

THIS IS NOT A BOUNDARY SURVEY

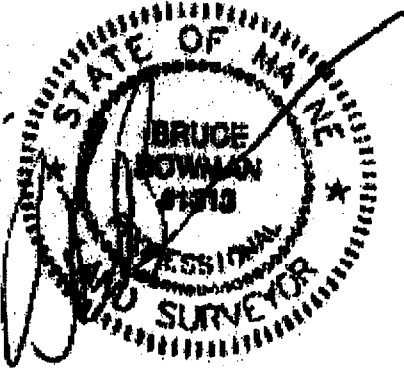
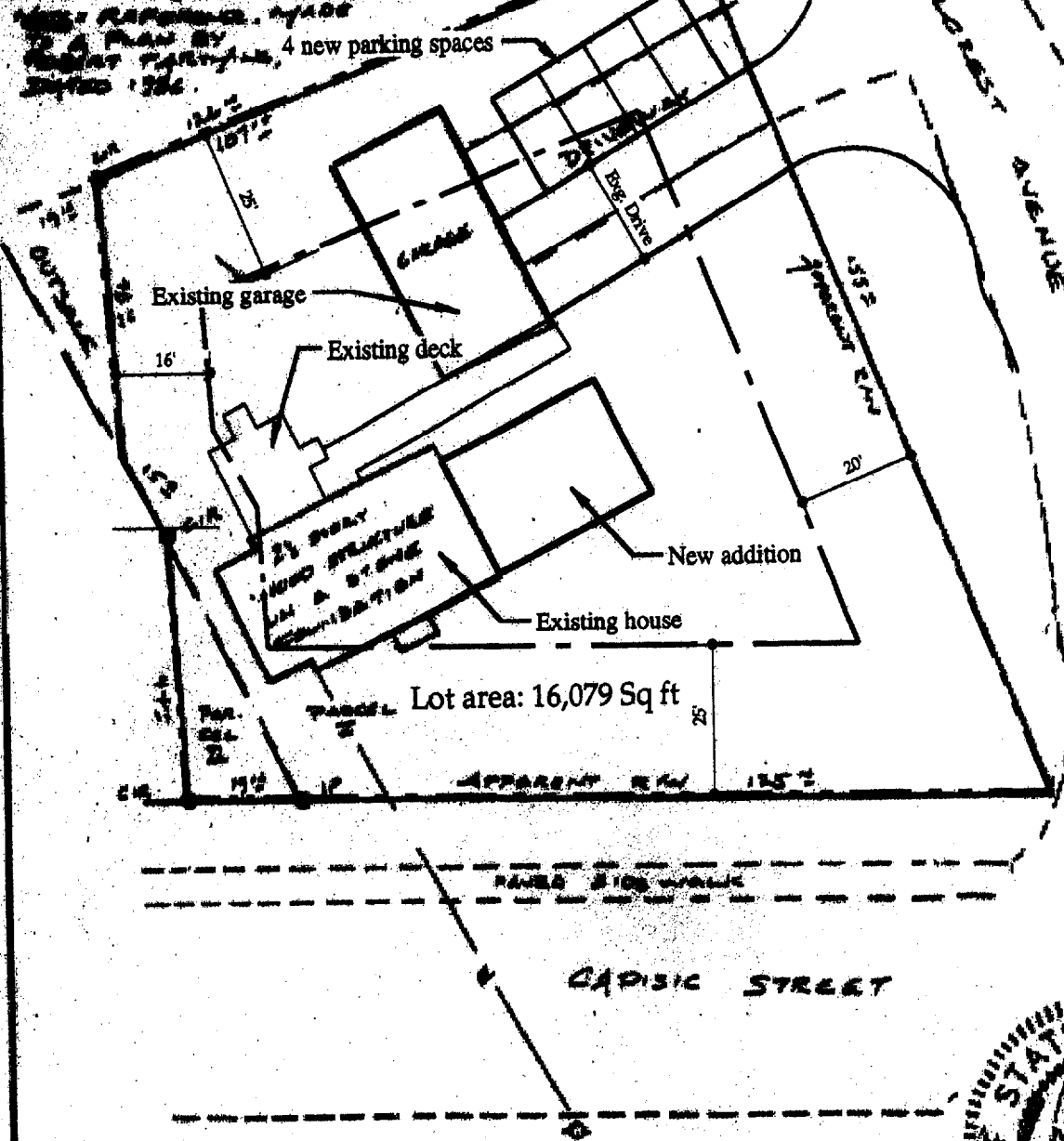
INSPECTION OF PREMISES

I HEREBY CERTIFY TO NEAREST
LAND TITLE, PLAT AND THE
FILE NUMBER
 The measurement is not in harmony with current
 deed description.
 The building setbacks are not in conformity with
 town zoning requirements.
 The lot and net the dwelling do not appear to fall
 within the special Flood hazard zone as delineated by
 the Federal Emergency Management Agency.

520 CADISE STREET
 PORTLAND, MAINE

Job Number: 158-31
 Inspection Date: 10-21-91
 Scale: 1"=30'

BY: JOHN A. AND LISA M.
 GALLAGHER
 SELLERS ATTORNEY AND OLIVE
 RUBY



THIS PROPERTY IS SUBJECT TO ALL
 RIGHTS AND EASEMENTS OF RECORD.
 TIES THAT ARE SHOWN ARE SHOWN.
 THIS PLAN DOES NOT REVEAL
 CONFLICTS WITH ADJACENT DEEDS.

BRUCE & BOWMAN, INC.
 20 Forest Avenue
 Cumberland, Maine
 Phone: (207) 528-1399

PLAN BOOK _____ PAGE _____ LOT _____
 DEED BOOK _____ PAGE _____ COUNTY CUMBERLAND

THIS PLAN IS NOT FOR RECORDING Drawn by: CTC

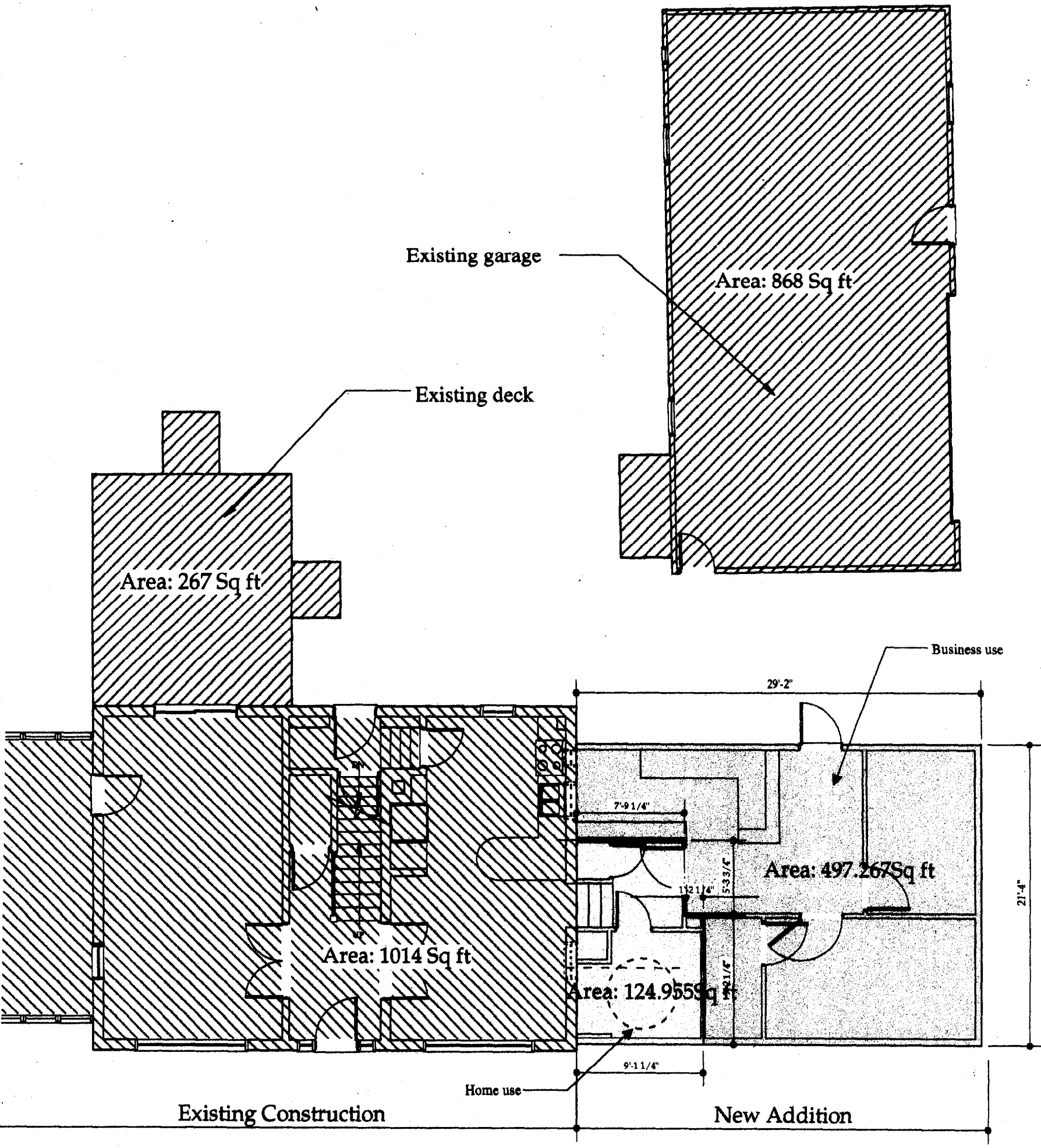
Site Plan

1"=30'-0"

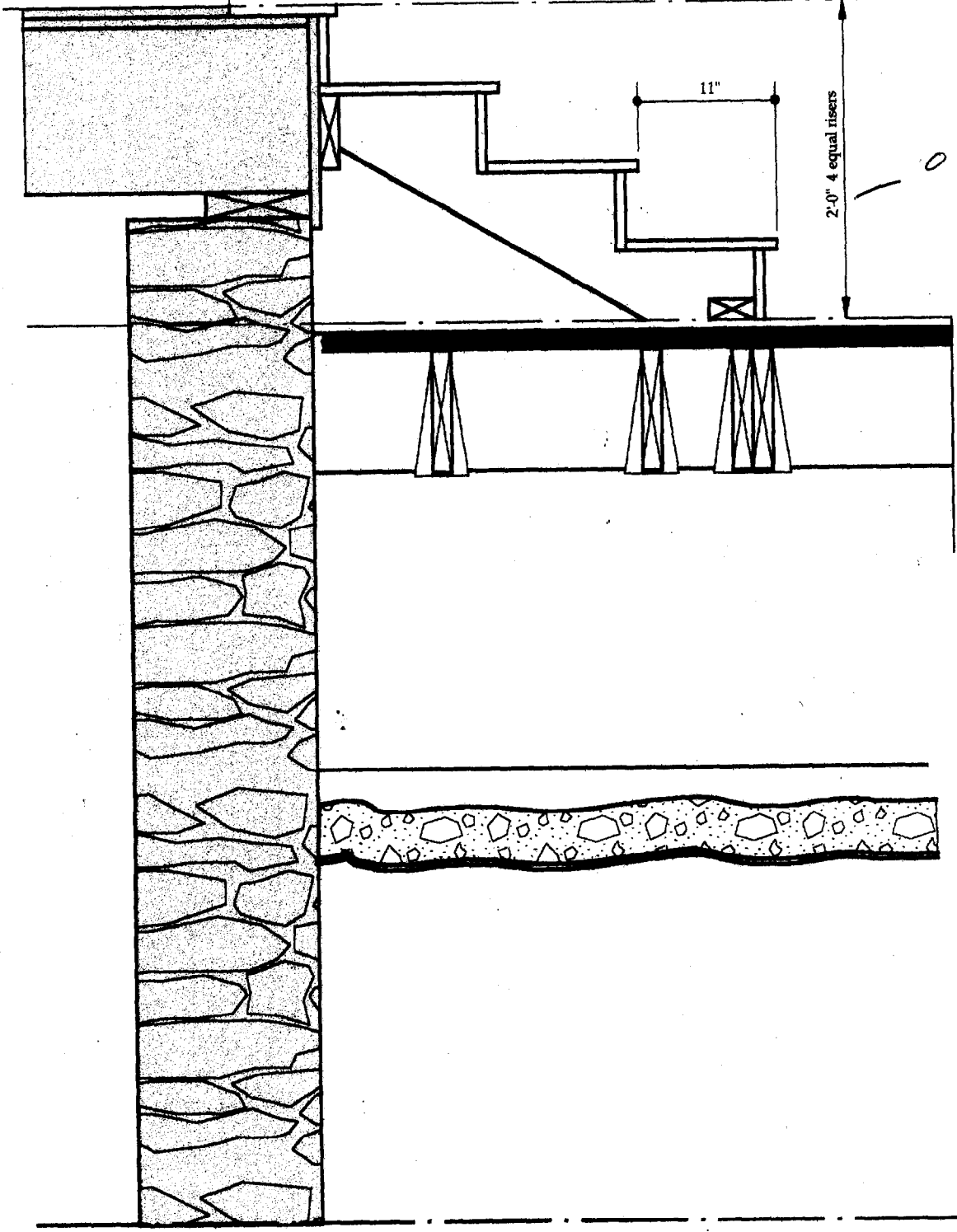
Site Information:
 Zone:.....R-3
 Setbacks:
 Front:.....25 ft.
 Side:.....16 ft.
 Rear:.....25 ft.
 Side yrd on side st:....20 ft.
 Lot size:.....16,079 sf.

Total Floor Area:
 First floor:.....1,014sf
 Second floor:.....851sf
 Garage:.....868 sf
 Deck:.....267 sf
 total:.....3,000 sf
 Allowable home office size:
 3,000 sf X 25% = 750 sf.
 500 sf. governs

Lot Coverage:
 Garage:.....868 sf
 House:1,014 sf
 Deck:.....267 sf
 Addition:622 sf
 total:.....2,771 sf
 Lot size:.....16,079 sf
 Coverage:....17.2% < 25%

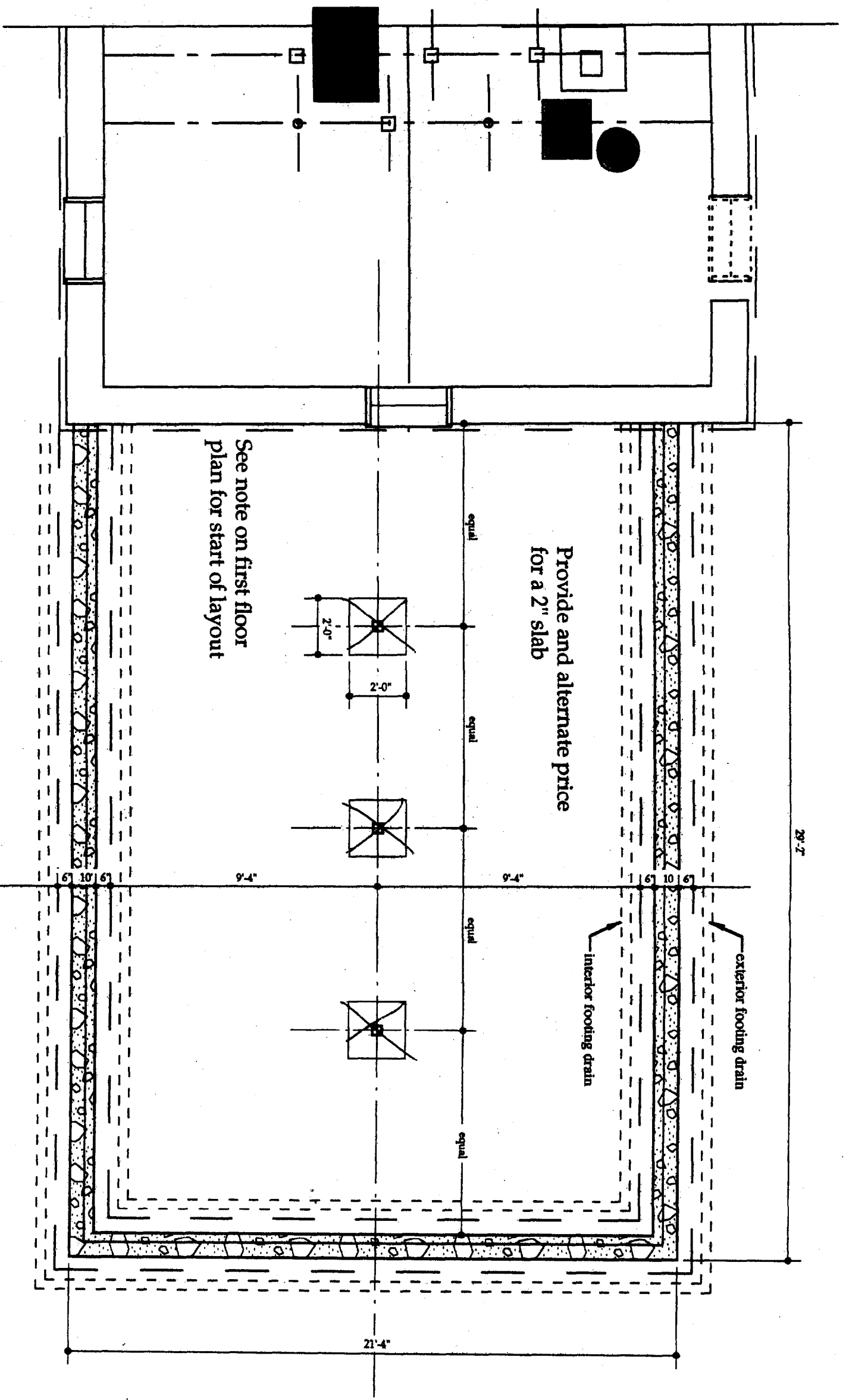


Align



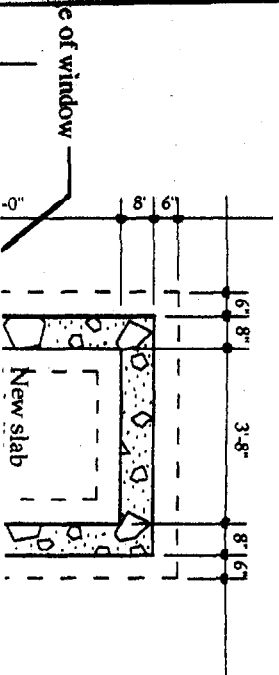
Detail 1

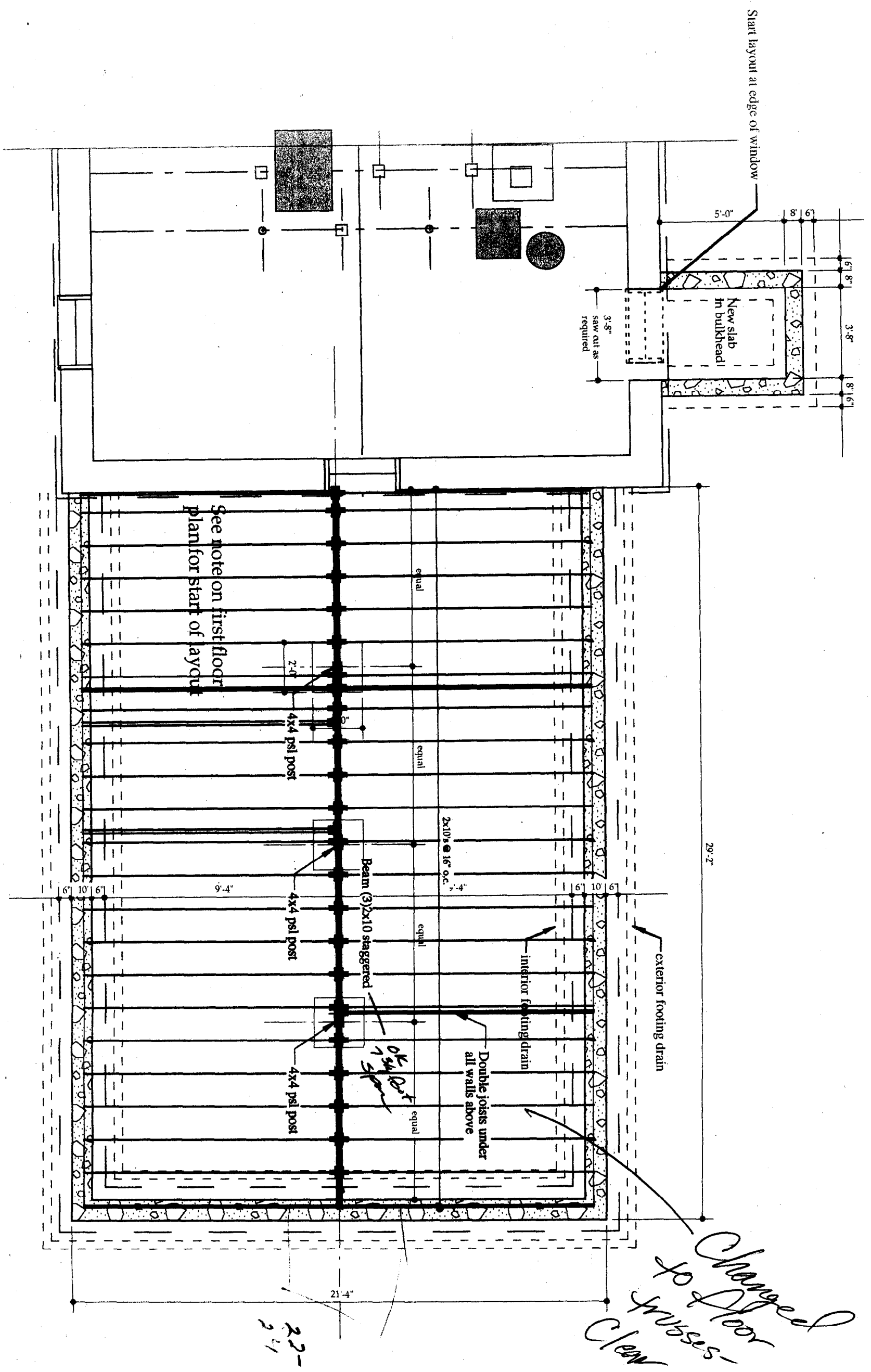
Scale 1"=1'-0"



Basement Plan

Scale 1/4"=1'-0"





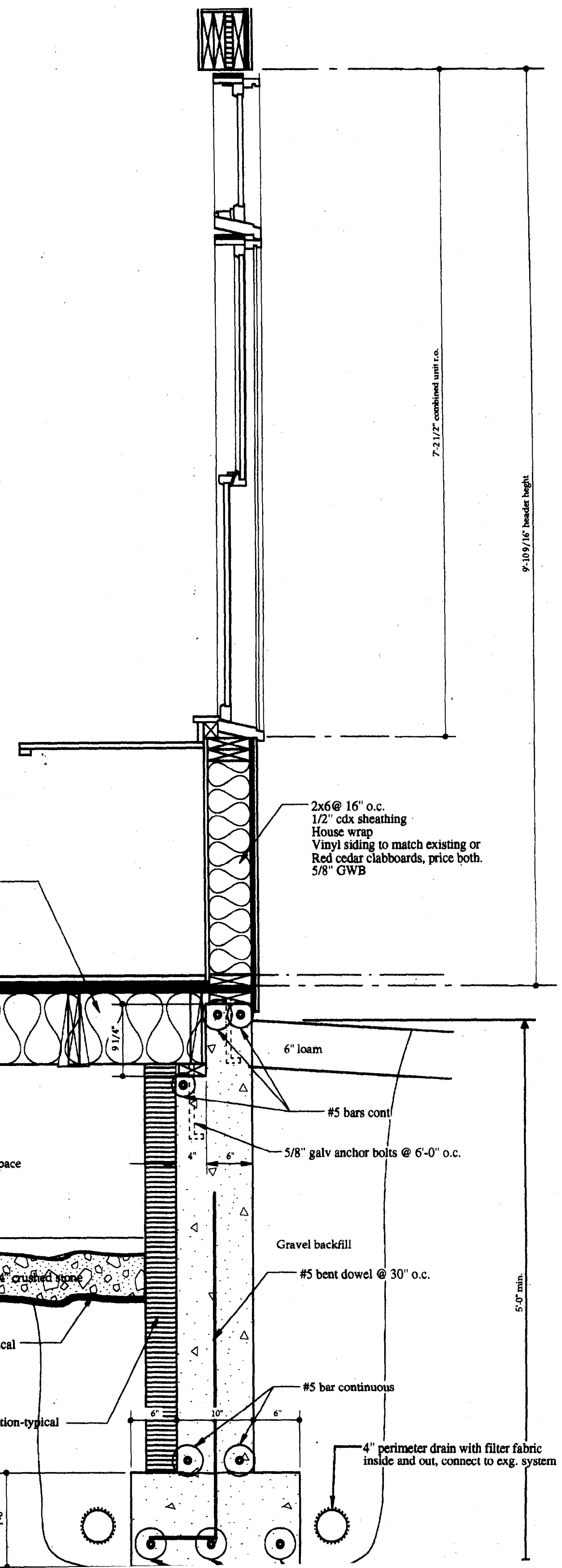
Changed to floor trusses - Clear span ok

3/4" white oak flooring to match existing for future, carpet for phase 1
 5/8" underlayment
 3/4" Advantech t&g subfloor glued and screwed to joists
 2x10's @ 16" o.c. with hangers (dbl under walls)
 10" kraft face fiberglass insulation

2x6 @ 16" o.c.
 1/2" cdx sheathing
 House wrap
 Vinyl siding to match existing or
 Red cedar clabboards, price both.
 5/8" GWB

Provide an alternate
 price for a 2" slab

Crawl Space



7-2 1/2" combined unit r.o.

9-10 9/16" header height

6" loam

#5 bars cont

5/8" galv anchor bolts @ 6'-0" o.c.

Gravel backfill

#5 bent dowel @ 30" o.c.

5'-0" min.

6 mil vapor barrier-typical

Gravel

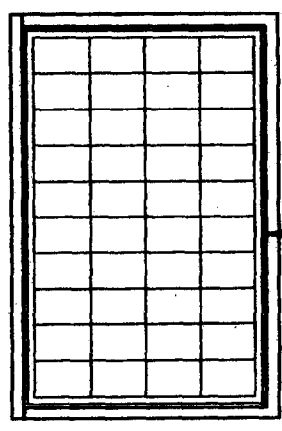
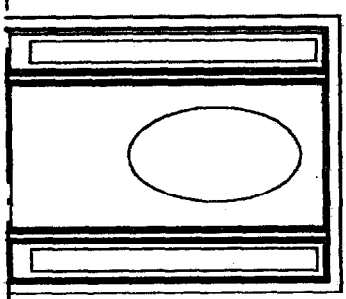
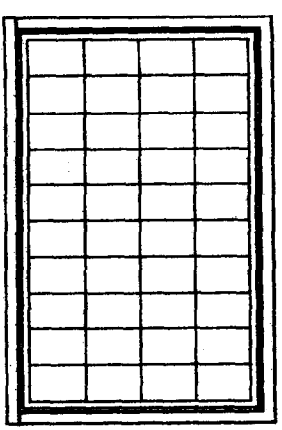
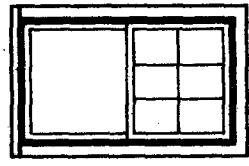
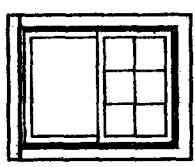
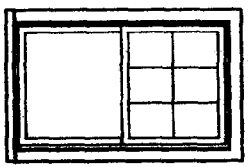
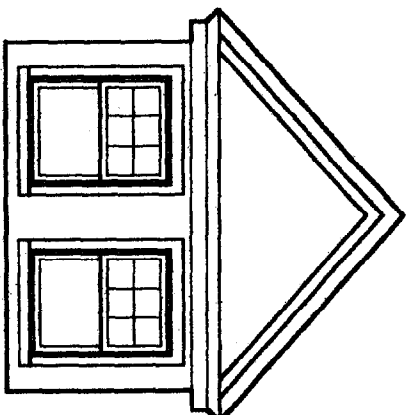
4" rigid insulation-typical

#5 bar continuous

4" perimeter drain with filter fabric
 inside and out, connect to exg. system

1'-0"

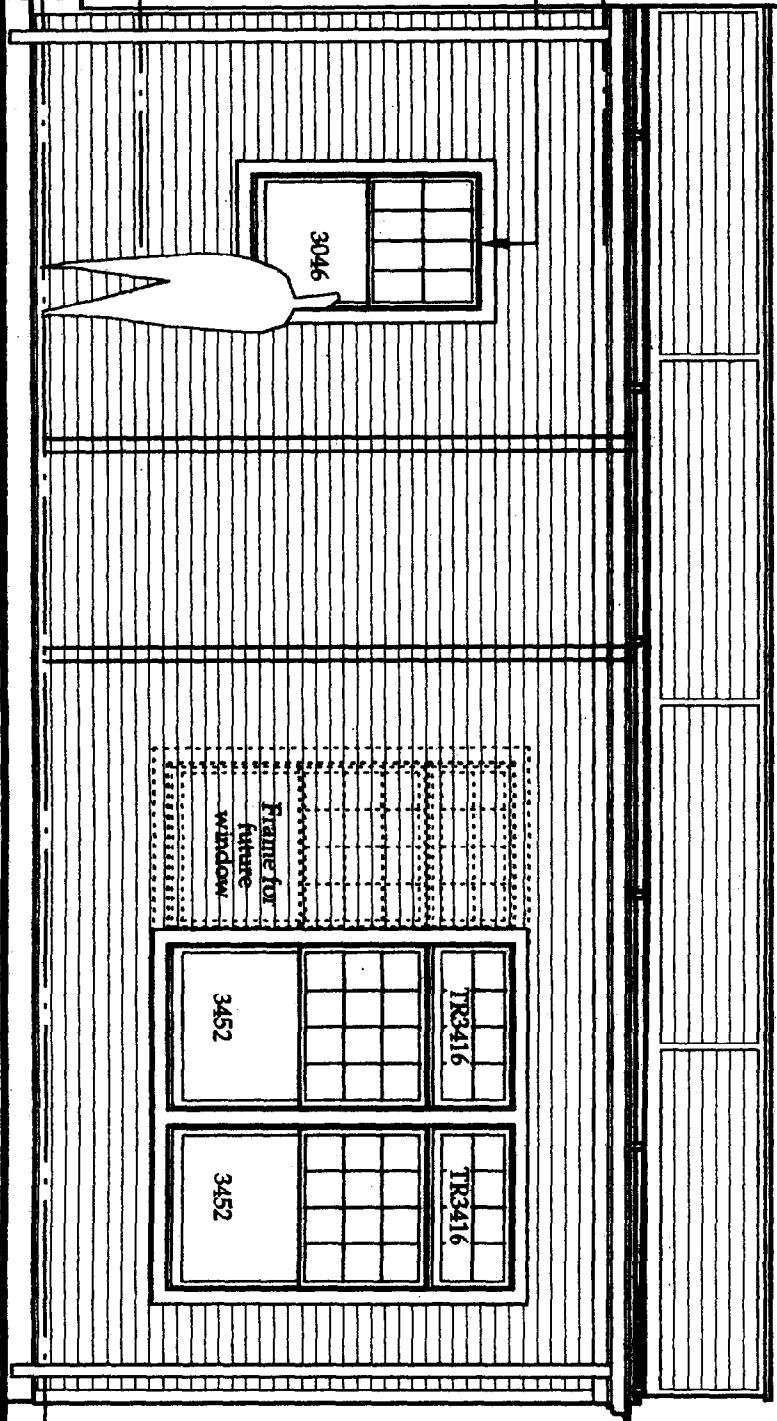
0"



Existing to remain

align heads

2'-0"



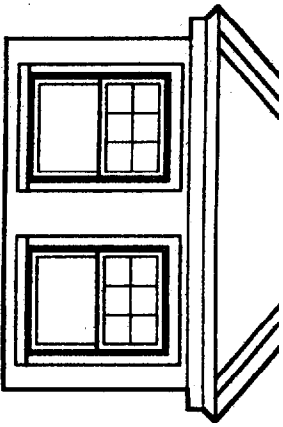
New addition

New fin

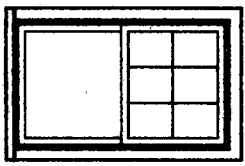
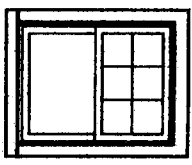
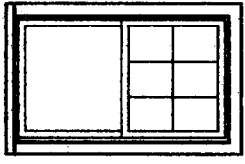
9'-6"

1'-0"

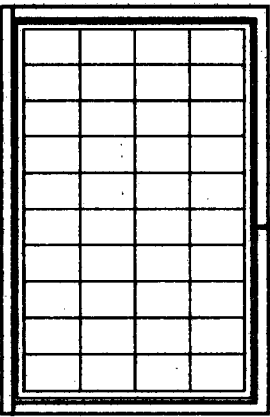
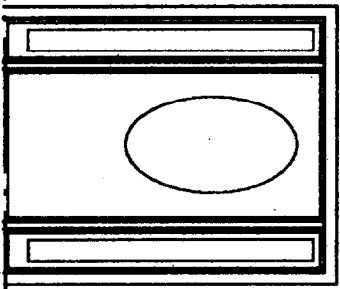
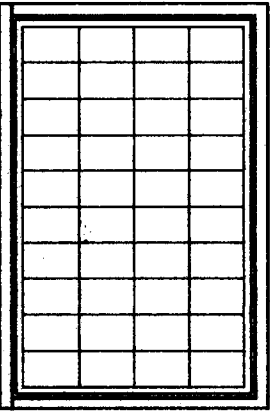
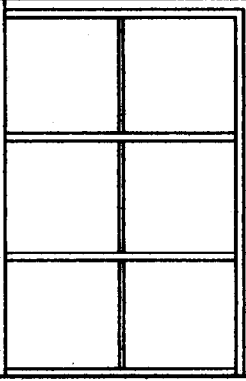
Existing Attic Elevation



Existing Second Floor Elevation



Existing First Floor Elevation



align heads

2'-0"

Existing to remain

New addition

3046

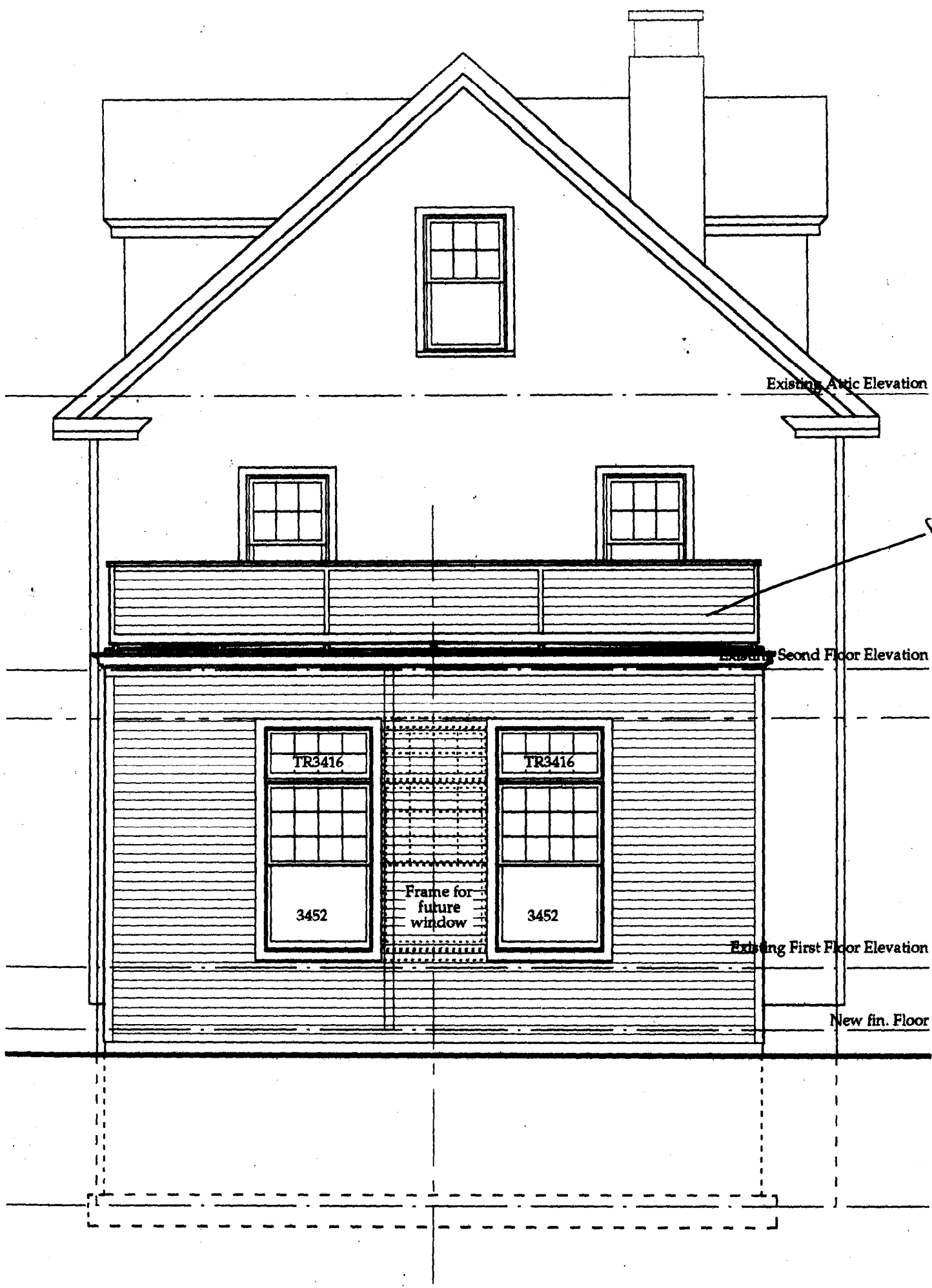
Frame for
future
window

3452

TK34

West Elevation





Existing Attic Elevation

Existing Attic Eleva

*Not a deck
5/12 truss behind*

Existing Second Floor Elevation

Existing Seond Flo

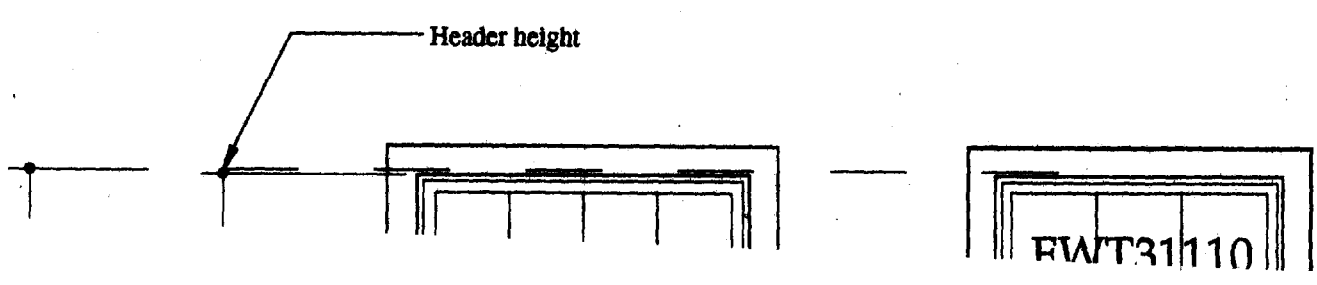
Existing First Floor Elevation

Existing First Flo

New fin. Floor

North Elevation

1/4"=1'-0"

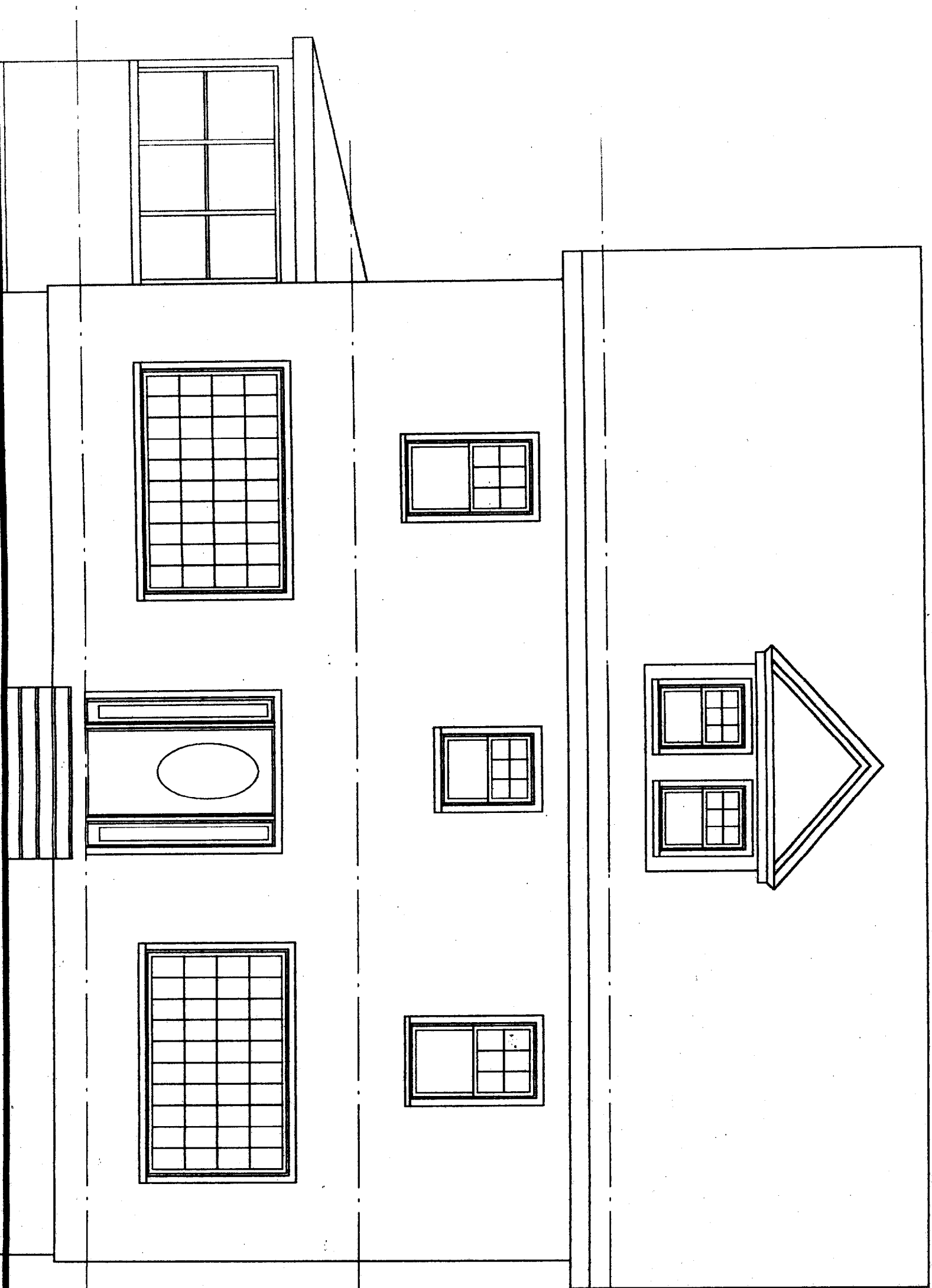


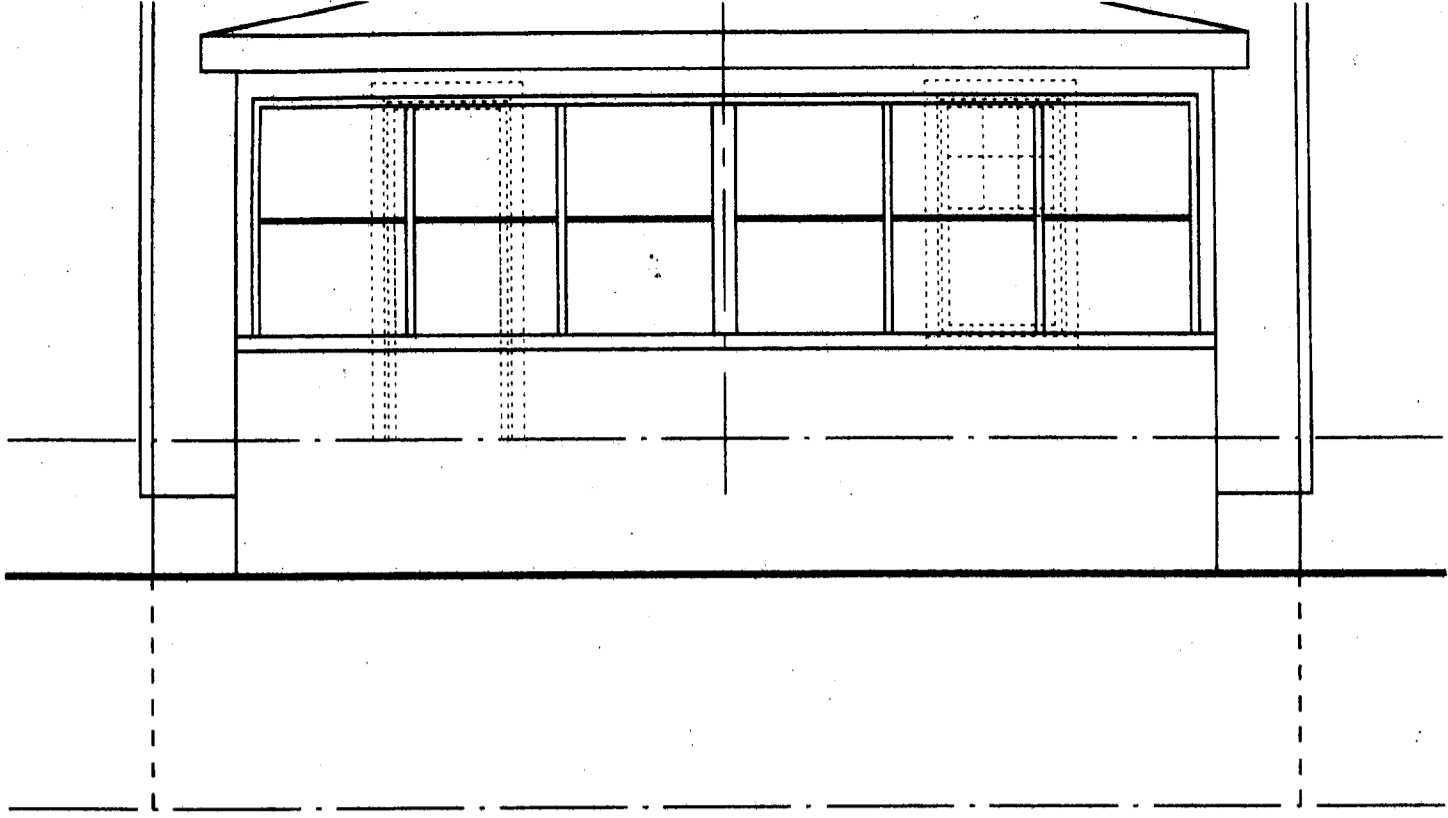
Header height

FWT31110

East Elevation

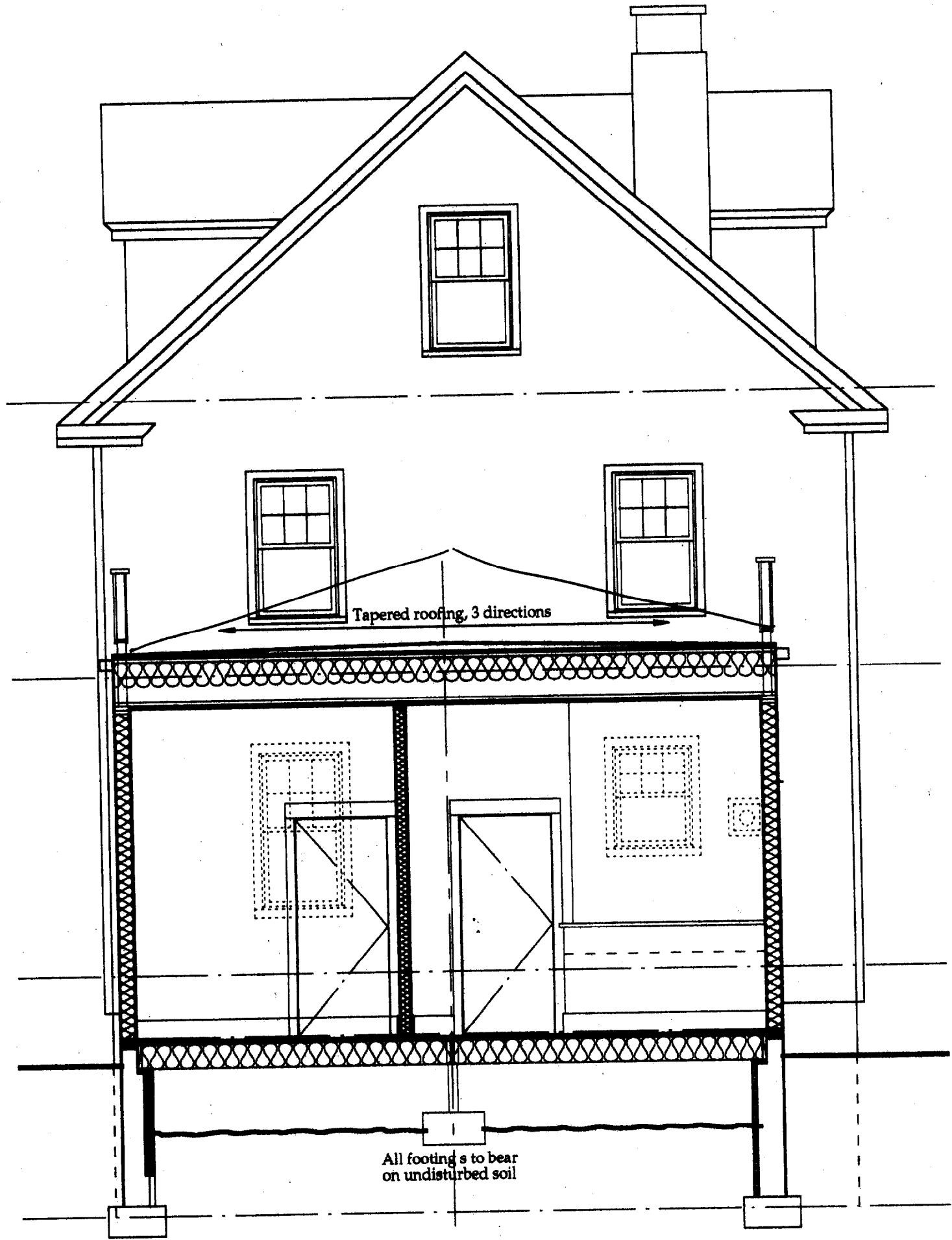
1/4"=1'-0"





North Elevation

1/4"=1'-0"



Tapered roofing, 3 directions

All footings to bear on undisturbed soil

Section B-B

1/4"=1'-0"

FRED TITCOMB

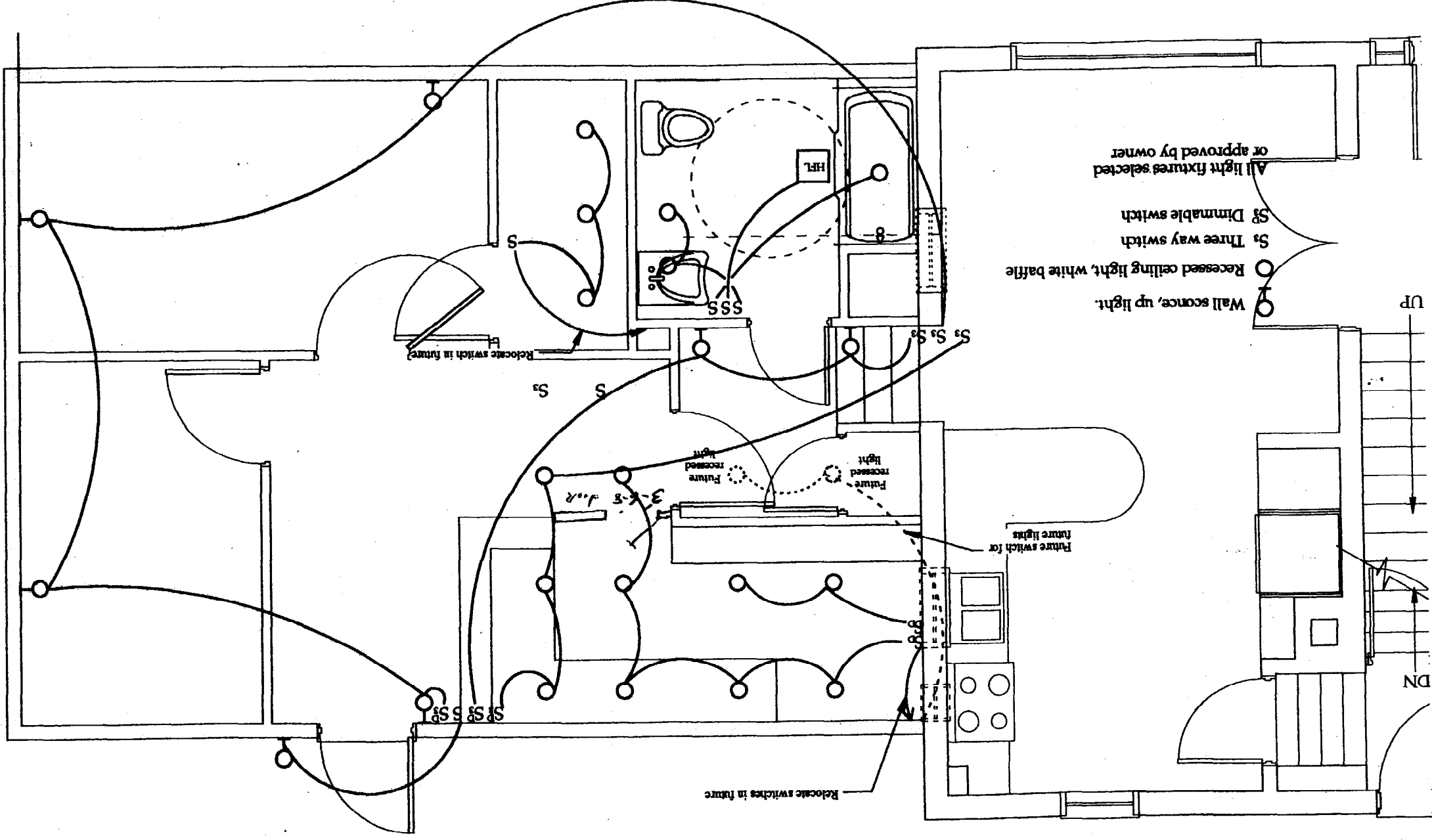
831 2445

OFFICE PLAN

ELECTRICAL

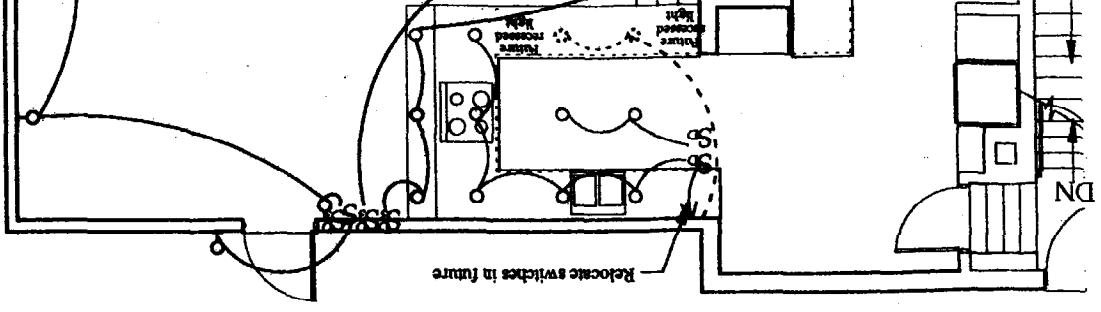
Roof Framing Plan

Scale 1/4"=1'-0"



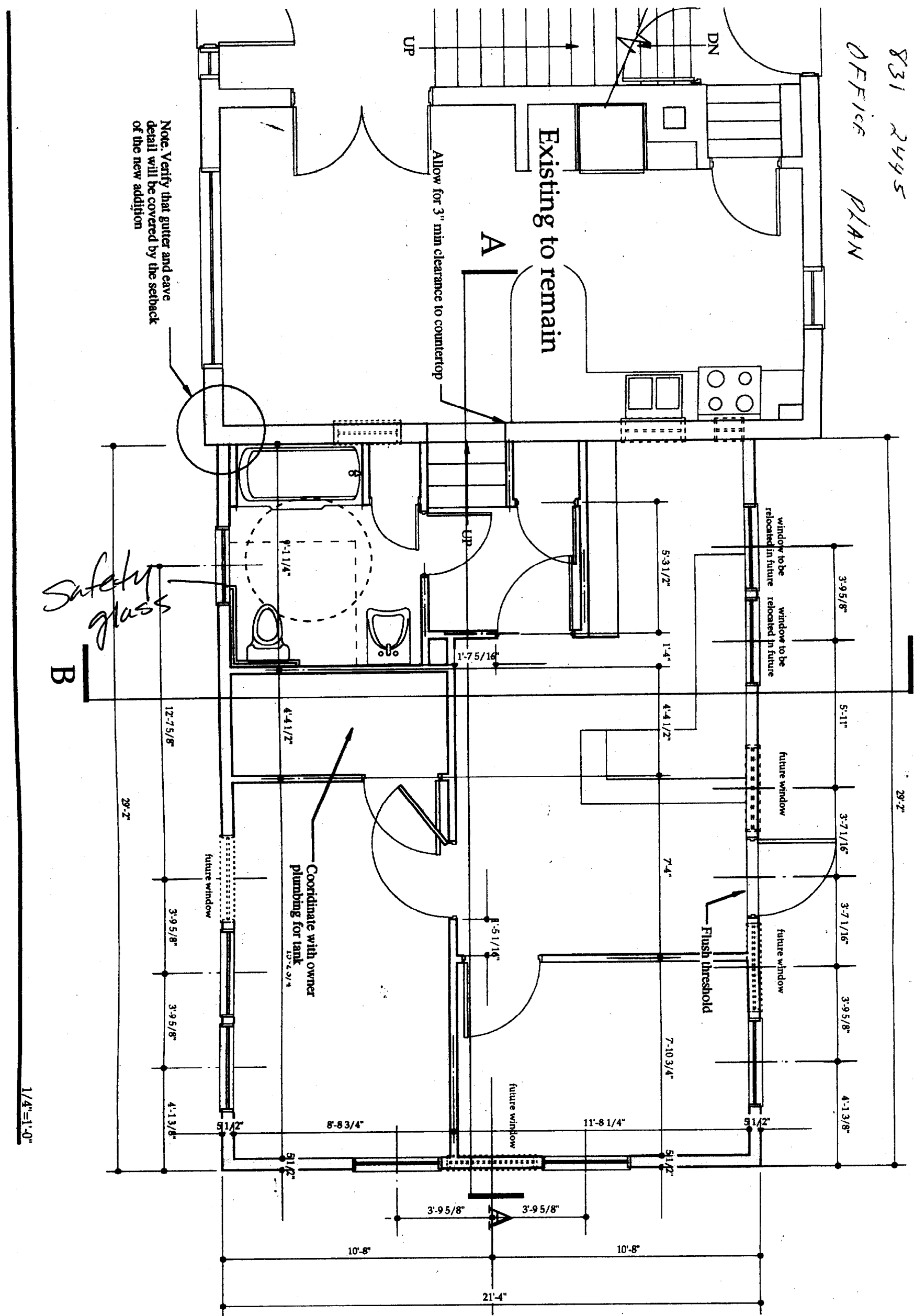
Lighting Plan

1/4"=1'-0"



PURPLE IS NEW ADDITION

831 2445
OFFICE PLAN



A-1

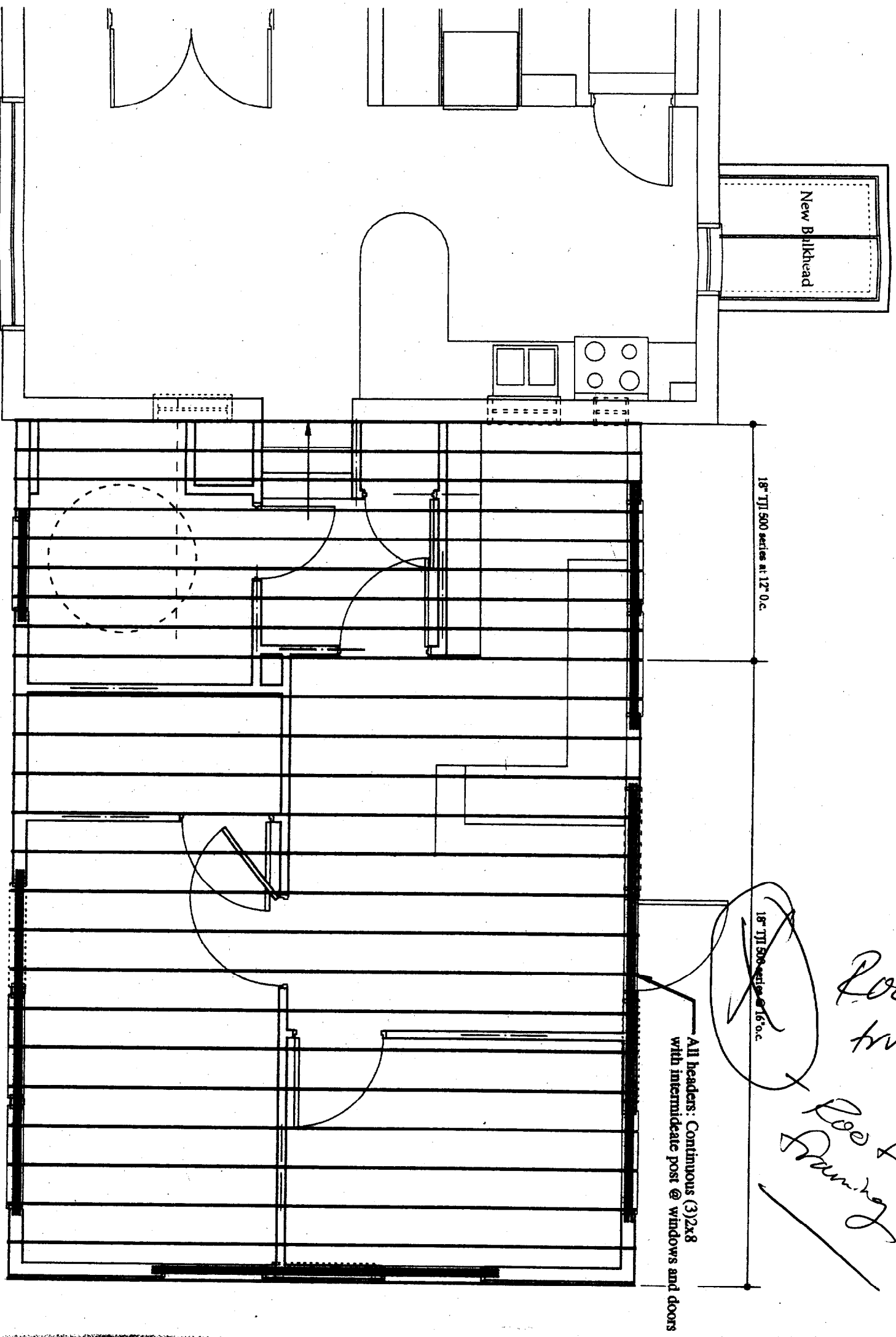
**Schematic Design
Floor Plans**

Date: 6/02/2003 Drawn by: PCA

Revisions

Gallagher Residence
Addition for Dr. John and Lisa Ga

520 Capisic Street
Portland, Maine



Roof Framing Plan

Scale 1/4"=1'-0"