101. ~~101~~ Rowe Ave 261 B022001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise used-in. HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanie Burke 11/19/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

