

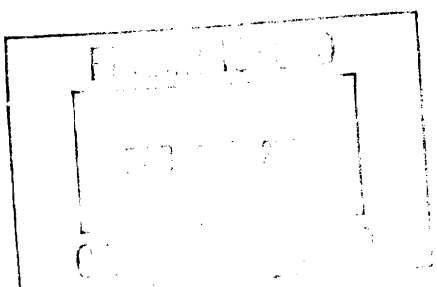
City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0135	Issue Date: 2/24/08	CBL: 261 B013001
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Location of Construction: 121 ROWE AVE	Owner Name: TAYLOR BRANT C & CARA J T	Owner Address: 121 ROWE AVE	Phone: 207-799-5585
Business Name:	Contractor Name: Down East Energy	Contractor Address: 172 Main Street South Portland	Phone: 2077995585
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R-3

Past Use: Single Family Residential	Proposed Use: Single Family Residential - Install Empire Direct Vent Heating System to Include 120 Gallon Tank	Permit Fee: \$70.00	Cost of Work: \$1,700.00	CEO District: 3
Proposed Project Description: Install Empire Direct Vent Heating System to Include 120 Gallon Tank		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003 IMC-2003	
		Signature:	Signature: <i>[Signature]</i> 2/24/08	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 02/18/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 2/24/08 <i>[Signature]</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0135	Date Applied For: 02/18/2009	CBL: 261 B013001
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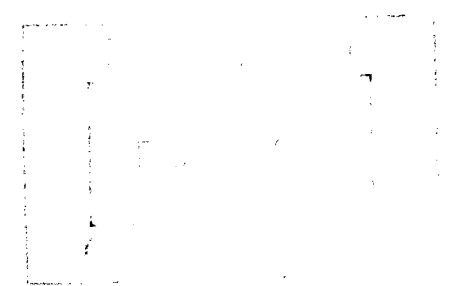
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Business Name:	Contractor Name: Down East Energy	Contractor Address: 172 Main Street South Portland	Phone: (207) 799-5585
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use: Single Family Residential - Install Empire Direct Vent Heating System to Include 120 Gallon Tank	Proposed Project Description: Install Empire Direct Vent Heating System to Include 120 Gallon Tank
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Dept: Zoning **Status:** Approved **Reviewer:** Ann Machado **Approval Date:** 02/20/2009
Note: Cara Nadeau is the owner of the property. She was Cara Taylor, but got divorced in December 2006 and has **Ok to Issue:**
 since married again.
 The garage was built in 1989; the permit is on microfiche.
 1) This permit is being issued with the condition that the garage will be used for personal use only and that a business will not be operated out of it.
 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 02/24/2009
Note: **Ok to Issue:**
 1) This appliance/stove shall be installed, operated and maintained per the manufacturers specifications and the UL listing
 2) Maintain proper setback(s) from property lines/buildings and proper clearances from verticle openings when direct venting.
 3) The appliance shall be installed in accordance with the IMC 2003 and NFPA 211.
 4) The installation must comply with the State of Maine Gas Regulations.

Comments:
 2/19/2009-amachado: Left message for John Emond. Does he own 121 Rowe Ave.? What are the dimensions of the "residential shop"? The footprint of the house submitted with the application does not match the footprint for the main building on the assessor's website for 121 Rowe Ave.,
 2/19/2009-amachado: John Emond left me a voicemail. He said that he is renting to own the property. He said he is renting from Cara & Mike Nedeau. He said the building is 24' x26'. I left him a vcm asking for a copy of his lease.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

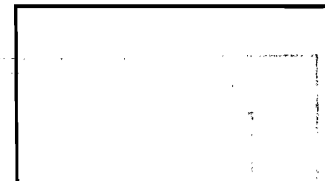
Date

Mailed



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL _____ Use of Building residence workshop Date 2/18/09
 Name and address of owner of appliance John Emond 121 Rowe Ave
Portland ME 04102
 Installer's name and address Downtown Energy 172 Mack St
So. Portland ME 04106 Telephone 799-5585

Location of appliance:
 Basement Floor 1st
 Attic Roof

Type of Fuel:
 Gas Oil Solid

Appliance Name: Empire DV35
 U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:
 Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # Steve Truckelle
 Other _____

Type of Chimney:
 Masonry Lined
 Factory built _____
 Metal
 Factory Built U.L. Listing # _____
 Direct Vent
 Type Empire DV35 UL# _____

Type of Fuel Tank
 Oil FEB 18 2009
 Gas

Size of Tank 120 gallon
Number of Tanks 1

Distance from Tank to Center of Flame 18' feet.

Cost of Work: \$ 1700⁰⁰
Permit Fee: \$ 40 - 30⁰⁰ TANK

Approved _____
 Fire: _____
 Ele.: _____
 Bldg.: _____

Approved with Conditions
 See attached letter or requirement

 Inspector's Signature Date Approved 2/2/09

Signature of Installer ATTN: Andrea Karass / Steve Truckelle

White - Inspection Yellow - File Pink - Applicant's Gold - Assessor's Copy

Faxed to: 207.874.8716
Attn: Ann

FEB 20 2009

Good morning, Ann –

Attached please find a copy of the lease agreement for the property at 121 Rowe Avenue in Portland. I am the sole owner and landlord of the named property.

In the city records, I am listed as Cara J. Taylor, joint property owner with Brant C. Taylor. Brant and I were divorced on 11 December 2006 and in State of Maine Ninth District Court divorce docket number PORDC-FM-06-1122 I was awarded sole ownership of the property in mention.

I was remarried to Michael B. Nadeau on 10 June 2008 in the State of Maine and changed my name at that time to Cara P. Nadeau. If needed, I can furnish copies of both the divorce judgment and the marriage certificate.

Please note that John Emond is authorized to make the requested heating changes to the property as well as to apply for a business license to operate a business out of the home.

If you have any questions or need additional documentation or information, please do not hesitate to contact me. I can be reached via cell phone at 207.450.7724 or at my business at 618.416.0935.

Thank you for your attention to this matter.

Sincerely,

Cara P. Nadeau

Cara P. Nadeau
4264 Hercules Rd.
Scott AFB, IL 62225
207.450.7724

Residential Lease Agreement

FEB 20 2009

1. THIS LEASE, made this 9th day of October, 2008 between Cara P. Nadeau hereinafter called the Landlord, and John and Pam Emond, hereinafter called the Tenant.

2. WITNESSETH: The Landlord leases to the Tenant and the Tenant leases from the Landlord the Premises known as: 121 Rowe Avenue, Portland ME and all improvements including equipment and systems for use as a single family dwelling under the following terms and conditions.

3. TERM: The Term of the Lease shall be 24 months and 0 days beginning on the 01 day of November, 2008 and ending on the 31 day of October, 2010.

4. RENT: Rent payment is to be made in monthly installments of \$1000 a month for the first 9 months and \$900 a month each month thereafter and is due and payable in advance on the **First** day of the month at landlord's address in Belleville, IL - TBD

TOTAL RENT for the Term is \$21,600 Dollars

5. NAMES OF AUTHORIZED OCCUPANTS: John Emond, Pamela Emond, Adrienne Cordes

The people listed above and future offspring are the only people authorized to occupy the Premises. This is not intended to preclude occupancy of "occasional guests", which is defined as people who, with the Tenant's consent, temporarily occupy the Premises for not more than fifteen (15) consecutive days. Written permission for the Landlord must be obtained for any additional residents.

6. FIXTURES AND APPLIANCES: CONDITION OF PREMISES: (See section 23) excellent condition

The Premises shall be made available to Tenant in a condition permitting habitation with reasonable safety, unless specifically noted as follows:

7. SECURITY DEPOSIT: (includes pet deposit, if any) (See Section 14) being paid as \$100/month for the first 9 months (\$ 900)

8. COMMUNITY ASSOCIATION: (See Section 27) Premises is part of a Condo Assoc. Homeowners Assoc. Neither. Name of Community Association: none

9. REQUIRED LIABILITY INSURANCE: (See Section 33) State Farm (\$)

10. TENANT DEDUCTABLE: (See Section 24) \$500 (\$)

11. DAYS TO BE SHOWN (See Section 35) FOR RENT: N/A FOR SALE: N/A

12. NAME, ADDRESS, AND TELEPHONE NUMBER OF LANDLORD OR PROPERTY MANAGER: (See Section 26) Cara P Nadeau - address TBD - 207 450 7724

13. TRUTHFULNESS OF RENTAL APPLICATION: Tenant represents and warrants that the statements made on the Rental Application for this Lease are true and complete in all materials respects. Tenant acknowledges that all

certified check or money order at the option of the Landlord or Landlord's Agent. Tenant agrees to pay Landlord an administrative charge of \$25.00 on such returned checks. Unless Tenant makes payment by check, Landlord or Landlord's Agent shall give Tenant a receipt showing payment and the time period the payment covers.

17. USE, QUIET ENJOYMENT AND LOCAL LAWS: Landlord covenants that the Tenant, upon paying the rent and complying with the terms of this Lease, shall peaceably and quietly have, hold, and enjoy the Premises for the Term of the Lease. The Tenant shall use the Premises in compliance with applicable laws and ordinances, in a manner which shall not increase the Premises' insurance rates.

18. PETS: No pets of any kind are permitted on the Premises at any time except those, if any, permitted in writing by Landlord or by Law. In any event, Tenant shall be responsible for all costs of repairing any damage or removing any stains or odors caused by an animal on the Premises. Tenant shall be liable for any damages caused by any animal on the Premises including, but not limited to, the replacement of carpeting, hardwood flooring tile, sub-flooring, and lost rent resulting from Landlord's inability or delay in re-renting the Premises due to a stain, odor or other damage.

19. UTILITIES: The Tenant shall be responsible for the cost and maintenance of all utilities to the Premises, including but not limited to heat, electric, gas, oil, water, sewage, refuse collection, recycling, telephone, cable television and any other utilities. The Tenant shall be responsible for placing the billing into the Tenant's name effective with the start of this Lease and shall promptly pay all such utility bills during the Lease Term as the bills become due. Landlord may elect to keep the city, county or private water, sewer and/or trash bills in Landlord's name, and to receive these bills directly from the municipality and to then forward a copy of these bills to Tenant for payment by the Tenant. Such arrangements shall not relieve the Tenant of Tenant's financial responsibility or obligation under this Lease for these services. The Tenant agrees to forward a receipted paid water bill for the above Premises to Landlord or Landlord's Agent at the termination of the Lease. In the event Tenant fails to make such payments or any other utility payments critical to the maintenance or protection of the property (including but not limited to electricity, heat in cold months, proper sewer or septic tank operation), then Landlord or Landlord's Agent, at its option, may pay same for Tenant's account, in which event Tenant shall immediately, as additional rent, reimburse Landlord in full the amount thereof. Such payment may, at the discretion of the Landlord, be added to or deemed part of the rent due and the Landlord shall have the right to seek the remedies for the collection of such charges, together with any interest and penalties incurred, as additional rent.

20. ALTERATIONS AND REDECORATING: Tenant shall not remodel or make any structural changes, alterations or additions to the Premises, remove or exchange appliances or equipment, such as, but not limited to air conditioning, heating, refrigeration or cooking units. Tenant shall not drive nails or other devices into the walls or woodwork except for a reasonable number of small nails as picture hangers (which Tenant shall be responsible for professionally repairing at end of tenancy). In no case shall tape be used. Tenant shall not paint, install wallpaper, paneling, flooring, carpeting, ceiling tiles or any other object attached in any way to the property. Tenant shall not refinish nor recoat the wood floors of the Premises. Tenant shall not affix any object containing an adhesive backing to any surface in the Premises, attach plant hooks to the ceiling, install iron safes, water beds or any other extra-heavy objects. The Landlord reserves the right to prescribe the maximum weight, proper position and the manner of placing objects. The Tenant shall be liable for any damage to the Premises caused by bringing in, using, or removing Tenant's furnishings. Tenant shall not change or re-key the existing locks, nor install additional locks or devices. In the unexpected event that Tenant must re-key or change the locks in an emergency, the work shall be done professionally and Tenant shall immediately provide Landlord or Landlord's Agent with duplicate, working copies of all keys in such quantity as required by Landlord or Landlord's Agent (and instructions on how to operate all new locks). The Tenant shall be responsible for the quality of any replacement locks and any damage caused by installation.

21. LANDLORD CONSENT REQUIRED: The Tenant is required to submit a **written request** to the Landlord for permission to perform any alterations. Prior to performing any alterations, Tenant must have the **Landlord's consent in writing**. Landlord shall have the right to inspect the Premises to determine whether it has been altered or redecorated without consent, or whether such alterations and redecoration, if done with written consent, have been properly completed in a good

and workmanlike manner. Any alterations, repairs or replacements which have been permitted, are to be done with a quality of materials and workmanship comparable to those which currently exist on the Premises.

22. REPAIRS AND NOTICE OF DEFECTS: Tenant shall give the Landlord or Landlord's Agent prompt notice of any defects, leaks, or breakage in the structure, equipment or fixtures of the Premises including damage by accident, fire, storm or flood.

23. APPLIANCES AND PERSONAL PROPERTY: (See Section 6) Any refrigerator, range, washer, dryer, dishwasher, other personal property or appliances which are located or installed on the Premises are provided "as is," are for the Tenant's use and convenience and are not warranted by Landlord. Tenant agrees to maintain said appliances and personal property at Tenant's own risk and expense and maintain them in good order. In the event of replacement of appliances, the cost shall be the responsibility of the Landlord. By definition, replacement shall be necessary in the event the cost of repair exceeds seventy percent (70%) of the replacement cost, unless such condition is the result of Tenant negligence.

24. REPAIRS AND TENANT MAINTENANCE OF PREMISES: The Tenant shall keep the Premises in good order and condition and shall not deliberately or negligently destroy, deface damage, impair or remove any part of the Premises, nor permit any person to do so, and any repairs resulting from such acts shall be paid for by the Tenant. (Tenant shall not order repairs on or about the Premises without prior approval of Landlord or Landlord's Agent.) Landlord shall be responsible for structural and major repairs to the Premises including heating and air conditioning systems, roof, water heater, electrical systems, and structural elements. Tenant shall be responsible for the ongoing maintenance and operation of the Premises (including , but not limited to , points 1-16 below), and for repairs made necessary by misuse, negligence, excessive wear and tear, or destructive activities of Tenant, other occupants, guests, invitees, pets or others, whether authorized or unauthorized. In addition, all repairs not otherwise addressed in the Lease are each subject to a deductible amount of (See Section 10) which is to be paid promptly by Tenant.

Additionally, the Tenant shall be responsible for:

1. Maintaining the Premises in a clean, orderly and sanitary condition and complying with all applicable federal, state and local laws, ordinances and regulations with respect to occupancy of the Premises;
2. Disposing of all trash, garbage, and waste in suitable covered containers or appropriate or required receptacles;
3. Using and operating all appliances, equipment and systems in a safe and reasonable manner so as not to overload them;
4. Maintaining, turning off and properly draining water pipes in cold weather. In the event that the plumbing at the Premises is frozen or obstructed due to negligence of Tenant, Tenant's family, guests or others, Tenant shall immediately pay the cost of repairing the frozen pipes or cleaning the obstruction and any additional costs associated with the repair (including, but not limited to, drywall, carpet and repainting);
5. Changing of furnace, heat pump and air conditioner filters at Tenant's expense at least once every two (2) months;
6. Clearing plumbing stoppages of all toilets and drains including garbage disposals; In the event that plumbing of premises is obstructed due to the negligence of the Tenant, Tenant's family, employees, or guests, the cost for clearing such obstructions shall be paid by the Tenant;
7. Replacing and fixing any glass or screen breakage; Furnishing and replacing light bulbs, fuses and faucet washers as needed;
8. Maintaining all flooring and carpeting in a clean and good condition;
9. Cutting and maintaining the lawn, keeping hedges trimmed, flower beds and shrubbery in good order and properly pruned;
10. Maintaining exterior gutters, drains, and grounds free of leaves and other debris;
11. Storing firewood and other sources of termites at least twenty (20) feet from dwelling;
12. Keeping the streets and areas adjacent to the Premises clear of filth, refuse and obstructions;
13. Promptly removing ice and snow from all walks, steps, and drives including public sidewalks and steps, and maintaining a clear condition;
14. Controlling and eliminating pests in or emanating from the Premises including but not limited to ants, roaches, fleas, ticks, and rodents during occupancy and upon vacating;

44. FINAL AGREEMENT: All parties to this Lease acknowledge that the full and final agreement between the parties is contained herein and there are no other verbal or implied conditions existing which are not contained herein. Similarly, all parties to this Agreement recognize that any Addendum to this Agreement must be executed in writing, approved and signed by all necessary parties.

ADDENDUM ATTACHED: YES NO

THIS IS A LEGALLY BINDING CONTRACT, IF NOT UNDERSTOOD, SEEK COMPETENT ADVICE.

John P. Emery 10/9/08
TENANT DATE

Cara Nadeau 10/9/08
LANDLORD OR LANDLORD'S AGENT DATE

ADDENDUM

This lease is purposely made for the tenant to purchase the property. The property will be sold after a period of 2 years (24 months) for fair market value, to be agreed upon by all parties at the time of sale.

\$200 of every month's rent will be credited to the tenant for the purpose of a down payment on the property for a sum of \$4,800 plus the security deposit of \$900 for a total of \$5,700 total at closing.

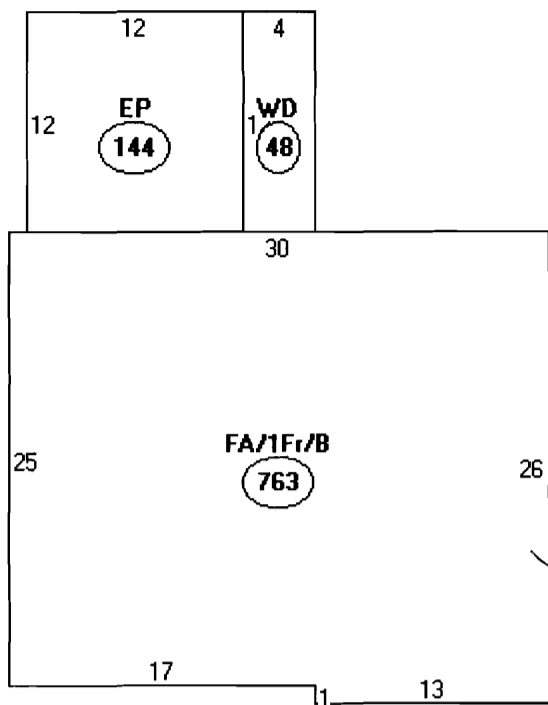
In the event that the rent monies are more than 7 days late from the due date, the \$200 accrual towards the purchase price will be forfeited for the month.

The tenant agrees to accept all responsibility for repairs and upkeep of the property in exchange for the accrual of the down payment monies.

In the event the tenant does not purchase the property after the term of 2 years (24 months) the down payment is forfeited unless another lease arrangement is agreed upon by all parties.

The tenant may make modification to the property and the dwelling provided the modifications and improvements are approved in advance by the landlord.

Improvements made by the tenant will not increase the purchase price of the property.



Descriptor/Area

A: FA/1Fr/B
763 sqft

B: EP
144 sqft

C: WD
48 sqft

= 955

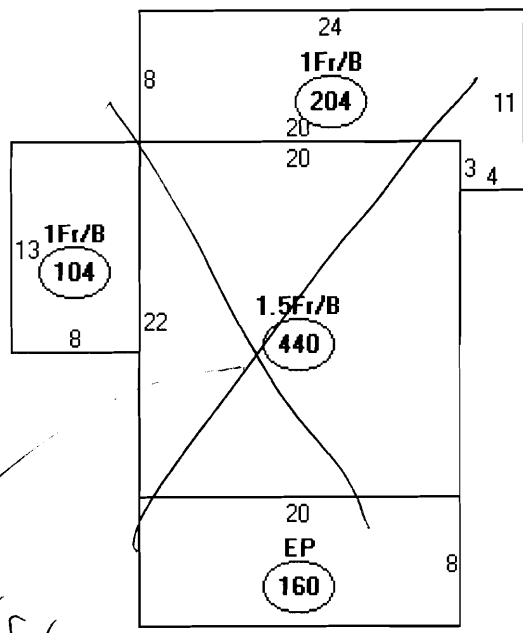
This is the correct footprint

121 Rove Ave.

Owner's note.

~~Foot print~~ is different for house.
size of residential shop

120 →
9.91 →
Dr3S
Empire



Descriptor/Area
 A: 1.5Fr/B
 440 sqft
 B: 1Fr/B
 104 sqft
 C: 1Fr/B
 204 sqft
 D: EP
 160 sqft

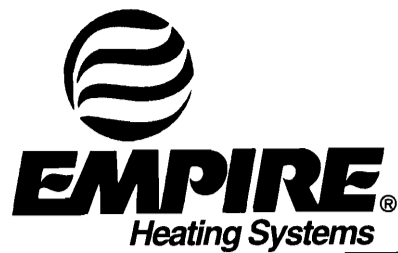
See other pages for footprint of house

- where did this "sketch" come from?

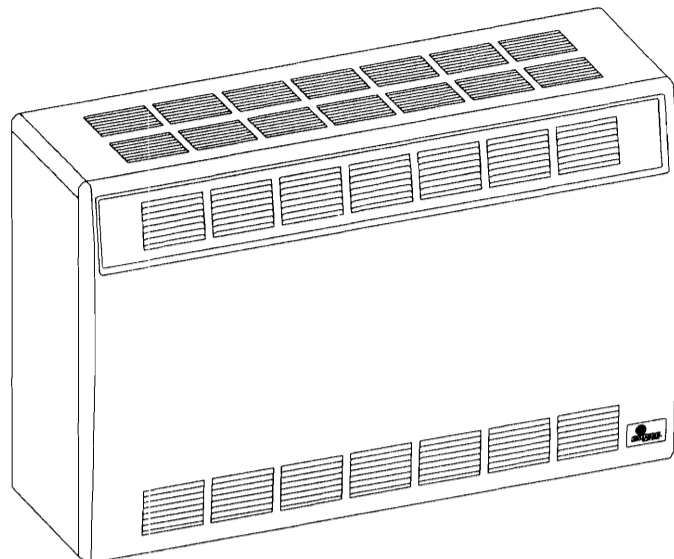
John Emond
121 Rowe Ave 632-1890
Portland ME 04102

<http://www.portlandassessor.com/images/Sketches/01832301.jpg>

02/17/2009



INSTALLATION INSTRUCTIONS AND OWNER'S MANUAL



DIRECT VENT WALL FURNACE

MODELS
DV-25-2SG
DV-35-2SG



WARNING: If the information in these instructions are not followed exactly, a fire or explosion may result causing property damage, personal injury or loss of life.

- Do not store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.
- **WHAT TO DO IF YOU SMELL GAS**
 - Do not try to light any appliance.
 - Do not touch any electrical switch; do not use any phone in your building.
 - Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
 - If you cannot reach your gas supplier, call the fire department.
- Installation and service must be performed by a qualified installer, service agency or the gas supplier.

Installer: Leave this manual with the appliance.

Consumer: Retain this manual for future reference.

This appliance may be installed in an aftermarket, permanently located, manufactured home (USA only) or mobile home, where not prohibited by state or local codes.

This appliance is only for use with the type of gas indicated on the rating plate. This appliance is not convertible for use with other gases, unless a certified kit is used.

WARNING: If not installed, operated and maintained in accordance with the manufacturer's instructions, this product could expose you to substances in fuel or from fuel combustion which can cause death or serious illness.

CLEARANCES

1. In selecting a location for installation, it is necessary to provide adequate accessibility clearances for servicing and proper installation.
2. Unit is supported by a wall bracket secured to the wall.
3. The minimum clearances from casing to combustible construction is 48" (121cm) on top, 6" (152mm) on each side and 4" (102mm) from the floor or from the top surface of carpeting, tile or other floor covering and 0" (0mm) to rear wall.
4. The minimum distance from the center of the vent cap to the nearest outside corner or obstruction is 24" (610mm).
5. The DV-25 and DV-35 minimum wall depth is 4 1/2" (114mm) (and the maximum is 13" (330mm)). The maximum wall depth may be extended to 19" (483mm) using the model DV-1190 extended flue kit. The use of tubes not supplied by the manufacturer results in unsatisfactory performance.

The vent terminal of a direct vent appliance, with an input of 50,000 (14.6 KW) BTU per hour or less shall be located at least 9" (229mm) from any opening through which flue gases could enter a building. The bottom of the vent terminal and the air intake shall be located at least 12" (305mm) above grade.

WARNING: The nearest point of the vent cap should be a minimum horizontal distant of six (6) (1.83m) feet from any pressure regulator. In case of regulator malfunction, the six (6) (1.83m) feet distance will reduce the chance of gas entering the vent cap.

INSTALLATION INSTRUCTIONS

Location of Furnace

Pick a location on an outside wall with a clear space of 28" (711 mm) high by 49" (124cm) wide in the room.

Locating Wall Opening

The furnace is to be located on an outside wall. Locate wall studs so that wall opening will be located between wall studs. The wall studs can be used for attachment of wall mounting bracket. The wall opening required as shown in Figure 3 is a diameter of 7 1/2 inches (191mm).

A template is provided in furnace carton for positioning furnace on the wall. Also, refer to Figure 3 for positioning the furnace on wall and for locating gas line connection.

Figure 3 will position the furnace four inches (102mm) off the floor. If it is desired to position the furnace higher on the wall, add the difference to the "A," "B" and "C" dimensions.

Note: The vent opening is not in the center of the furnace.

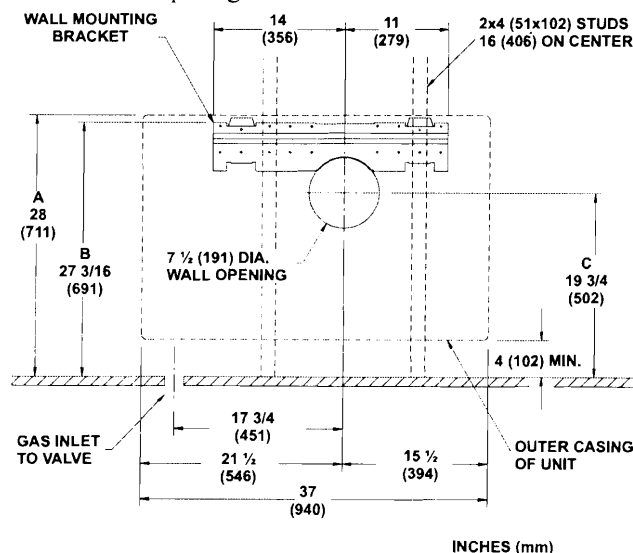


Figure 3

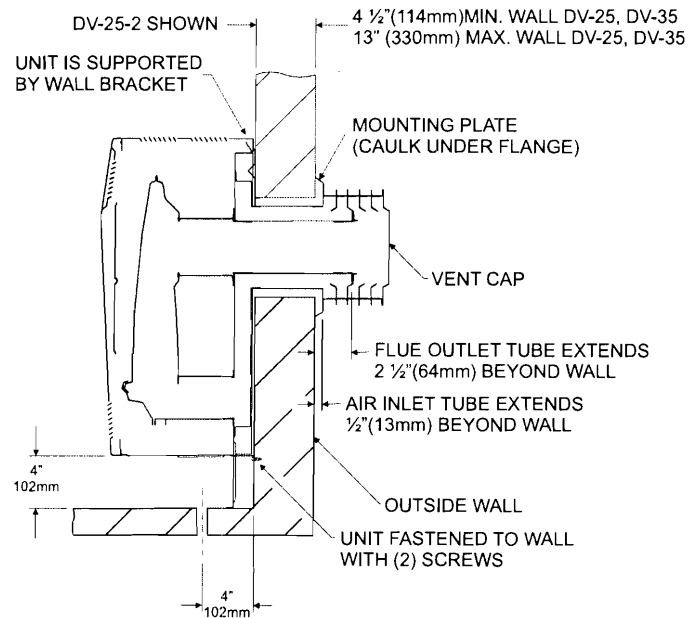


Figure 4

Installing Wall Mounting Bracket

Locate and cut wall opening. If there is insulation above the wall opening (air inlet tube) a barrier should be installed above the wall opening (air inlet tube) to prevent insulation from coming in contact with the air inlet tube. The barrier must not penetrate into the 7 1/2" (191mm) diameter wall opening. Place the flat surface of the wall mounting bracket toward the wall. Insert half round flange of wall mounting bracket into and at the top of the wall opening. The half round flange of the wall mounting bracket must be in contact with the sheetrock or wood at the top of the wall opening. Level the wall mounting bracket in the wall opening.

INSTALLATION INSTRUCTIONS (continued)

On solid wall, when using wall studs for attachment of wall mounting bracket, fasten wall mounting bracket to wall studs with (2) #10 x 1 1/2" (38mm) screws provided and fasten (2) additional #10 x 1 1/2" (38mm) screws provided through the wall mounting bracket and into the solid wall.

On sheet rock, when using wall studs for attachment of wall mounting bracket, fasten wall mounting bracket to wall studs with (2) #10 x 1 1/2" (38mm) screws provided and by using wall opening for access, fasten 2 additional #10 x 1 1/2" (38mm) screws and (2) Tinnerman nuts provided through the wall mounting bracket and into the sheet rock.

Attaching Furnace To Wall Mounting Bracket

Hang furnace on wall mounting bracket by aligning (2) tabs on wall mounting bracket with (2) slots located on inner casing top.

The inner casing bottom is to be fastened to the wall. On solid wall, fasten inner casing bottom with (2) #10 x 1 1/2" (38mm) screws provided. On sheet rock wall, fasten inner casing bottom with (2) toggle bolts provided.

Cutting Vent Tubes

This is the most important part of the installation. With the furnace installed on wall the 6" (152mm) diameter air inlet tube and the 4" (102mm) diameter flue outlet tube are to be marked and cut using the following procedure.

1. Attach 6" (152mm) diameter air inlet tube onto the collar of air drop assembly. Be sure 6" (152mm) diameter air inlet tube is placed as far as possible onto the collar of the air drop assembly. Mark the 6" (152mm) diameter air inlet tube 1/2" (13mm) beyond the outside wall. Remove 6" (152mm) diameter air inlet tube from collar of air drop assembly.
2. Attach 4" (102mm) diameter flue outlet tube onto flue outlet collar on combustion chamber. Be sure 4" (102mm) diameter flue outlet tube is placed as far as possible onto the collar of flue outlet. Mark the 4" (102mm) diameter flue outlet tube 2 1/2" (64mm) beyond the outside wall. Remove 4" (102mm) diameter flue outlet tube from collar of flue outlet on combustion chamber.
3. Mark or wrap tape completely around the tubes at the marked points to help in making a true cut. Do not crimp or enlarge tubes.

Installing Vent Assembly

1. Place provided caulking beneath the edge of the outside mounting plate. Use additional caulking to correct uneven wall surface, such as clapboard.
2. Attach 6" (152mm) diameter air inlet tube onto the collar of air drop assembly. Attach caulked, outside mounting plate into the 6" (152mm) diameter air inlet tube. Position the outside mounting plate so that 6" (152mm) diameter air inlet tube has a slight downward slope to the outside. The downward slope is necessary to prevent the entry of rainwater. Attach outside mounting plate to exterior wall with (4) #10 x 1 1/2" (38mm) screws provided.
3. Apply furnace cement to 4" (102mm) diameter flue outlet collar on combustion chamber and to 4" (102mm) diameter collar on vent cap. Attach 4" (102mm) diameter flue outlet tube onto flue outlet collar on combustion chamber. Attach vent cap into the 4"

(102mm) diameter flue outlet tube. Attach vent cap to outside mounting plate with (3) #10 x 1/2" (13mm) screws provided.

4. Installation is completed.

Reassembly And Resealing Vent-Air Intake System

When vent-air intake system is removed for servicing the furnace, the following steps will assure proper reassembly and resealing of the vent-air intake assembly.

1. Remove old furnace cement from flue outlet collar on combustion chamber and collar of vent cap. Remove old furnace cement from both ends of 4" (102mm) diameter flue outlet tube.
2. Remove old caulking beneath the edge of the outside mounting plate. Apply new caulking beneath the edge of the outside mounting plate. Use additional caulking to correct uneven wall surface, such as clapboard.
3. Attach 6" (152mm) diameter air inlet tube onto the collar of air drop assembly. Attach caulked, outside mounting plate into the 6" (152mm) diameter air inlet tube. Position the outside mounting plate so that 6" (152mm) diameter air inlet tube has a slight downward slope to the outside. The downward slope is necessary to prevent the entry of rainwater. Attach outside mounting plate to exterior wall with (4) #10 x 1 1/2" (38mm) screws provided.
4. Apply furnace cement to 4" (102mm) diameter flue outlet collar on combustion chamber and to 4" (102mm) diameter collar on vent cap. Attach 4" (102mm) diameter flue outlet tube onto flue outlet collar on combustion chamber. Attach vent cap into the 4" (102mm) diameter flue outlet tube. Attach vent cap to outside mounting plate with (3) #10 x 1/2" (13mm) screws provided.
5. Reassembly and resealing vent-air intake system is completed.

Installing a Vent Near a Window Ledge, Other Type of Projection or on Siding (vinyl, aluminum, etc.)

Direct vent furnaces are designed to be installed on a uniform outside wall. When the wind comes from any angle (up, down or from either side), it must hit the vent cap equally over both the air inlet and the flue outlet portions of the vent. Any wall projection, such as a door or window casing, which disturbs the wind on one side of the air inlet section will result in back pressure on the flue section smothering the flame and eventual pilot outage.

When the vent cap is to be installed on siding or it appears that a projection within 6" (152mm) of any side of the air inlet section could shield the air inlet section, the entire vent should be supported away from the wall at least the distance of the projection. 2" x 4" (51mm x 102mm) framing whose outside dimensions match the overall dimensions of the mounting plate is recommended. The 2" x 4" (51mm x 102mm) framing protects siding from possible warpage or discoloration. All joints can then be sealed and painted. The wall depth plus the additional depth of the 2" x 4" (51mm x 102mm) framing should not exceed a total depth of 13" (330mm) for DV-25 and DV-35. (See Figure 5)

Vinyl siding vent kit, DV-822, is available from Empire Comfort Systems, Inc. The depth is 3" (76mm), which enables the vent cap to be extended away from siding or projections. The wall depth plus the additional 3" (76mm) depth of the vinyl siding vent cap extension should not exceed a total depth of 13" (330mm) for DV-25 and DV-35. (See Figure 5a)

Warning: When vinyl siding vent kit, DV-822 or 2" x 4" (51mm x 102mm) framing is added to an existing installation (furnace is installed) do not attempt to add sections of pipe to the flue outlet tube or air inlet tube. An air tight seal is required for both tubes. Refer to Parts List, page 14 to order tubes.

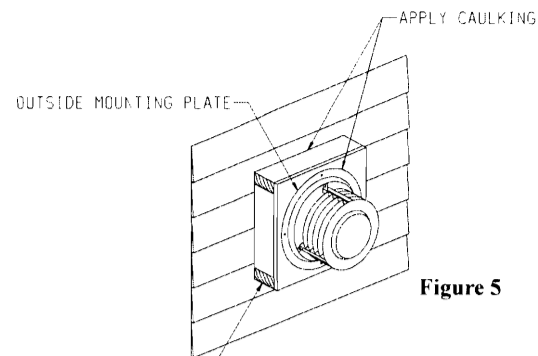


Figure 5

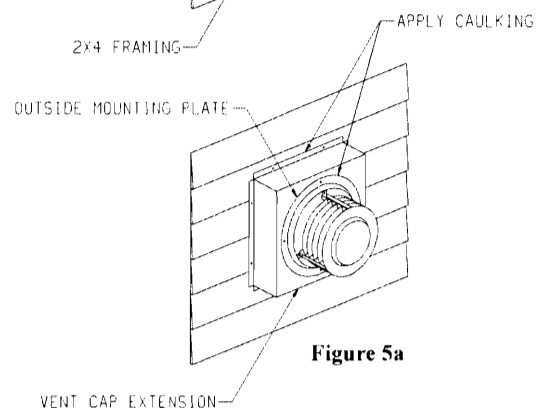


Figure 5a

THERMOSTAT LOCATION

Millivolt wall thermostats are specially designed for use on self-generating systems. They should never be used on line or low voltage A.C. circuits.

Interior Wall — The thermostat should be installed on an inside wall away from the furnace but in the same room.

It is important to use wire of a gauge proper for the length of the wire:

RECOMMENDED WIRE GAUGES	
Maximum Length	Wire Gauge
1' to 10'	18
10' to 25'	16
25' to 35'	14

Proper operation depends on a good pilot flame. The flame must cover the top of the thermopile. Cleaning of the pilot orifice and burner may be required due to spiders.

System Check (Figure 6)

A millivolt meter is required to check the system. Millivolt readings should be:

- Across the thermopile terminals, 400-450 millivolts with thermostat OFF.
- Across the thermopile terminals, 150-250 millivolts with thermostat ON.
- Across the thermostat wires at the valve, less than 30 millivolts with thermostat ON.
- Across the thermostat wires at the thermostat, less than 5 millivolts with thermostat ON. (Strong winds, dirty pilot and low pressure will reduce readings.)

Piezo Pilot Ignitor Instructions

Depressing the red button completely causes a spark to occur at the pilot. This is a substitute for a match which requires opening the pilot hole cover.

To light the pilot, it is important that the electrode be 1/8" (3mm) from the thermopile. The spark must occur at the point the burner flame hits the thermopile. The end of the electrode will be red hot with the pilot on.

On a new installation with air in the gas line, it is suggested that a match be used. The match will light the pilot faster than the piezo under this condition.

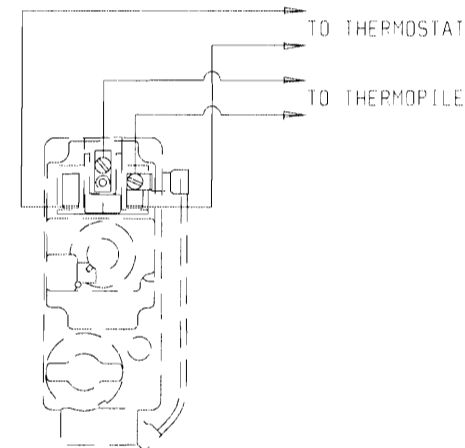


Figure 6