

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 58 Rowe Ave		Owner: Doug Howe		Phone:		Permit No 960236
Owner Address: 58 Rowe Ave - Portland ME 04102		Leasee/Buyer's Name:		Business Name:		
Contractor Name: Howe & Sons CO		Address: 58 Rowe Ave - Portland ME 04102		Phone: 2901 773-2811 2822		PERMIT ISSUED Permit Issued: APR - 9 1996 CITY OF PORTLAND
Past Use: 1-fam dwlg		Proposed Use: 1-fam w garage		COST OF WORK: \$ 4000 PERMIT FEE: \$ 40 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: u Type: 3B Signature: [Signature] Signature: [Signature]		
Proposed Project Description: construct garage - 22'x26'				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		Zoning Approval: Zone: K-3 CBL: 260-E-2 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: L Chase		Date Applied For: 4/1/96		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT [Signature]	ADDRESS: 58 Rowe Ave	DATE: 4-1-96	PHONE: 773-2801
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE: 110-7273

Action:

Approved
 Approved with Conditions
 Denied

Date: 4/1/96

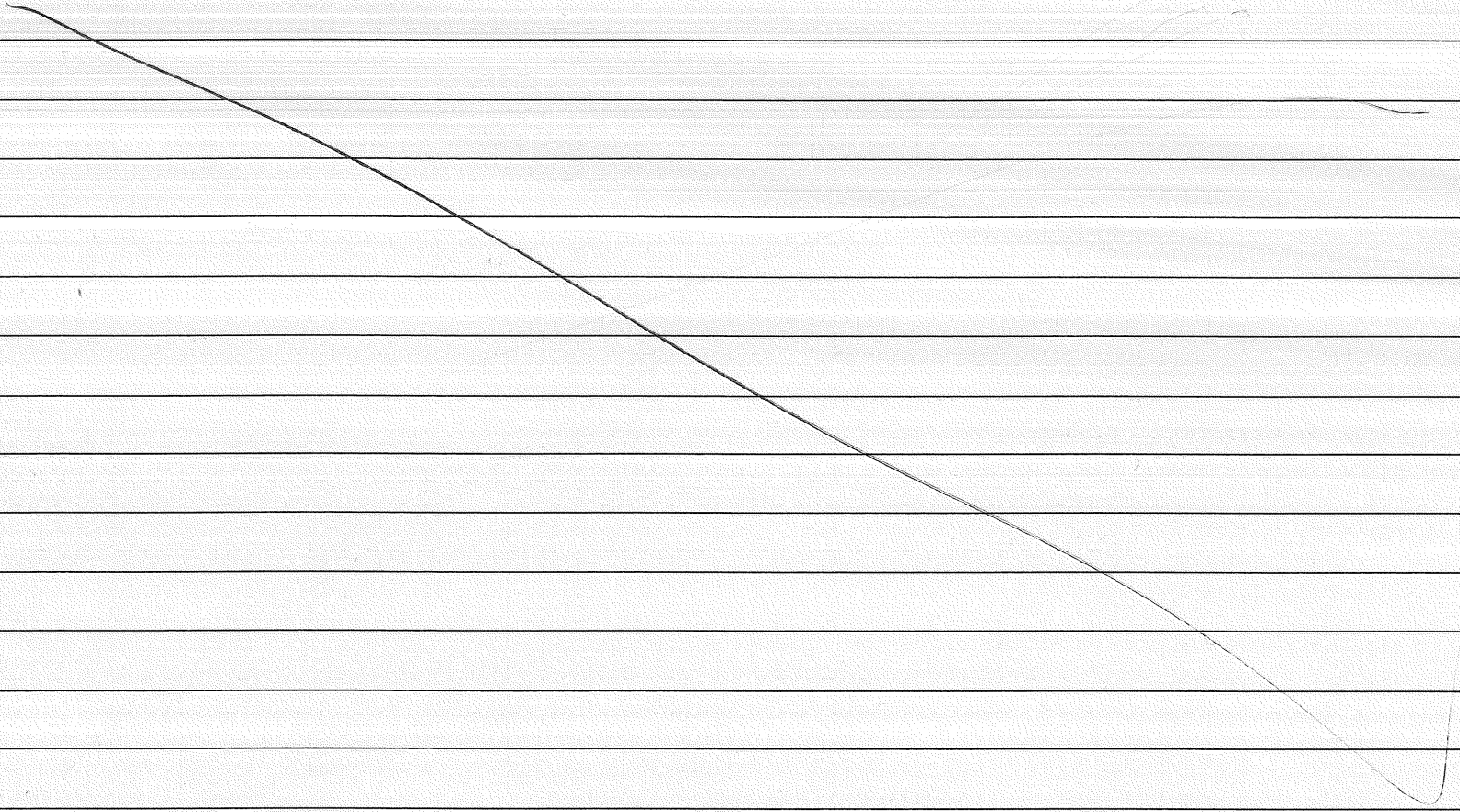
[Signature]

K. Carroll

CEO DISTRICT #4

COMMENTS

9-13-90 Garage constructed and without notification of inspection.



Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 8, 1996

Howe and Sons, Company
58 Rowe Avenue
Portland, Maine 04102

RE: 50 Rowe Avenue

Dear Sir,

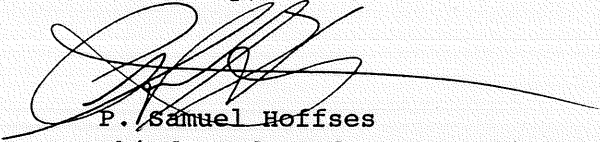
Your application to construct a 22' x 26' detached garage has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. Your proposed building plan shows 2" x 8" rafters 24" O.C. spanning 12' this will not carry the live load. A 2" x 8" @ 16" O.C. will be required to carry the load.
2. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. A 24 hour notice is required prior to inspection.
3. Precaution must be taken to protect concrete from freezing.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Code Enforcement Division

Applicant: Doug Howe
 Address: 58 Rowe Ave cor of Green
 Assessors No.: 260-Ediz
 Date: 4/3/96

CHECK LIST AGAINST ZONING ORDINANCE

- Date - Existing
- Zone Location - R-3
- Interior or corner lot -
- Use - 22' x 26' garage new
- Sewage Disposal -
- Rear Yards - 25' req - 25' shown
- Side Yards - 20' ^{req} on side st - 20' shown on side st & 8' req - 14' shown
- Front Yards - 25' req → N/A behind rear of house
- Projections -
- Height -
- Lot Area -
- Building Area - 25% of lot area = 1650 sq ft MAX
- Area per Family -
- Width of Lot -
- Lot Frontage -
- Off-street Parking -
- Loading Bays -

Site Plan - N/A
 Shoreland Zoning - N/A
 Flood Plains -

